



April 30, 2021

TO: All Bidders

PROJECT: **F20-06 Single Point Entry – 2 Sites**
Kimbark ES and Parkside ES
DSA Application No. 04-118128 (Kimbark ES) and 04-118131 (Parkside ES)

RE: **ADDENDUM 2**

This addendum forms a part of the contract documents for the above-named project and modifies the original drawings and project manual provided in the subject Bid. All portions of the contract documents not specifically modified in this Addendum remain in full force and effect.

Careful note of the Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades shall be fully advised in the performance of the work which will be required of them.

Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

DRAWINGS

- 1.1 General Note: The Contractor shall supply all provide all surveying and staking required to complete the work.

KIMBARK

- 1.2 Replace Sheet AS1.5 LANDSCAPE PLAN with the sheet contained within this addendum.
 - 1.2.1 Change sheet name to Landscape/Irrigation Plan.
- 1.3 Replace Sheet A-1.0 FLOOR PLAN with the sheet contained within this addendum.
- 1.4 Replace Sheet A-1.1 INTERIOR ELEVATIONS with the sheet contained within this addendum.
- 1.5 Replace Sheet A-1.2 DETAILS/ELEVATION with the sheet contained within this addendum.

PARKSIDE

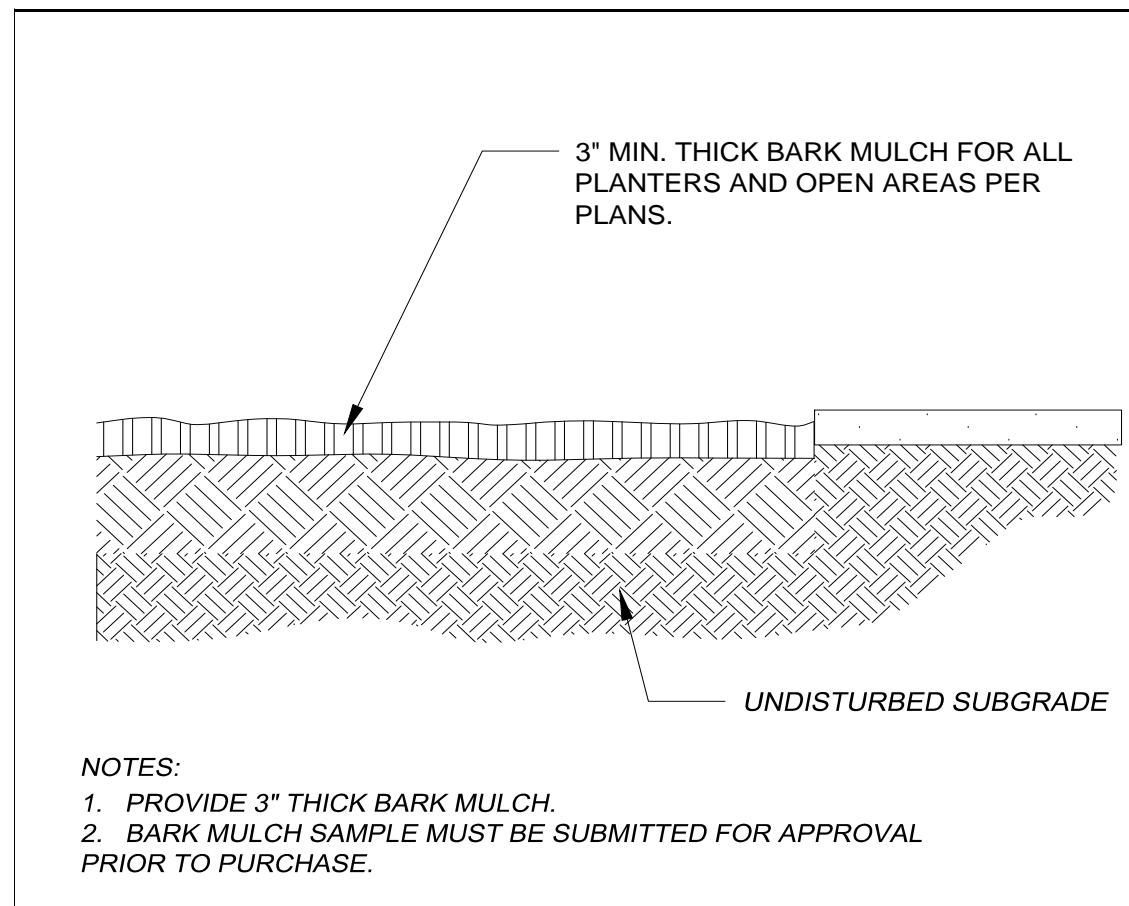
- 1.1 Add the following note to Sheet AS-1.2 ENLARGED DEMO SITE PLAN, AS-1.3 ENLARGED PROPOSED SITE PLAN , AS-1.4, AS-1.5 ENLARGED PROPOSED SITE PLAN, C-2 CIVIL TOPO SURVEY and C-3 CIVIL GRADING PLAN:
 - 1.1.1 All work shown on the Architectural and Civil Sheets are intended to be complementary, all work is to be constructed as part of the project whether shown on either Architectural or Civil or Both.
- 1.2 Sheet AS-1.3 ENLARGED PROPOSED SITE PLAN
 - 1.2.1 Change: Site Plan Keynote 29 to read: "Paint Entire Exterior of Building A1, including all exterior walls, doors, window frames, conduits, fascia, etc." Provide surface preparation and painting per specifications.
 - 1.2.2 ADD: Add keynote34 to read as follows:
 - 1.2.2.1 Provide new sign to read "ADMINISTRATION", W/ 12" high x 3/4" thick aluminum letters with Brushed alum. Finish. Mount on 1/4" x 2" x ALUMINUM rail, BY Gemini Signs or equal.
- 1.3 Replace Sheet AS1.0 EXISTING SITE PLAN with the sheet contained within this addendum.
- 1.4 Replace Sheet AS1.1 ENLARGED SITE PLAN with the sheet contained within this addendum.
- 1.5 Replace Sheet A-1.0 BUILDING A1 FLOOR PLANS with the sheet contained within this addendum.
- 1.6 Replace Sheet A-2.0 BUILDING A FLOOR PLANS with the sheet contained within this addendum.
- 1.7 Replace Sheet A-3.0 BUILDING A ENLARGED PLANS with the sheet contained within this addendum.
- 1.8 Replace Sheet A-4.0 DETAILS AND SCHEDULES with the sheet contained within this addendum.

End of Addendum

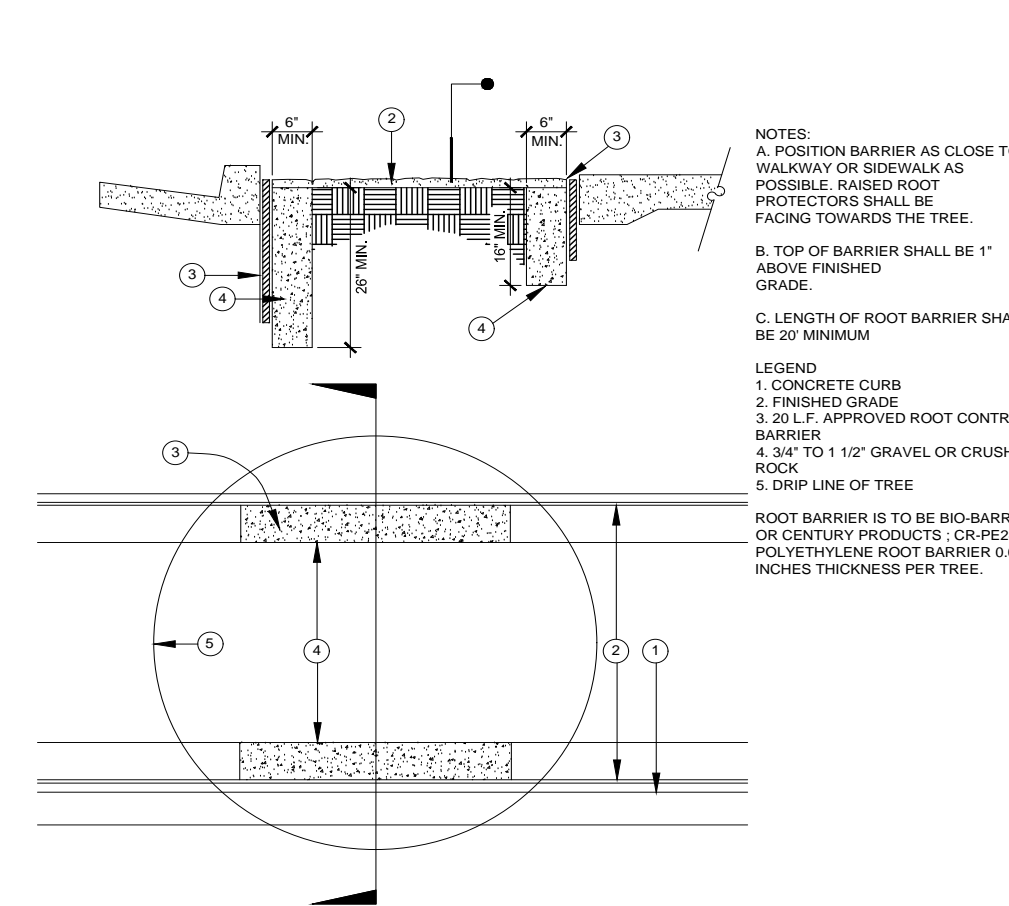
Sincerely,

Brian Gridley

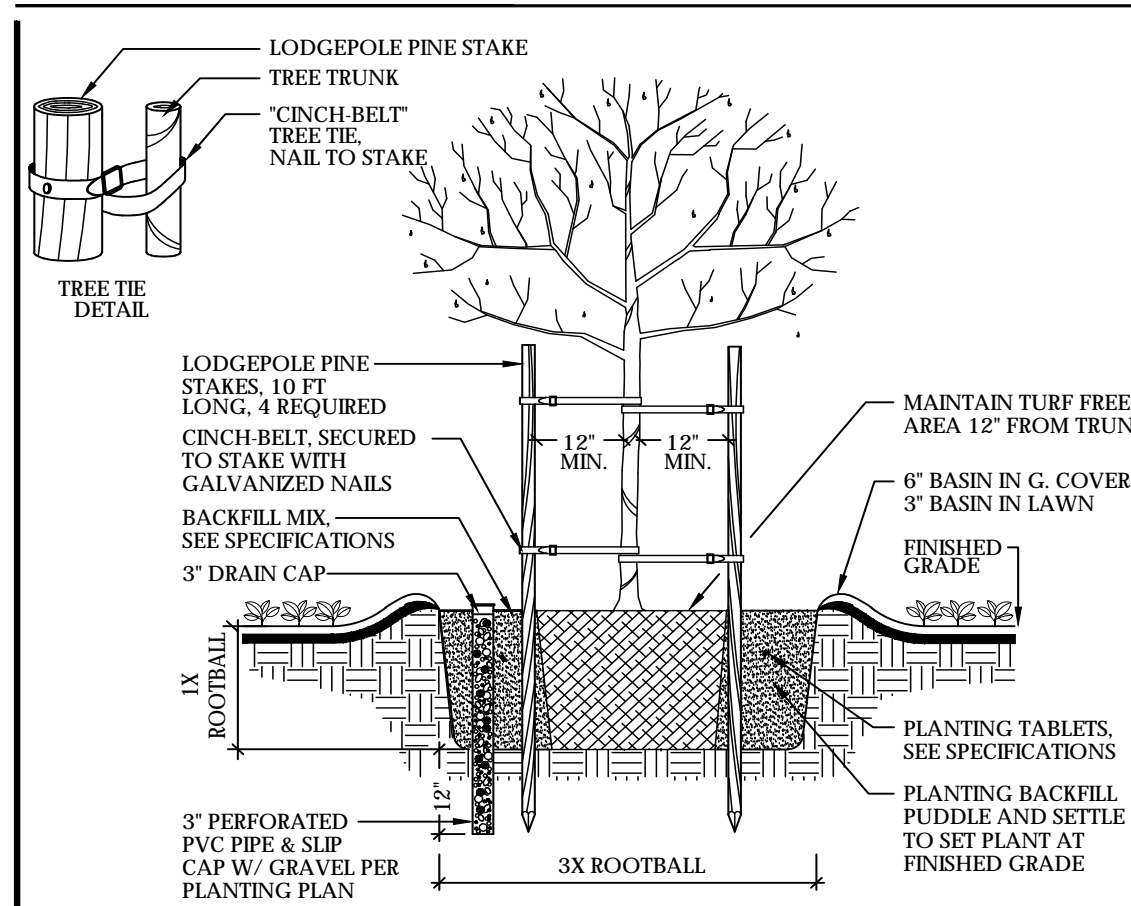
Brian Gridley, Architect
Project Architect



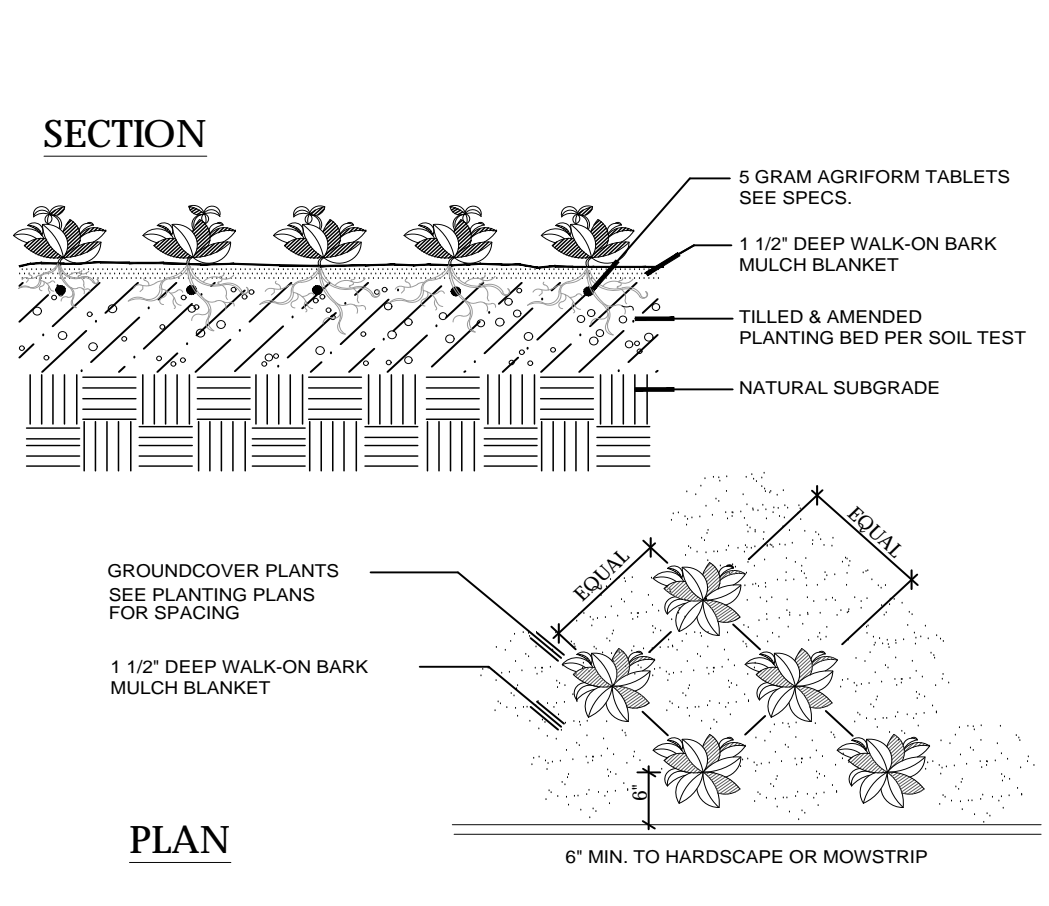
A | BARK MULCH



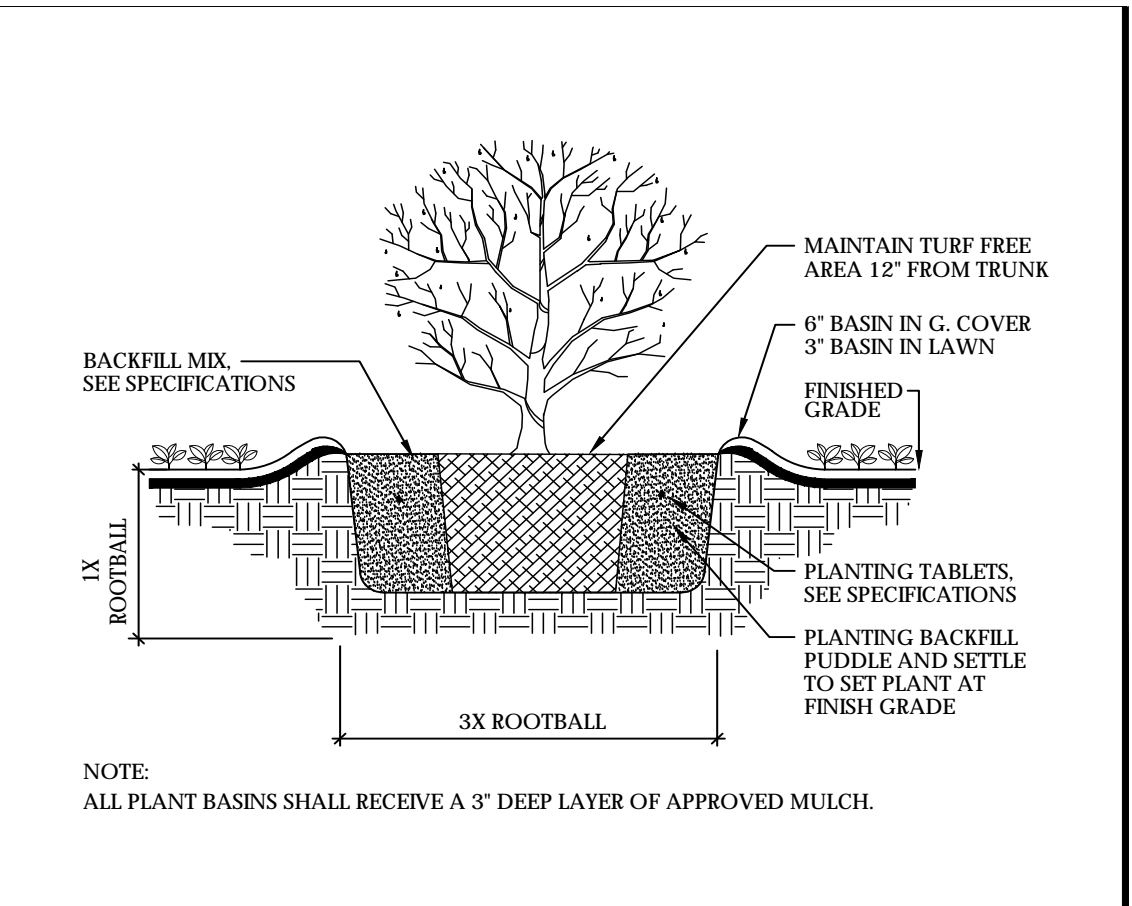
E | ROOT BARRIER



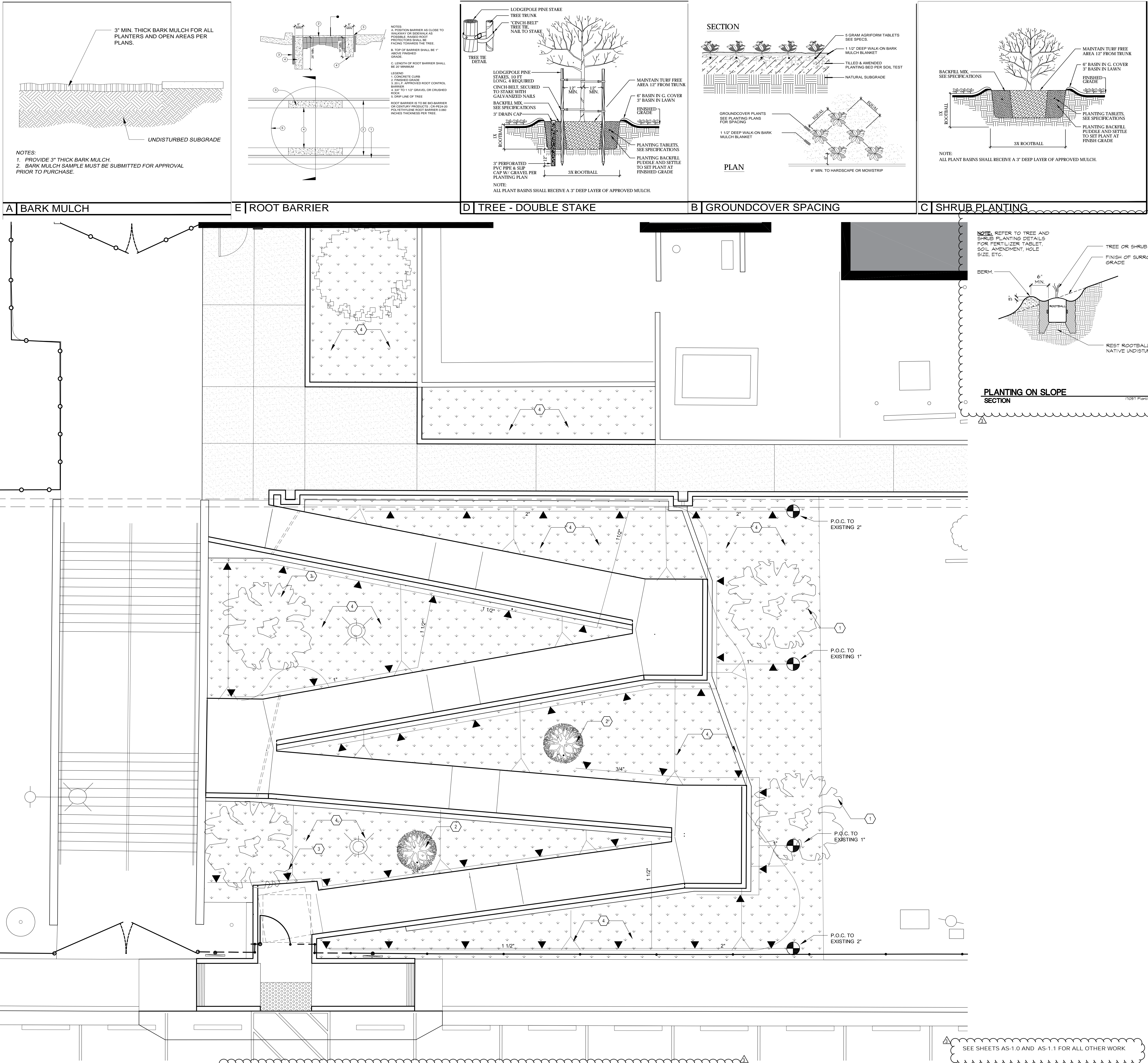
D | TREE - DOUBLE STAKE



B | GROUNDCOVER SPACING



C | SHRUB PLANTING



1 | LANDSCAPE AND IRRIGATION PLAN

PLANTING NOTES

- CONTRACTOR IS TO COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS PERTAINING TO THE INSPECTION OF PLANT MATERIALS FOR DISEASES AND INSECT INFESTATION.
- FOR TREES STAKING AND SHRUB PLANTING REQUIREMENTS REFER TO THE WORKING DRAWINGS.
- NOT USED
- NOT USED
- ALL TREES SHALL BE EQUAL TO OR SURPASS "VALLEY CREST" STANDARDS FOR SIZE AND QUALITY.
- ALL SHRUBS SHALL BE EQUAL TO OR SURPASS "THINES" STANDARDS FOR SIZE AND QUALITY.
- CONTRACTOR SHALL USE NURSERY TAGS TO VERIFY ALL PLANT MATERIAL SPECIES, VARIETY AND SIZE IN ACCORDANCE WITH THE PLANTING PLAN AND WITH THE AMERICAN ASSOCIATION OF NURSERYMEN "STANDARD OF PRACTICE."
- PLANT MATERIAL SHALL BE HEALTHY, WELL-DEVELOPED AND REPRESENTATIVE OF THEIR SPECIES AND VARIETIES. MATERIALS SHALL BE FREE FROM DISFIGUREMENTS, AND HAVE WELL-DEVELOPED BRANCH STRUCTURE AND ROOT SYSTEMS. CONTRACTOR TO COMPLY WITH THE FOLLOWING CONDITIONS:
 - DO NOT PRUNE ANY PLANT MATERIALS PRIOR TO DELIVERY WITHOUT SPECIFIC APPROVAL FROM THE CITY LANDSCAPE ARCHITECT.
 - PLANTS ARE SUBJECT TO INSPECTION FOR SIZE, SPECIES, VARIETY, CONDITION, LATENT DEFECTS, AND INJURY PRIOR TO DELIVERY TO THE PROJECT SITE AND AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
 - MATERIAL DEEMED UNACCEPTABLE BY THE CITY LANDSCAPE ARCHITECT WILL NOT BE DELIVERED TO THE PROJECT SITE OR WILL IMMEDIATELY BE REMOVED FROM THE SITE IF ALREADY DELIVERED.
 - CONTRACTOR SHALL BE PREPARED TO SHOW THAT PLANT MATERIAL IS NOT ROOT BOUND TO THE SATISFACTION OF THE CITY LANDSCAPE ARCHITECT.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO TAG ALL PLANT MATERIALS AT THE NURSERY OF HIS CHOICE FOR USE ON THE PROJECT.
- SUBSTITUTIONS WILL NOT BE PERMITTED.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE TO THE OWNER THAT ALL PLANT MATERIAL WILL GROW IN A VIGOROUS AND HEALTHY MANNER FOR THE FOLLOWING PERIODS OF TIME:
 - LESS THAN 5 GALLON SIZE: 180 DAYS.
 - 5 GALLON TO 15 GALLON SIZE: 180 DAYS.
 - 15 GALLON AND LARGER (INCLUDING ALL PALM TREES): 1 YEAR.
- THE GUARANTEE FOR EACH PERIOD SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AFTER THE SUCCESSFUL COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD BY THE CITY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REPLACE ALL DEAD, DYING OR UNHEALTHY PLANTS DURING THE GUARANTEE PERIOD.
- REPLACEMENT PLANTS SHALL MATCH THE ORIGINAL IN SPECIES, VARIETY SIZE AND CHARACTER.
- THE CONTRACTOR SHALL KILL AND/OR REMOVE ALL EXISTING WEEDS FROM THE SITE PRIOR TO THE START OF CONSTRUCTION. TREAT SOIL IN ALL AREAS SCHEDULED FOR PLANTING, OR TO RECEIVE INERT GROUNDCOVER MATERIALS WITH A RE-EMERGENT HERBICIDE AS RECOMMENDED AND APPLIED BY A LICENSED PEST CONTROL SPECIALIST, REAPPLY PRE-EMERGENT AFTER GROUNDCOVERS HAVE BEEN PLANTED.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 30 INCHES FROM ALL PAVING, WALLS, BUILDINGS, MOWCURBS, HEADERS, TURF EDGE, ETC., UNLESS OTHERWISE NOTED ON PLANS.
- ALL LANDSCAPE PLANTERS, GROUNDCOVER AND NEW SHRUB AREAS ARE BE MULCHED AT THE CONCLUSION OF PLANTING OPERATION. 3" DEEP LAYER IN AREAS OF GROUNDCOVER, AND IN ALL SHRUB AREAS (CONTINUOUS). KEEP MULCH 3" AWAY FROM PLANT CROWN.
- INSPECTIONS:
 - INSPECTIONS WILL BE REQUIRED.
 - THE CONTRACTOR SHALL CONTACT THE CITY LANDSCAPE ARCHITECT, AT LEAST 48 HOURS (2 WORKING DAYS) IN ADVANCE OF AN ANTICIPATED INSPECTIONS REQUIRED AT EACH OF THE STEPS BELOW:
 - AT COMPLETION OF FINISH GRADING WORK FOLLOWING SOIL PREPARATION WORK.
 - WHEN CONTAINER PLANTS ARE SPOTTED FOR PLANTING, BUT BEFORE PLANTING HOLES ARE EXCAVATED.
 - WHEN PLANTING AND ALL OTHER INDICATED OR SPECIFIED WORK HAS BEEN COMPLETED.
 - AT START OF PLANT ESTABLISHMENT PERIOD.
 - AT END OF PLANT ESTABLISHMENT PERIOD, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT FOR MAINTENANCE.
- MAINTENANCE PERIOD:
 - MAINTENANCE PERIOD SHALL BE 90 DAYS.
- PROVIDE PLANTING, BARKING, STAKING AND ALL OTHER ITEMS PER DETAILS CONTAINED ON THIS SHEET

SITE PLAN LEGENDS

- (N) LIVE OAK A LARGE EVER GREEN SHADE TREE; DROUGHT TOLERANCE- 24" BOX.
- LIQUIDAM BAR FORMOSANA LOW MAINTENANCE DECIDUOUS SHADE TREE- 24" BOX.
- MUSEAM UM PALO VERDE; LOW WTER USAGE- 24" BOX.
- ZAUSCHNERIA CALIFORNICA WHITE EEL RIVER WHITE CALIFORNIA FUCHSIA - SPACED AT 24" O.C. PROVIDE BARK MULCH THRU OUT AREA.

SPRINKLER LEGEND

1804APBPRS- 4 IN POP UP SPRAY HEADS- ADJUSTABLE (0-360°) PATTERN 8FT RANGE WITH PRESSURE REGULATOR, RAIN BIRD

SEE SHEETS AS-1.0 AND AS-1.1 FOR ALL OTHER WORK



APPLICANT:



**SAN BERNARDINO CITY
UNIFIED SCHOOL
DISTRICT**

BOARD OF EDUCATION
BUILDING
777 NORTH F STREET
SAN BERNARDINO, CA
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(909) 381-1100

PROJECT:

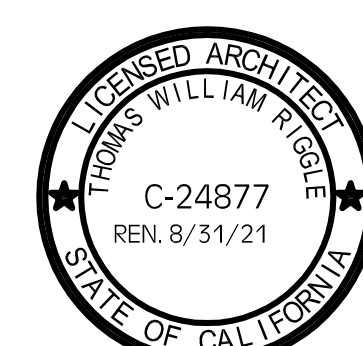


**KIMBARK ELEMENTARY
SCHOOL**

1802 W. KENWOOD AVE
SAN BERNARDINO, CA
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(909) 880-6641

ENLARGED SITE PLAN



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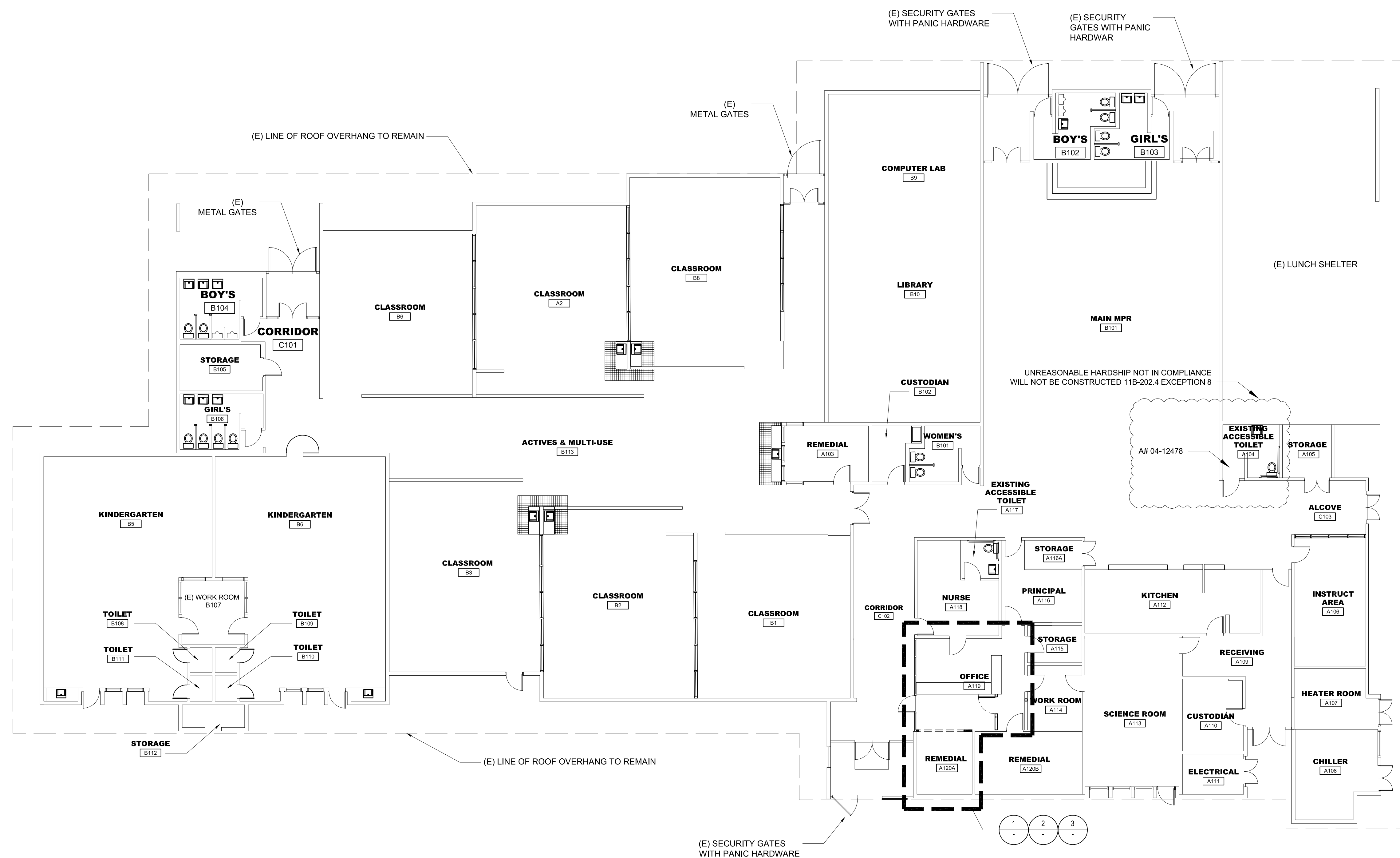
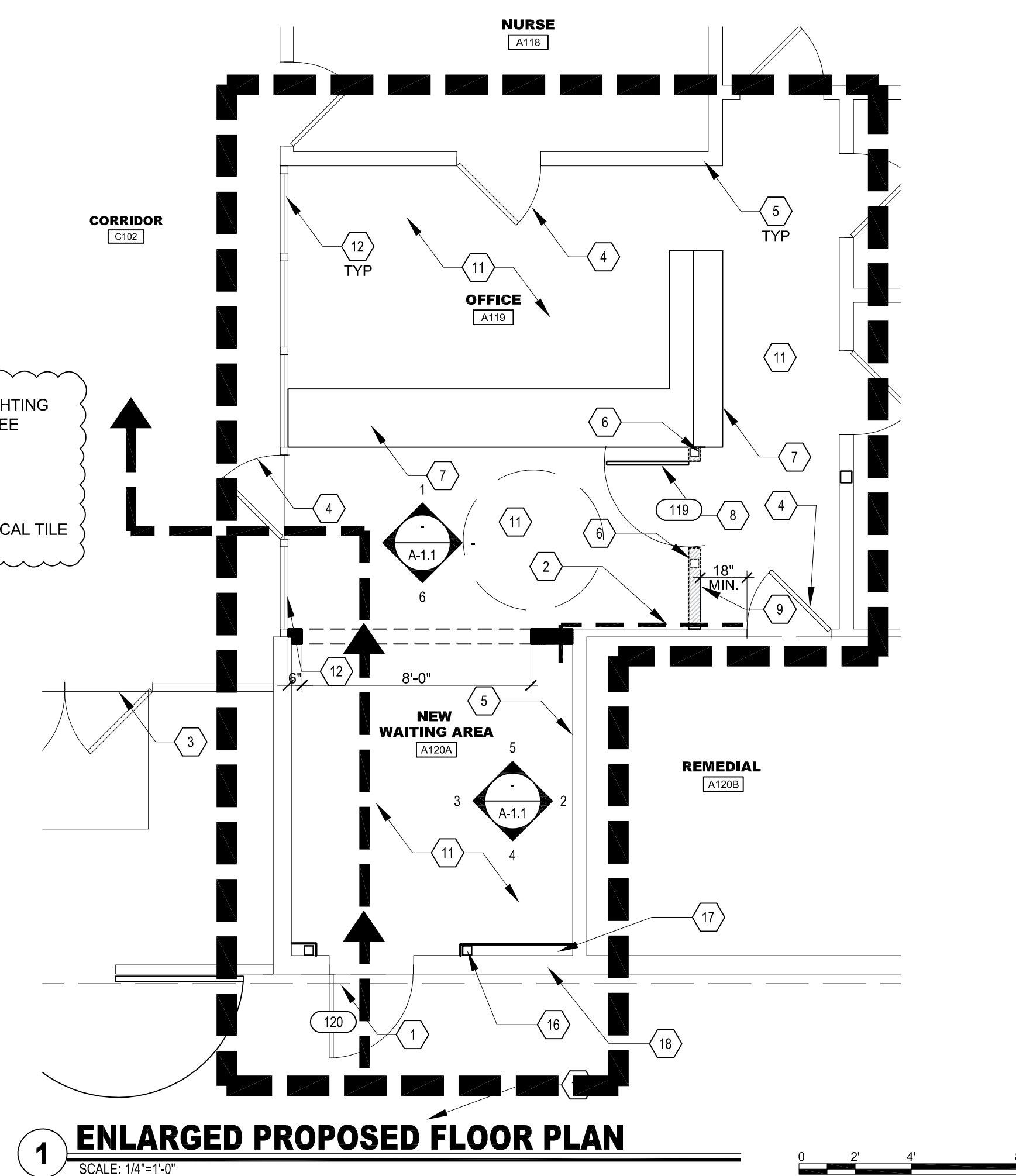
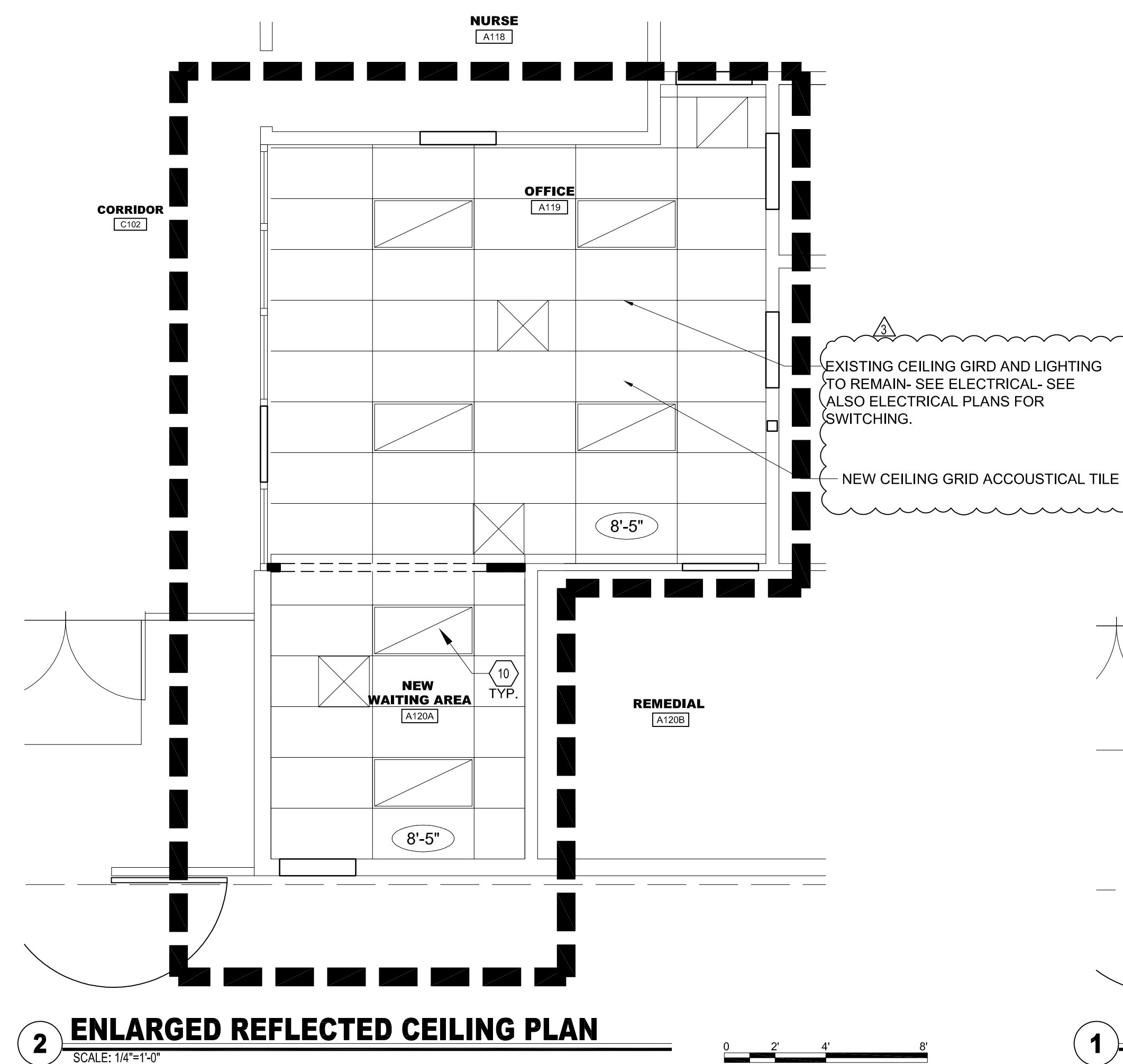
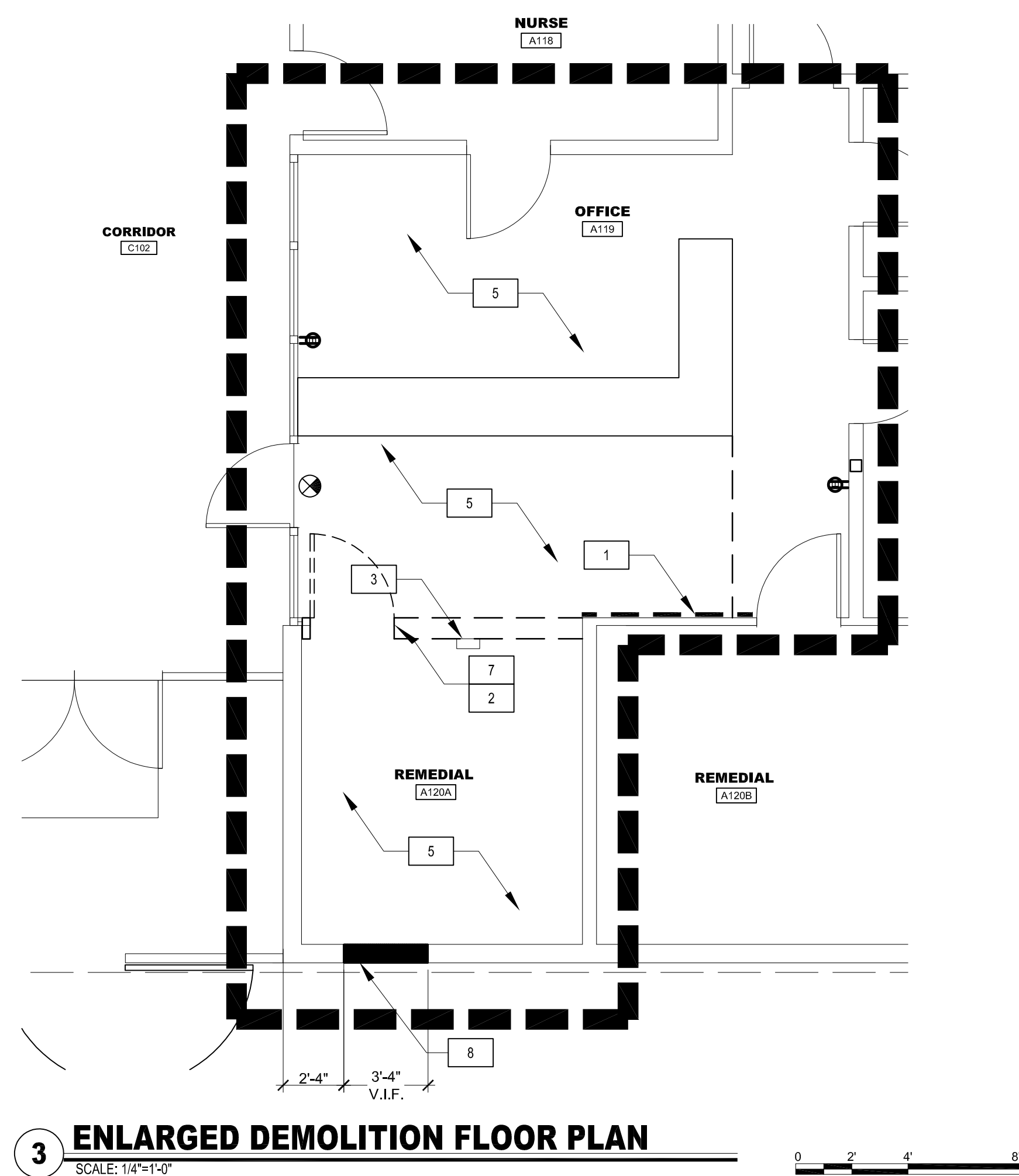
REV. REVISION NO. DESCRIPTION DATE BY
ADD_02 03/5/2021
RE BID ADENDUM #1 04/30/2021 RAF

PRINTED: 4/30/2021

DRAWN: JM
JOB #: 18-059
DATE: 4/30/21
SCALE: AS NOTED

SHEET NO:

AS-1.5



FLOOR PLAN KEYNOTES

- 1 (N) ENTRY POINT WITH (N) DOOR, AND FRAME; SEE DOOR SCHEDULE ; PAINT ALL TO MATCH (E)
- 2 NEW 5/8" TYPE "X" GYP BD FINISH AND PAINT TO MATCH EXISTING AREA.
- 3 (E) STORE FRONT DOOR TO REMAIN; PROTECT IN PLACE.
- 4
- 5 (E) INTERIOR DOOR TO REMAIN; PROTECT IN PLACE.
- 6
- 7 (E) INTERIOR 2X STUD FRAMED WALL. PROTECT IN PLACE
- 8
- 9 LOW WALL SUPPORT POST SEE DETAIL 9 & 10 /A-1.2
- 10
- 11 (E) RECEPTION DESK TO REMAIN; PROTECT IN PLACE
- 12
- 13 (N) RECEPTION GATE TO MATCH (E) RECEPTION DESK
- 14
- 15 (N) PARTIAL HEIGHT WALL
- 16
- 17 EXISTING LIGHT FIXTURE IN T-BAR CEILING TO REMAIN
- 18
- 19 (N) LVT FLOORING WITH BASE TO MATCH EXISTING; REFERENCE SPECIFICATION (COLOR TO BE SELECTED BY DISTRICT)
- 20
- 21 (E) WINDOW & TRIM TO REMAIN AND P.I.P.
- 22
- 23 NOT USED
- 24
- 25
- 26 (E) T-BAR CEILING TO BE PROTECTED IN PLACE DURING DEMOLITION
- 27
- 28 NOT USED
- 29
- 30 (N) STRUCTURAL WALL FRAMING FOR ENTRY DOOR; SEE STRUCTURAL
- 31
- 32 (N) 1 LAYER OF GYP BOARD TYP "X" WITH 2X WOOD FURRING SEE DETAIL 2, 3, & 18/A-1.2
- 33
- 34 (E) 9" GROUTED MASONRY WALL

DEMOLITION NOTES

- | | |
|---|--|
| 1 | DEMO BOTTOM 4" OF GYPSUM BOARD TO INSTALL BLOCKING FOR PARTIAL HEIGHT WALL AND GATE. |
| 2 | (E) SOUND PARTITION TO BE DEMOLISHED. |
| 3 | (E) ELECTRICAL, FIRE ALARM EQUIPMENT TO BE RELOCATED |
| 4 | NOT USED |
| 5 | (E) VCT FLOORING TO BE DEMOLISHED |
| 6 | NOT USED |
| 7 | (E) INTERIOR DOOR, TO BE DEMOLISHED |
| 8 | DEMOLISH (E) EXTERIOR MASONRY WALL FOR (N) DOOR OPENING- SEE STRUCTURAL |

GENERAL NOTES

1. PROTECT IN PLACE CURRENT INTERIOR THRESHOLDS; IF DAMAGED OR UNABLE TO BE USED WITH NEW FLOOR, REPLACE AS NEED.
2. PATCH, REPAIR, TEXTURE & PAINT ALL ADJACENT (EXTERIOR AND INTERIOR) WALLS & TRIM OF AFFECTED SPACE TO MATCH EXISTING. PAINT ALL INTERIOR WALLS AND DOORS IN OR FACING ROOM A119 & A120A
3. (N) LVT AT (N) ENTRY POINT WAITING AREA AND (E) OFFICE; CONTRACTOR TO PROVIDE SAMPLES FOR DISTRICT TO CHOOSE FROM BEFORE INSTALLATION
4. PATCH EXISTING GYP BD WALLS WHERE ANY INTERSECTING PARTITIONS HAVE BEEN REMOVED.

LEGEND



NOTE: ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELLED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS SHALL BE 4" MAX. IN HEIGHT AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

AREA OF WORK
NOTE: ALL WORK SHOWN ON THE PLANS
SHALL BE INCLUDED IN THE WORK.



APPLICANT:



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PROJECT:



**KIMBARK ELEMENTARY
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FLOOR PLAN



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REV.	REVISION	DATE	BY
NO.	DESCRIPTION		
3	RE BID ADENDIUM #1	04/30/2021	RA

PRINTED: 4/30/2021

DRAWN: ---
JOB #: 18-059
DATE: 4/30/21
SCALE: AS NOTED

SHEET NO:

A-1.0

- 1 (N) ENTRY POINT WITH HM DOOR, FRAME & SEE SPECIFICATIONS; COLOR TO MATCH (E)
- 2 REMAINING (E) WALL ABOVE: PATCH, REPAIR, TEXTURE AND PAINT TO MATCH (E)
- 3 (E) DOOR/WINDOW TO REMAIN; PROTECT IN PLACE
- 4 (E) RECEPTION DESK TO REMAIN; PROTECT IN PLACE
- 5 (E) T- BAR CEILING TO REMAIN PROTECT IN PLACE
- 6 (N) GYPSUM BOARD CEILING TO BLEND WITH AND MATCH (E) GYPSUM BOARD CEILING IN (E) OFFICE; SEE STRUCTURAL & MECHANICAL DRAWINGS
- 7 (N) 4" RUBBER BASE MATCH (E) COLOR; SEE SPECIFICATIONS
- 8 (E) RUBBER BASE TO REMAIN; PROTECT IN PLACE
- 9 (N) FLOOR FINISH; SEE PROPOSED FLOOR PLAN AND SPECIFICATIONS
- 10 FUR WALL OVER (E) MASONRY WALL AND STRUCTURAL FRAME
- 11 (E) STUD WALL TO REMAIN; PROTECT IN PLACE
- 12 (N) MILLWORK STYLE GATES TO MATCH (E) RECEPTION DESK SEE DTL.

9

A-1,2
- 13 STRUCTURAL FRAME FOR (N) OPENING (BEHIND (N) FUR STUD WALL); SEE STRUCTURAL PLANS

1

SD-1

P-1 INTERIOR PAINT TO MATCH EXISTING CASEWORK

P-2 INTERIOR PAINT FOR WOOD CAP TO BE SELECTED BY ARCHITECT AND DISTRICT.

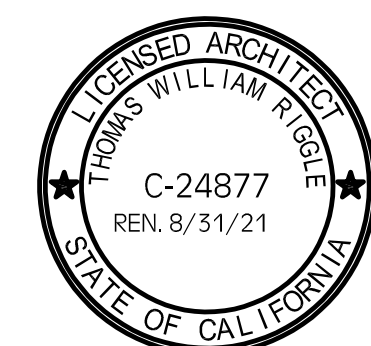
P-3 INTERIOR PAINT TO MATCH EXISTING COLOR

1. PATCH, REPAIR, TEXTURE & PAINT ALL ADJACENT (INTERIOR) WALLS, TRIM & BASE OF AFFECTED SCOPE TO MATCH EXISTING
2. (N) LVT AT (N) ENTRY POINT WAITING AREA AND (E) OFFICE AREA (SEE PLAN); CONTRACTOR TO PROVIDE SAMPLES FOR DISTRICT TO CHOOSE FROM BEFORE INSTALLATION

PROJECT:



INTERIOR ELEVATIONS

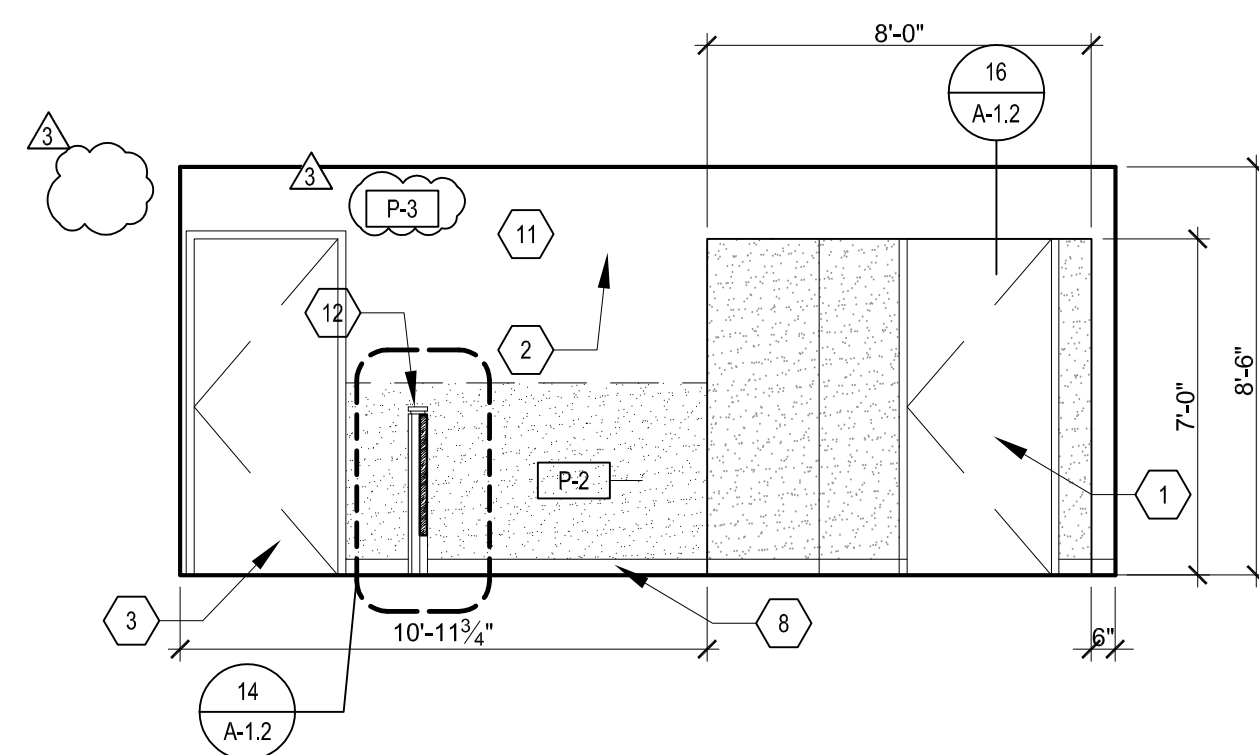


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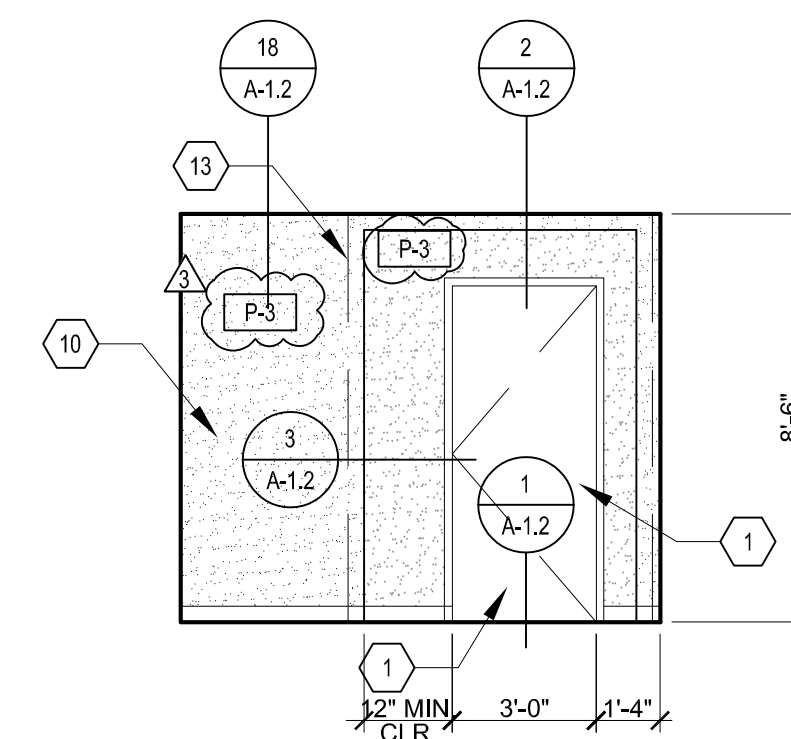
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SCALE: AS NOTED

A-1.1

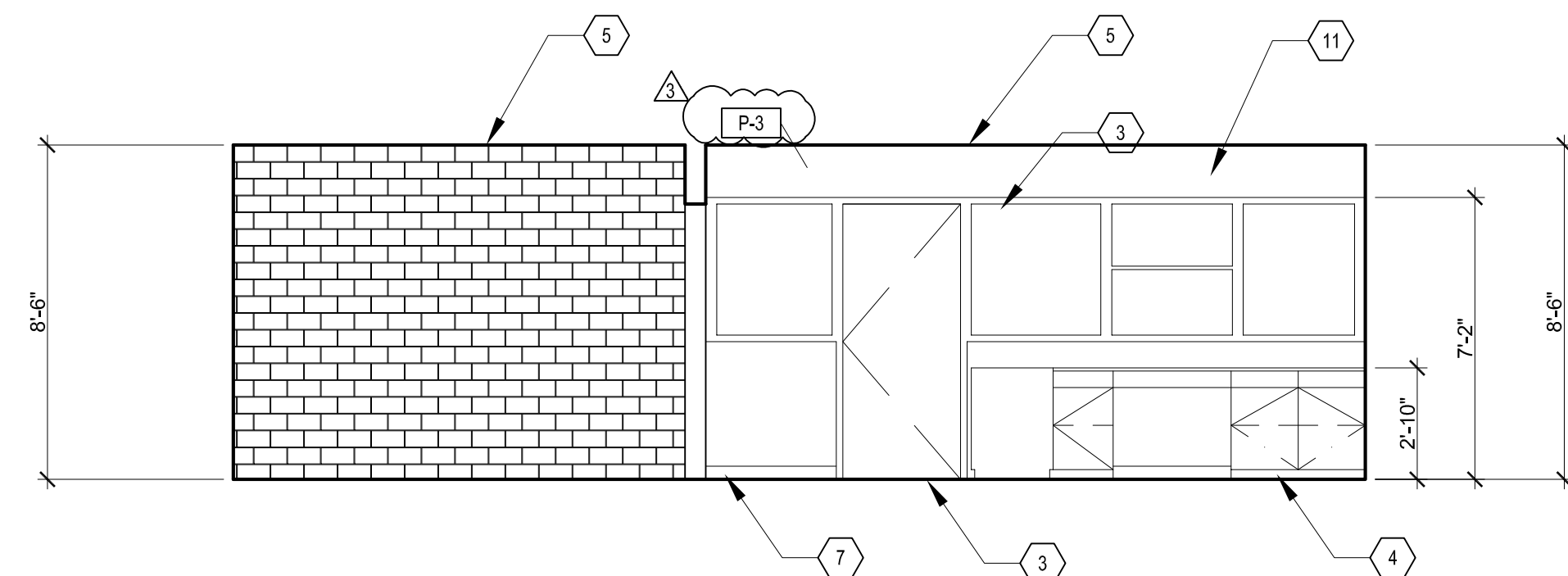


6 INTERIOR ELEVATION

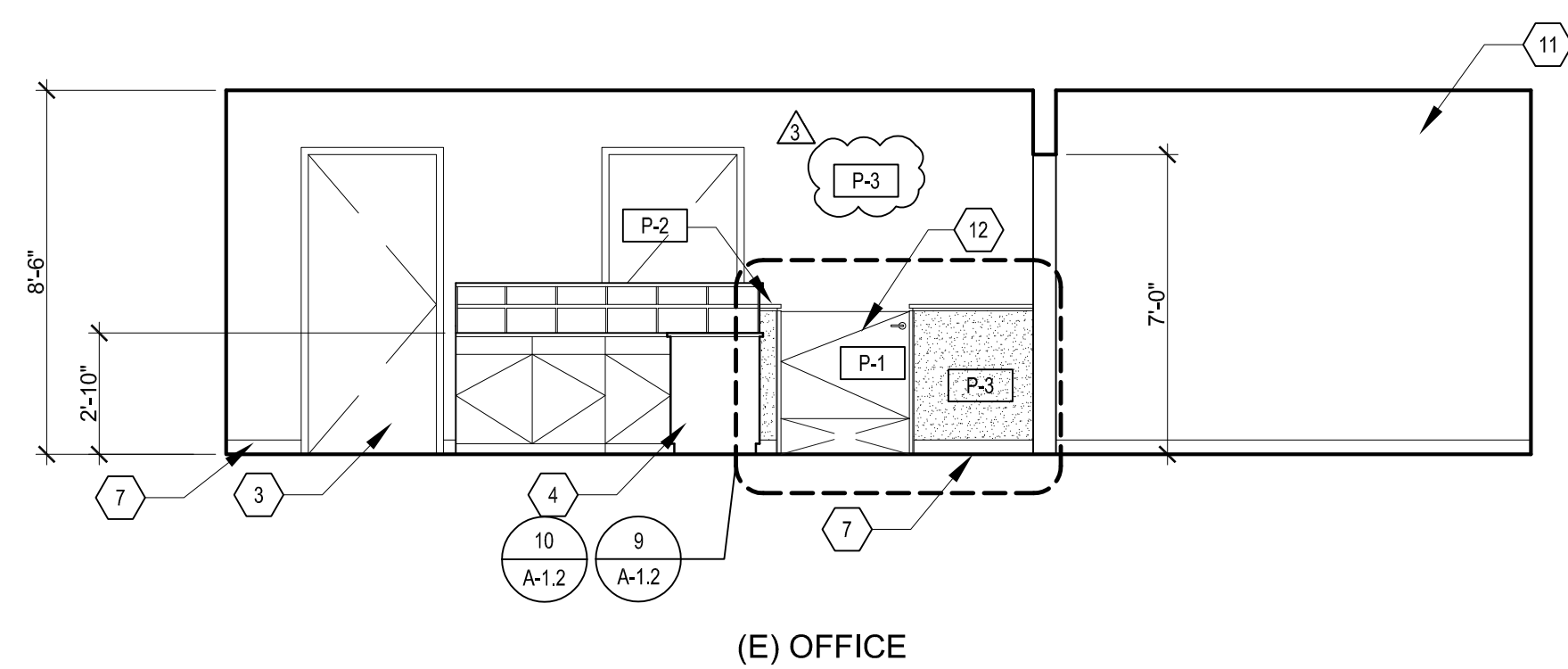


(E) OFFICE

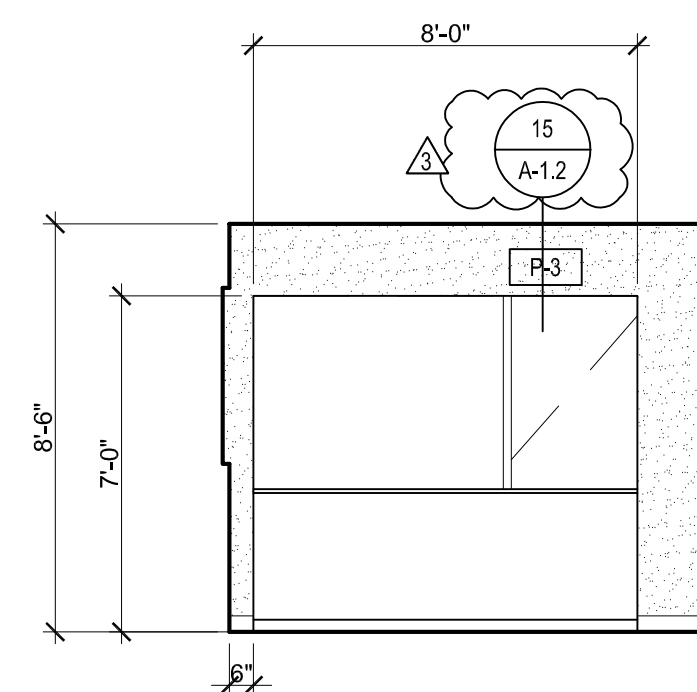
4 INTERIOR ELEVATION
SCALE: 1/4"=1'-0"



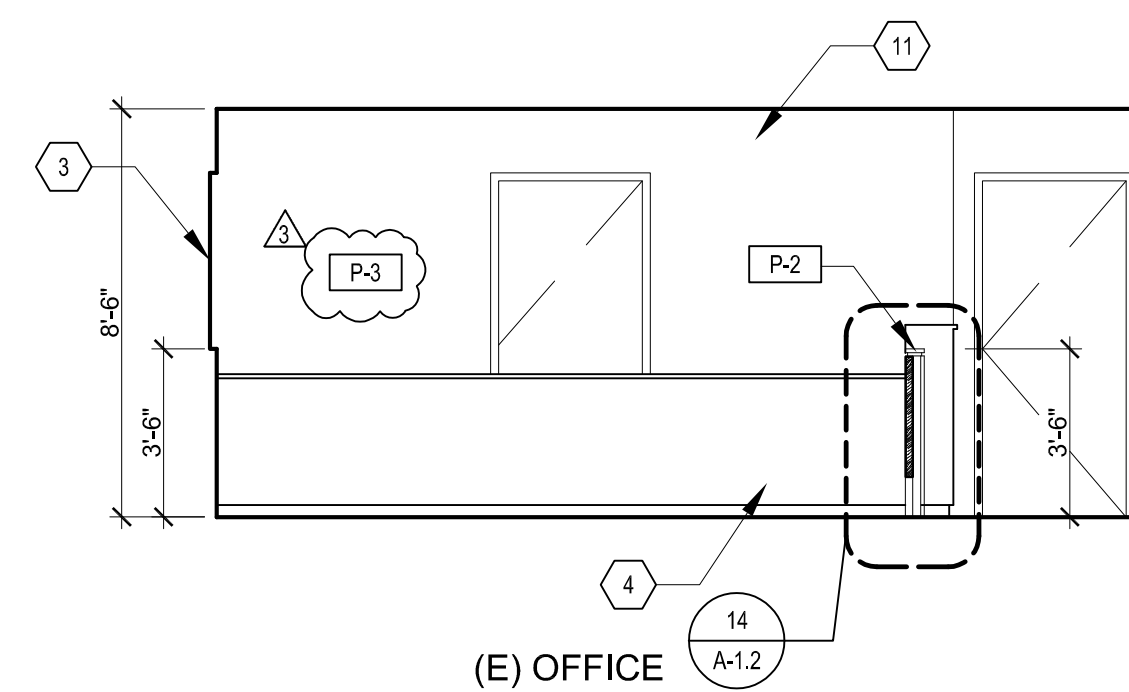
3 INTERIOR ELEVATION



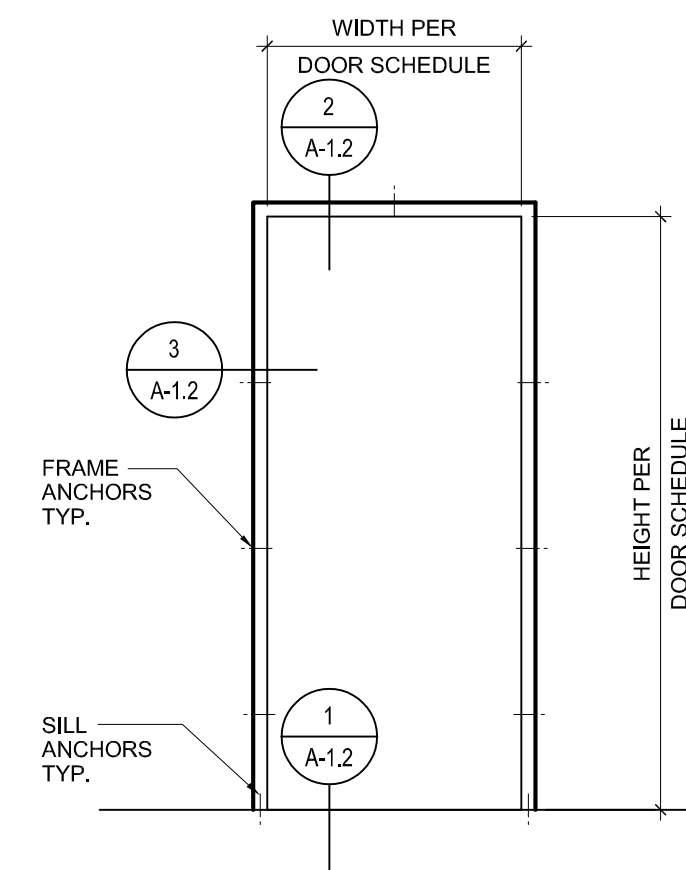
2 INTERIOR ELEVATION



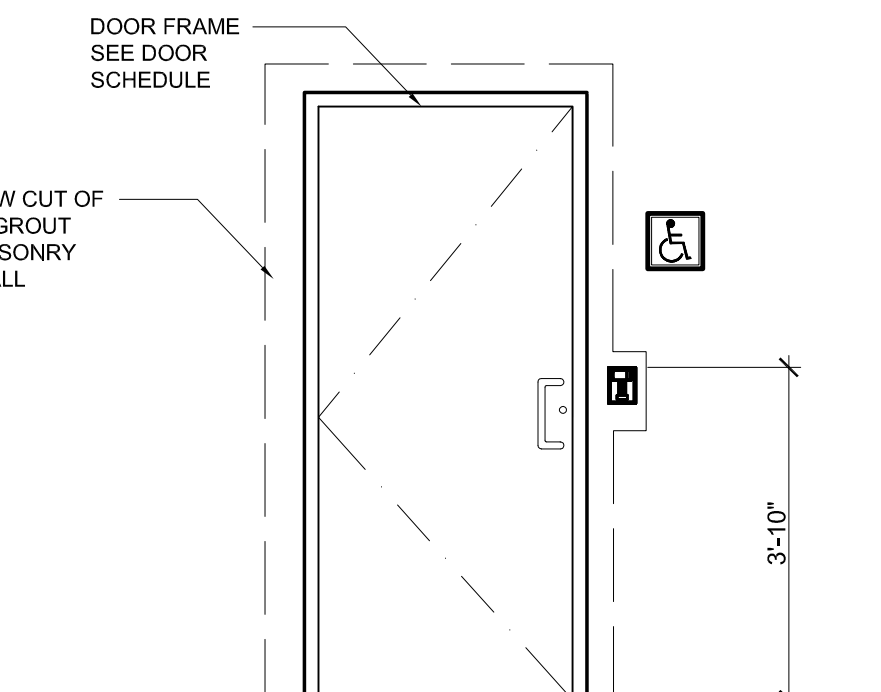
5 INTERIOR ELEVATION



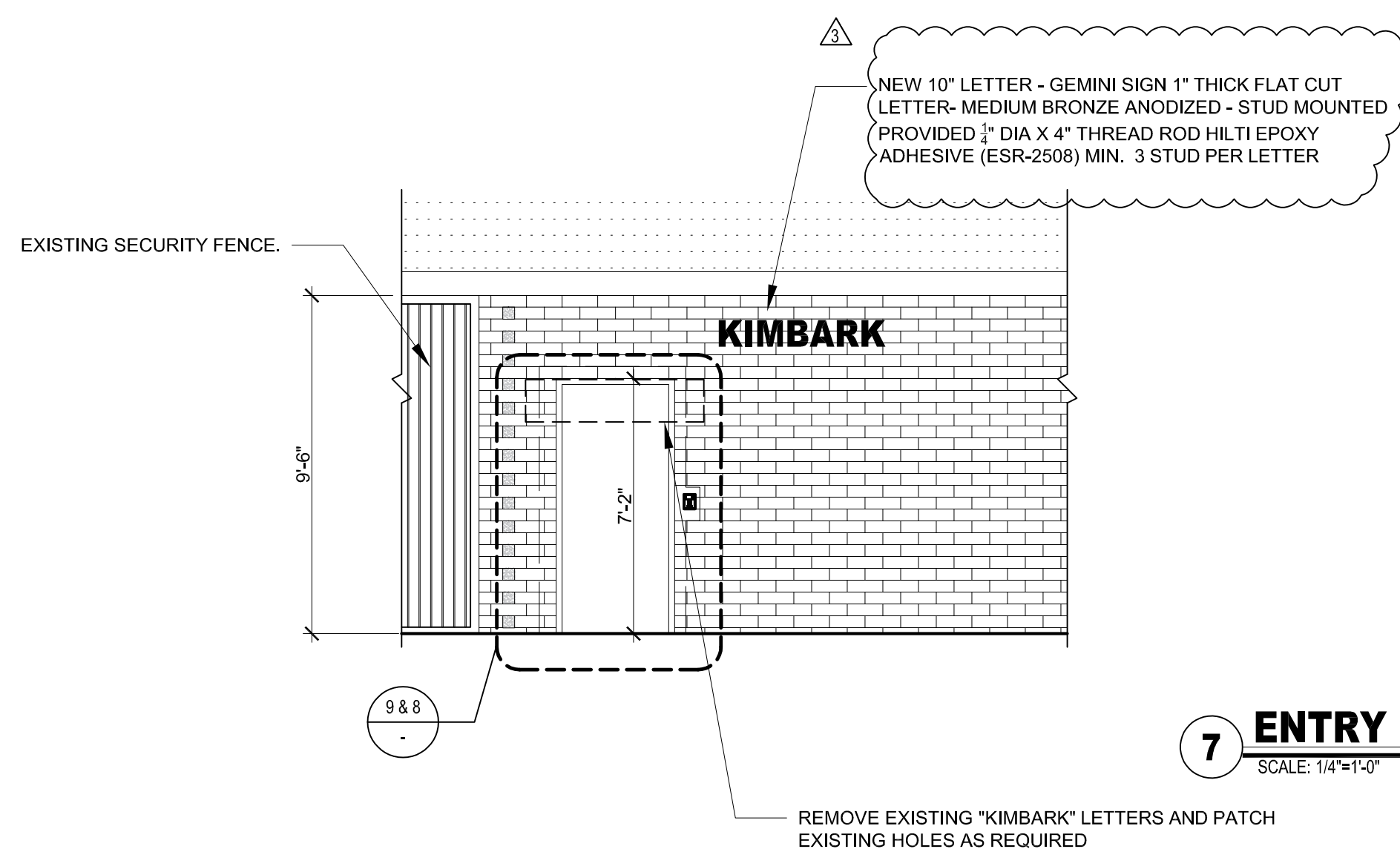
1 INTERIOR ELEVATION



9 TYPICAL DOOR ANCHORAGE



8 ENTRY INTERIOR ELEVATION

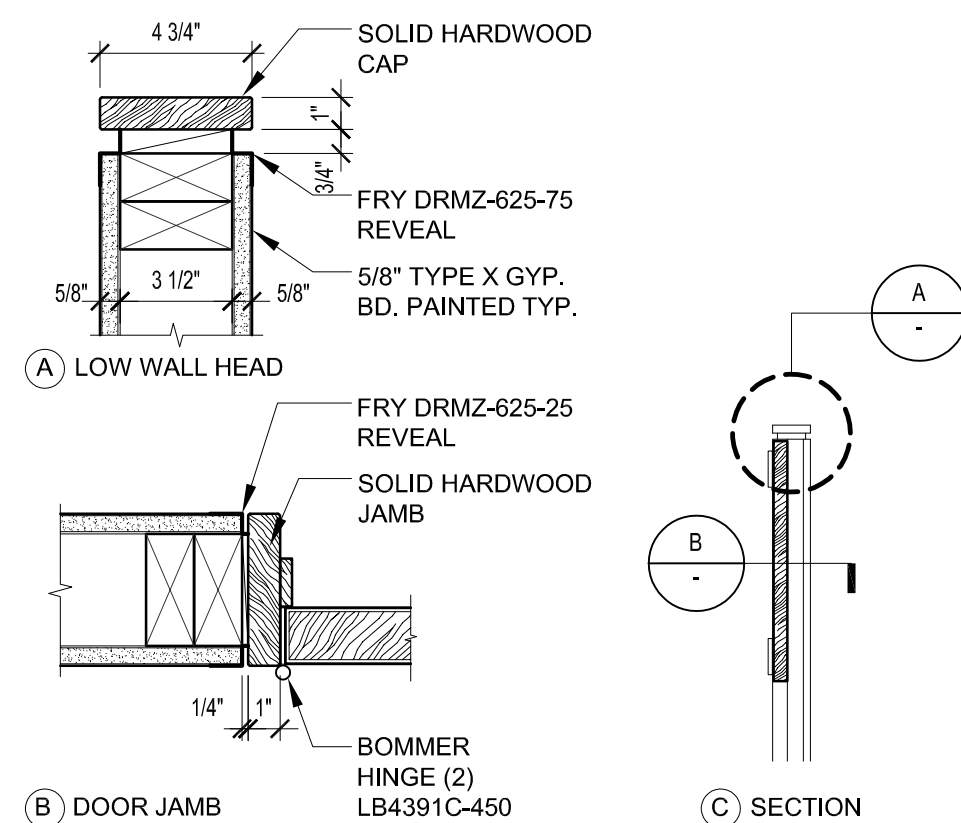


7 ENTRY EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

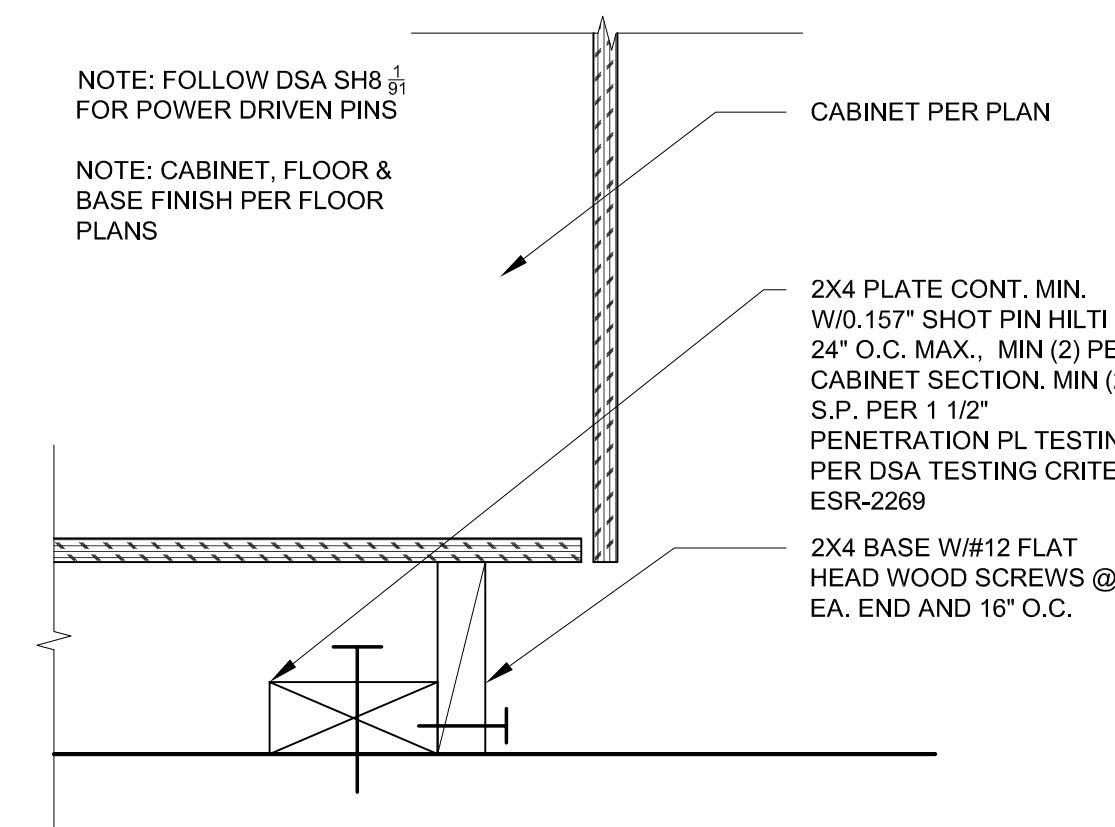
DOOR NO.	ROOM NAME	ROOM NO.	SIZE W X H	DOOR			FRAME			DETAILS			DOOR CLASS.	FIRE LABEL	SET NO.	HARDWARE		HLD/OPN	NOTES
				TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB					PAINIC	CLOSER		
119	OFFICE	A119	3026	B	WD	PAINT -	-	WD	PAINT	14	14	INT.	-	10	NO	NO	NO	NEW HARDWARE	
120	WAITING AREA	A120	3070	A	STU/CL	PAINT -	HM	PAINT	3	2	EXT.	-	482.1	YES	YES	NO	NO	NEW HARDWARE AND ELECTRIC STRIKE REQUIRED	
G1	EXTERIOR	-	(1)3060	-	STU/CL	EPOXY	-	STL	EPOXY	-	-	EXT.	-	11	YES	YES	NO	NEW HARDWARE/ SEE DETAIL 8/ AS-1.4	
G2	EXTERIOR	-	(1)3060	-	STU/CL	EPOXY	-	STL	EPOXY	-	-	EXT.	-	11	YES	YES	NO	NEW HARDWARE/ SEE DETAIL 8/AS-1.4	
G3	EXTERIOR	-	(1)3060	-	STU/CL	EPOXY	-	STL	EPOXY	-	-	EXT.	-	11A	NO	NO	NO	NEW HARDWARE/ SEE DETAIL 2/AS-1.4	

SET 010				SET 492.1			
• 1 EA HINGE	742	626 BOM		• 3 EA HINGE	3CB1 4.5 X 4.5 NRP SEC STD	630 IVE	
• 1 EA PASSAGE	L9010 06A	626 SCH		• 1 EA FIRE EXIT HARDWARE	AX-98-NL/OP-PA	626 VON	
• 1 EA DOME STOP	FS436H438 AS REQD	626 IVE		• 1 EA IC RIM CYLINDER	20-057-JCX	626 SCH	
• 2 EA SILENCER	SRI64	GRY IVE		• 1 EA PRIMUS CORE ONLY	20-740	626 SCH	
				• 1 EA ELECTRIC STROKE	6111	630 VON	
				• 1 EA DOOR PULL	VR910NL	630 IVE	
				• 1 EA CLOSER	4040XP EDA	689 LCN	
SET 11				• 1 EA KICK PLATE	8400 10" X 2"	630 IVE	
• 1 EA EXIT DEVICE	AX-98-NL/OP-PA	626 VON		• 1 EA FLOOR STOP	FS4411442 AS REQUIRED	626 IVE	
• 1 EA IC RIM CYLINDER	20-057-JCX	626 SCH		• 1 SET PERIMETER SEALS	326AA HEAD & JAMBS	AL ZER	
• 1 EA PRIMUS CORE ONLY	20-740	626 SCH		• 1 EA AUTO DOOR BOTTOM	35SA	AL ZER	
• 1 EA DOOR PULL	VR910NL	630 IVE		• 1 EA THRESHOLD	AS DETALLED	AL ZER	
• 1 CLOSER	LOGINOX VERTICLOSE-2			• 1 EA POWER SUPPLY	P5902	SCE	
				• 1 EA DOOR POSITION SWITCH	T764	SCE	
BALANCE OF HARDWARE BY GATE MANUFACTURER B/O							
SET 11A							
• HINGE AND HASP BY GATE MANUFACTURE							
• SIGN TO READ "THIS GATE TO REMAIN OPEN DURING OPERATION"							
BALANCE OF HARDWARE BY GATE MANUFACTURER B/O							

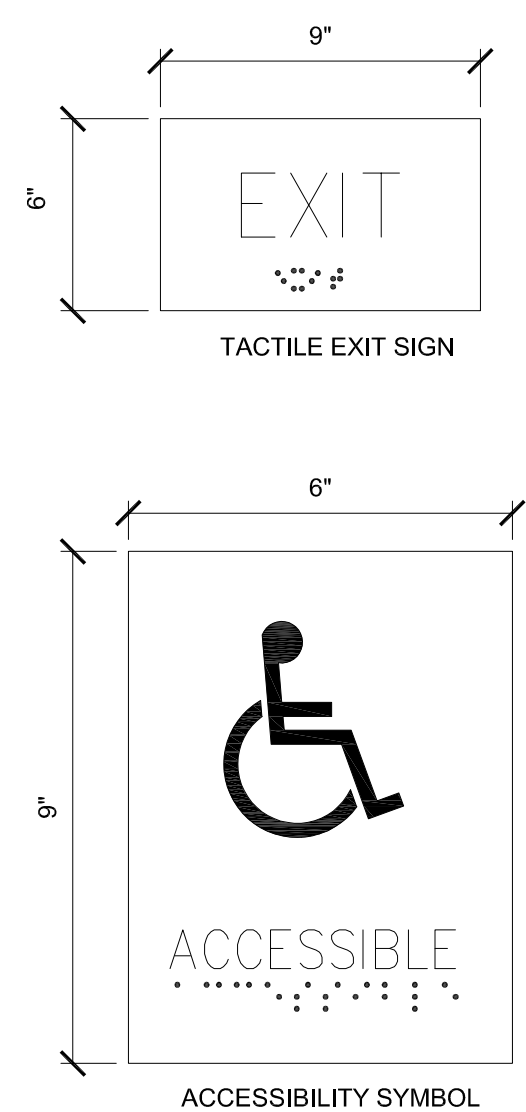
<p>1. NEW EXIT DOOR SHALL BE EQUIPPED W/ LEVER TYPE HARDWARE, PANIC BARS, PUSH-UP ACTIVATING BARS DESIGNED TO PROVIDE PANIC RELEASE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.</p> <p>2. NEW EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.</p> <p>3. EXISTING 1/2" THICK GLASS DOOR PANELS SHALL BE REPLACED WITH STRENGTH POLYVINYL BUTYRAL LAMINATING SHEET. EDGES OF LAMINATED GLASS SHALL BE TREATED WITH RUBBER GASKETS OR EQUIVALENT PROTECTION TO PREVENT CONTACT OF LAMINATING SHEET WITH SEALANTS.</p>	<p>4. NOT USED</p> <p>5. A READILY VISIBLE DURABLE SIGN SHALL BE POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE MAIN EXIT DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN LETTERS ONE (1) INCH OR MORE IN CONTRASTING COLOR TO THE BACKGROUND.</p> <p>6. DOOR LEVERES & H&LES SHALL BE MOUNTED @ 34"-44" A.F.F.</p> <p>7. THE MAX. EFFORT TO OPERATE INTERIOR & EXTERIOR DOORS SHALL NOT EXCEED FIVE (5) FT. POUNDS IN ACCORDANCE WITH 2016 CALIFORNIA BUILDING CODE SEC. 118-404.2.9.</p>	<p>8. THE SWEEP PERFORM FOR DOORS EQUIPPED W/ A CLOSER DEVICE SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION @ 90 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE 3 INCHES FROM THE LATCH, MEASURE TO THE LEADING EDGE OF THE DOOR. CIB 118-404.2.8.2.</p> <p>9. THE NEW GRADE-LEVEL EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD "EXIT" IN BRASS OR PLATE ON THE EGRESS SIDE OF OR ON THE WALL ON THE LATCH SIDE OF DOOR OR NEAREST ADJACENT WALL TO THE RIGHT @ 60" A.F.F.</p> <p>10. THE NEW ENTRANCE DOOR OF THIS BUILDING SHALL BE IDENTIFIED WITH MIN. ONE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON THE EGRESS SIDE OF OR ON THE WALL ON THE LATCH SIDE OF DOOR OR NEAREST ADJACENT WALL TO THE RIGHT @ 60" A.F.F.</p>
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SCALE: 1/2" = 1'-0"

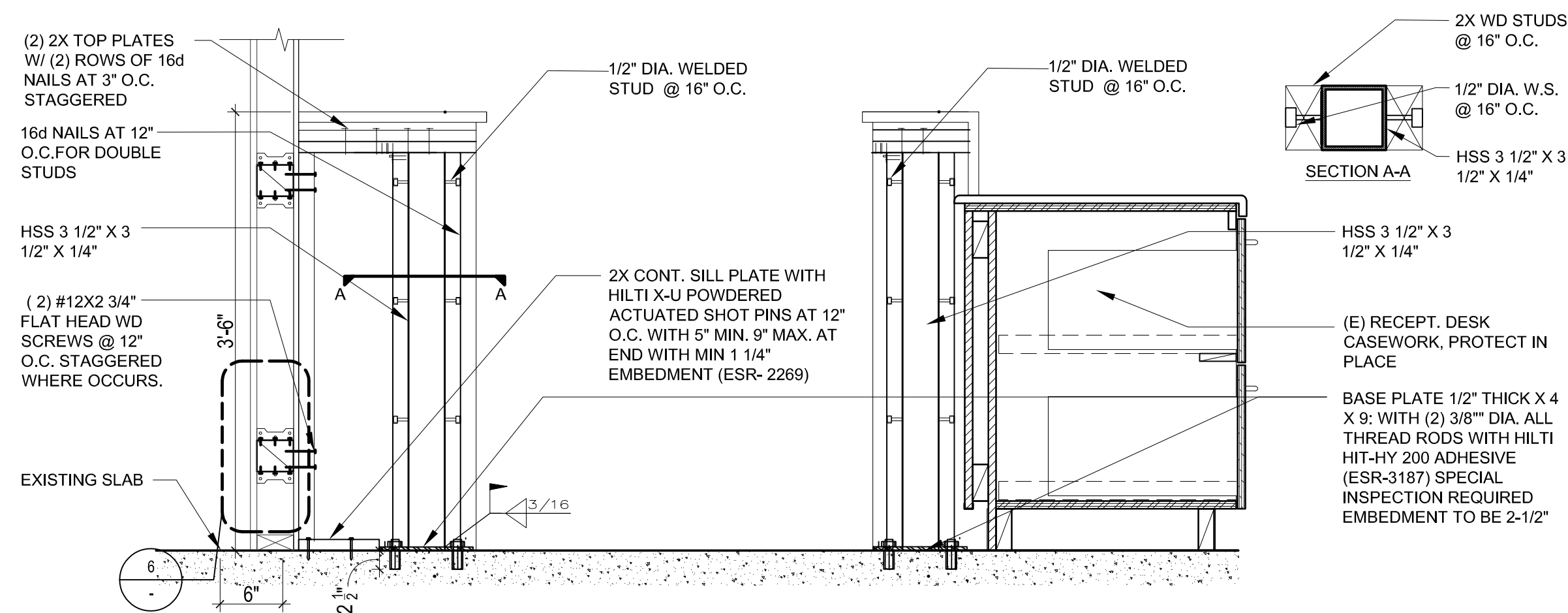


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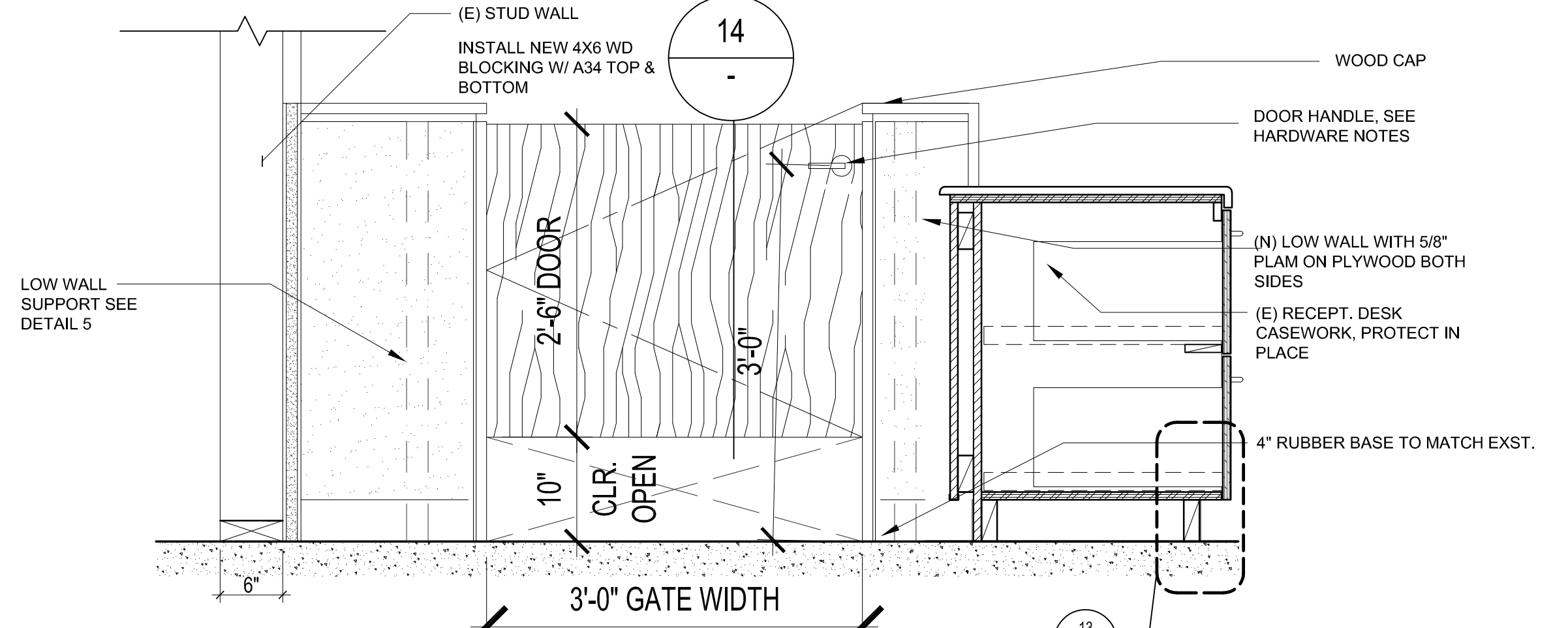


SEE DETAIL-10/AS-1.3 FOR TACTILE
SIGN REQUIREMENTS

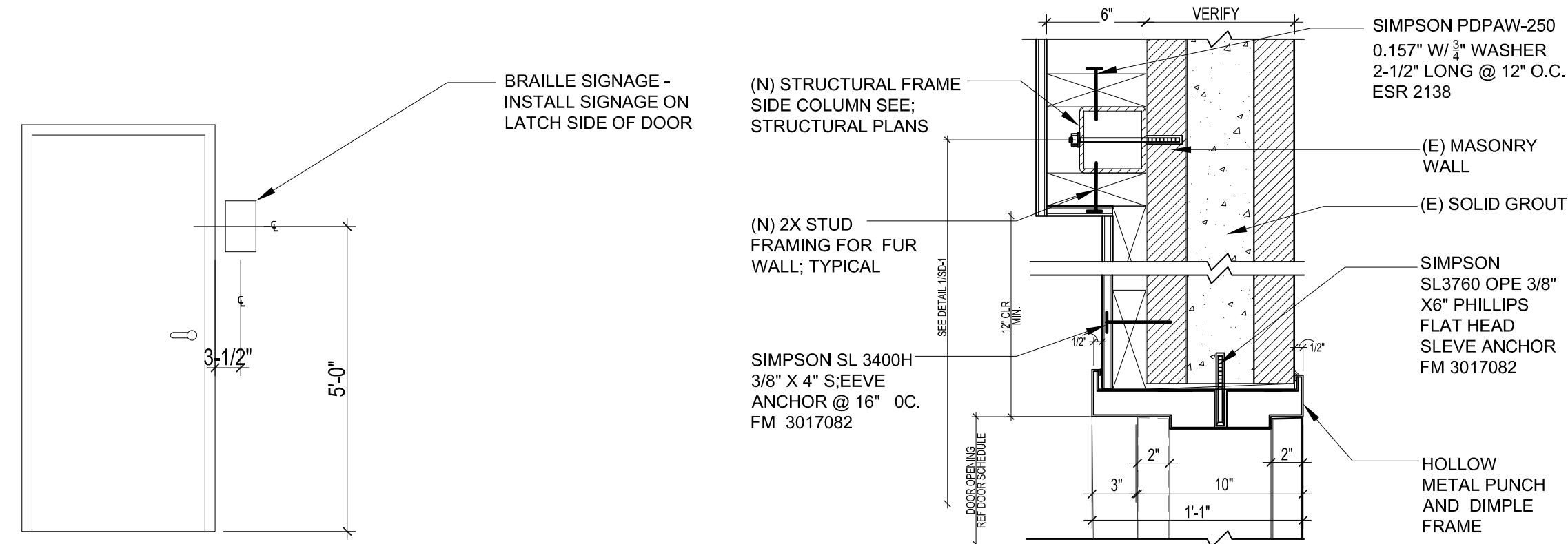
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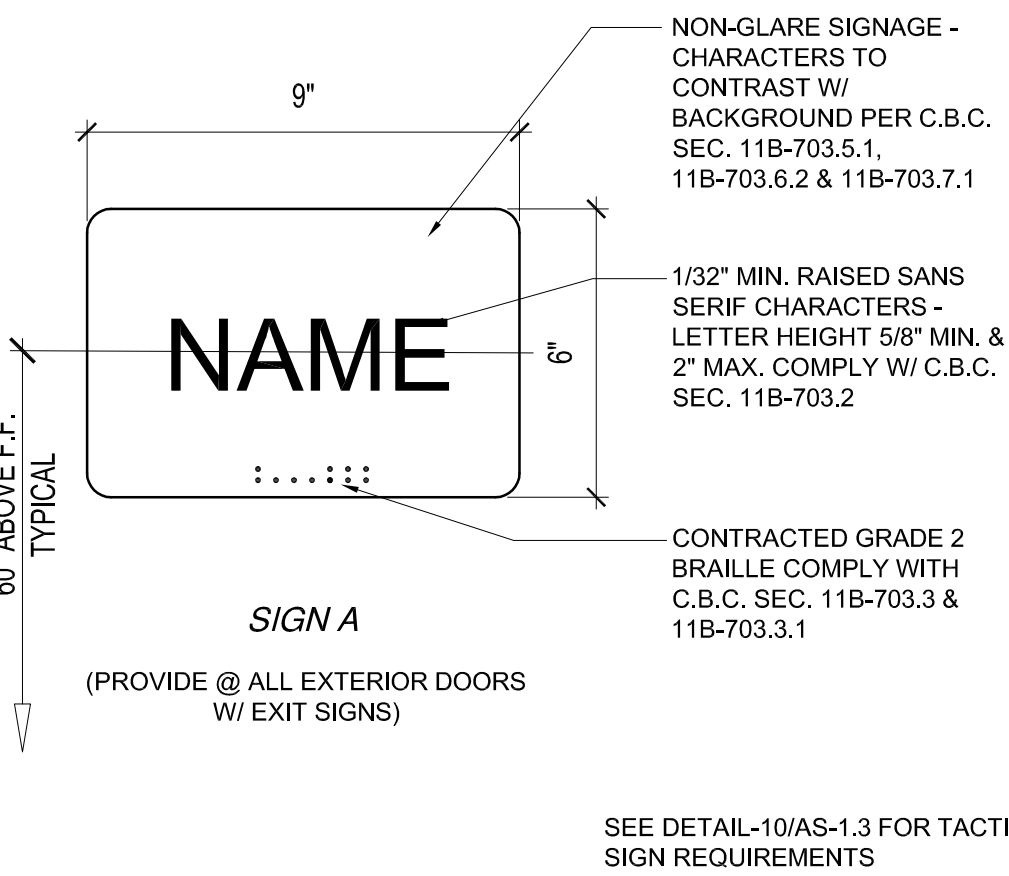
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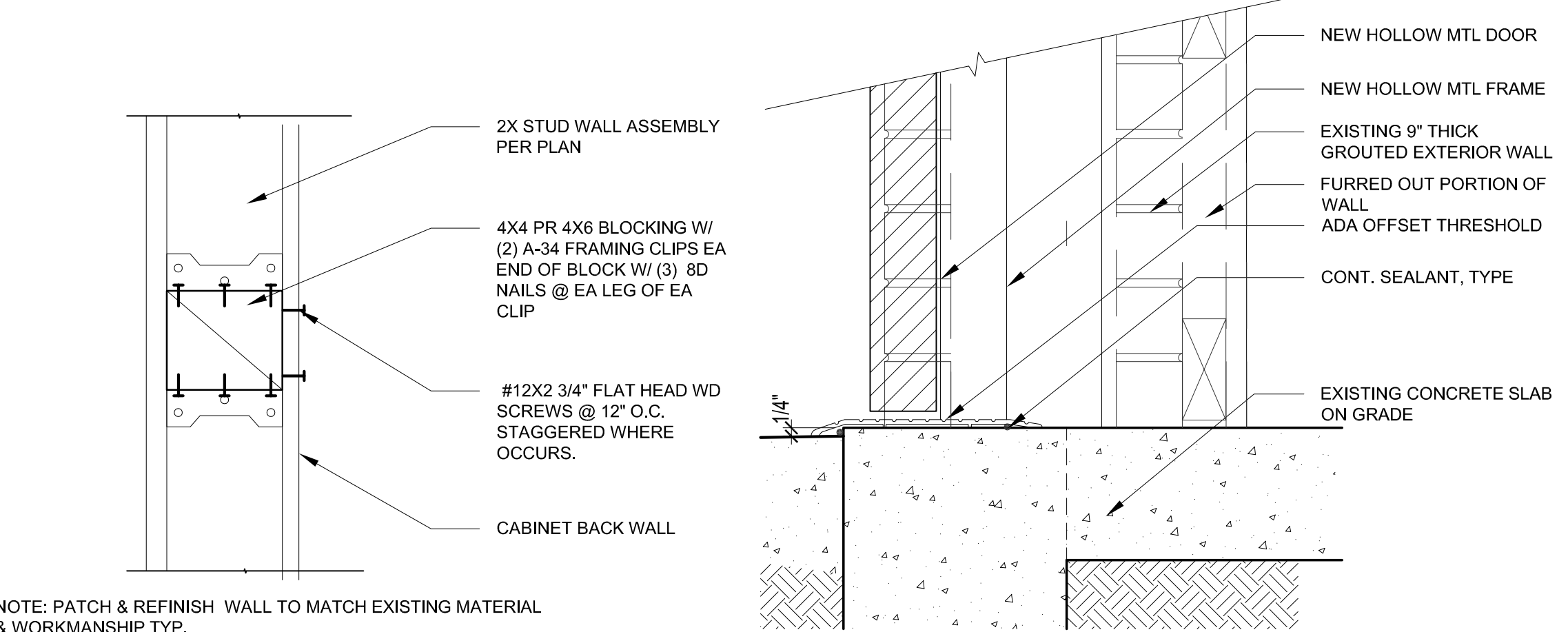
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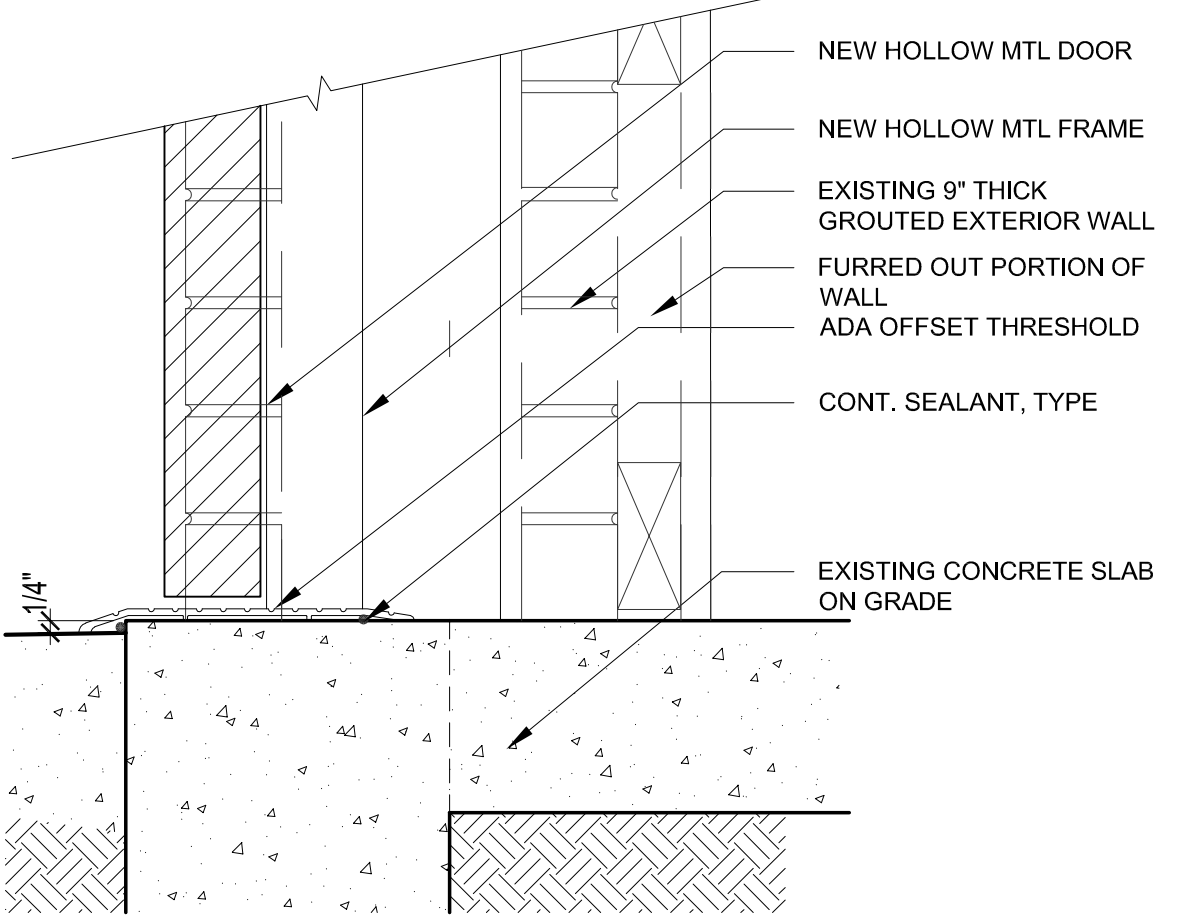
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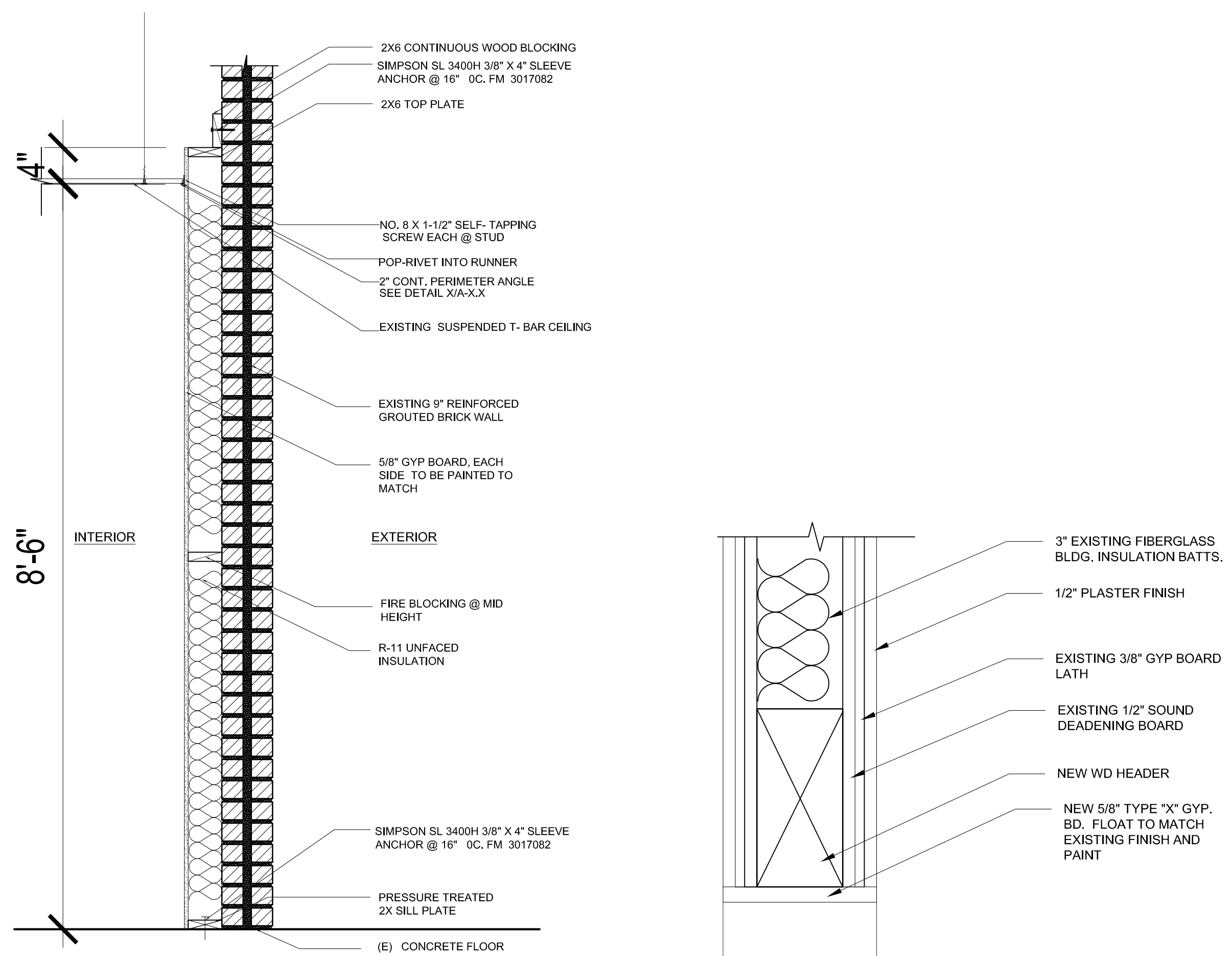
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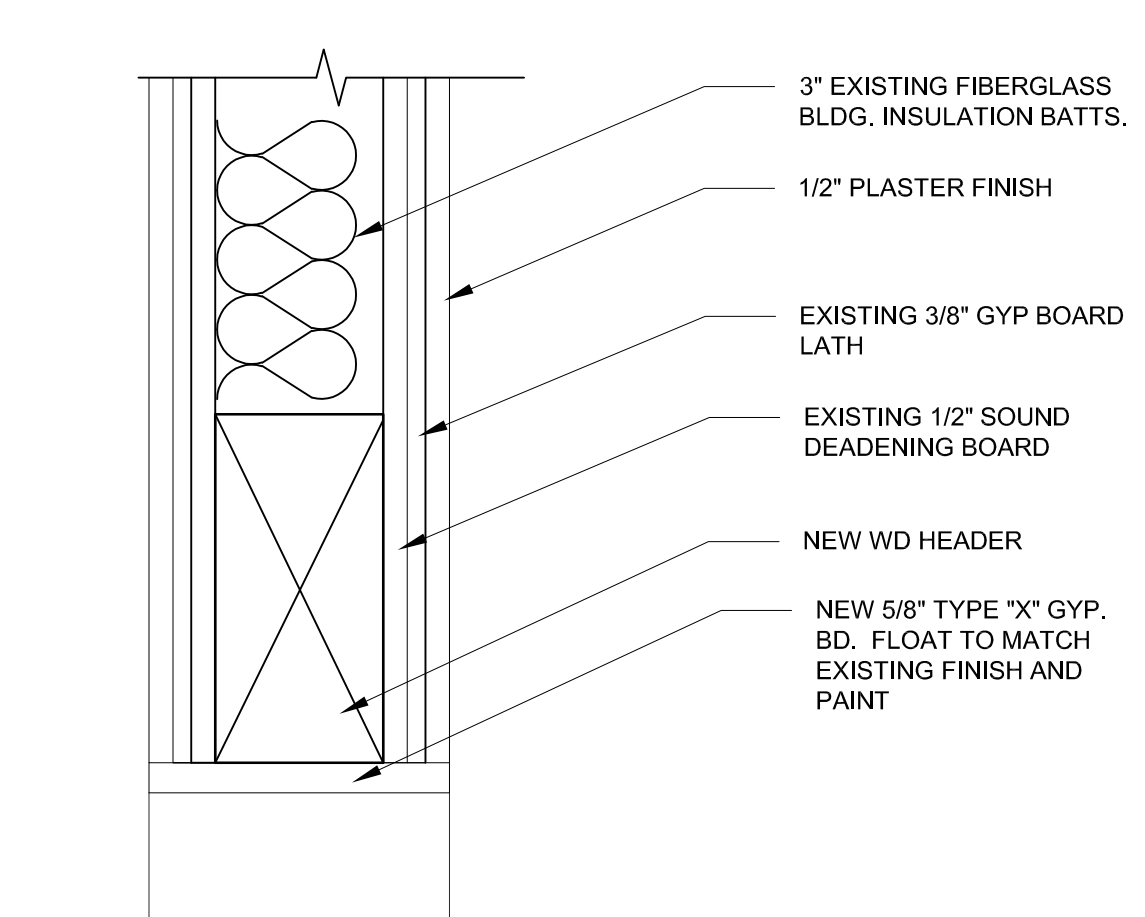
9 SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"



SCALE: $\frac{3}{4}" = 1'-0"$ SCALE: $3" = 1'-0"$



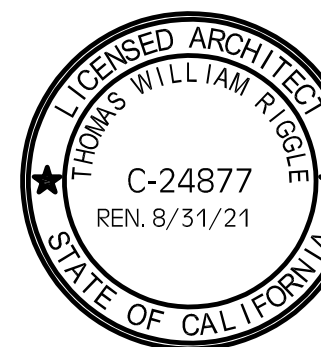
SCALE: 3" = 1'-0"



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DETAILS / ELEVATION



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2	RE BID ADENDIUM #1	04/30/2022	

DATE: 4/30/21

SHEET NO:

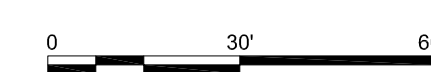
A-1.2

1	(E) DOOR AT (N) ENTRY POINT TO REMAIN; PROTECT IN PLACE
2	(E) FENCING / GATES TO REMAIN
3	(E) TRANSFORMER
4	(E) TRESS TO REMAIN
5	(E) ASPHALT PAVING
6	(E) BACK FLOW PREVENTORS
7	(E) BLOCK WALL
8	(E) PAINTED PARKING STRIPING
9	(E) CONCRETE PAVING IN PARKING LOT TO REMAIN
10	REMOVE EXISTING WHEEL STOPS
11	(E) WHEEL STOPS TO REMAIN



REV.	REVISION DESCRIPTION	DATE	BY
0.	RE BID ADENDIUM #1	04/30/2021	RAF

AS-1.0



SITE PLAN KEYNOTES

- 1 (E) DOOR AT (N) ENTRY POINT TO REMAIN; PROTECT IN PLACE
- 2 (E) FENCING / GATES TO REMAIN
- 3 (E) TRANSFORMER
- 4 (E) TRESS TO REMAIN
- 5 (N) SEAL COAT OVER ENTIRE LOT
- 6 (E) BACK FLOW PREVENTORS
- 7 (E) BLOCK WALL
- 8 (N) PAINTED PARKING STRIPING ALL PARKING
- 9 (N) NEW WHEEL STOP SEE DETAIL 2/AS-1.4
- 10 (N) PAINTED DIRECTIONAL ARROWS

1. *DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHANGES STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IN COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAS BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENT AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

APPLICANT:



SAN BERNARDINO CITY
UNIFIED SCHOOL
DISTRICT

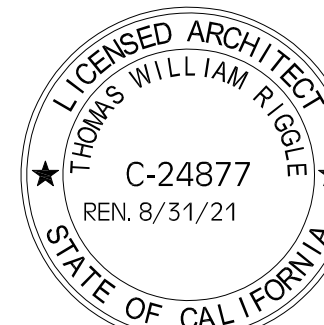
BOARD OF EDUCATION
BUILDING
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92410
(909) 381-1100

PROJECT:



PARKSIDE ELEMENTARY
SCHOOL
3775 N WATERMAN AVE
SAN BERNARDINO, CA
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PROPOSED SITE PLAN



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NO.	DESCRIPTION		
1	RE BID ADDENDIUM #1	04/30/2021	RAF

PRINTED: 4/30/2021

DRAWN: ----
JOB #: 18-059
DATE: 4/30/21
SCALE: x/x" = 1'-0"

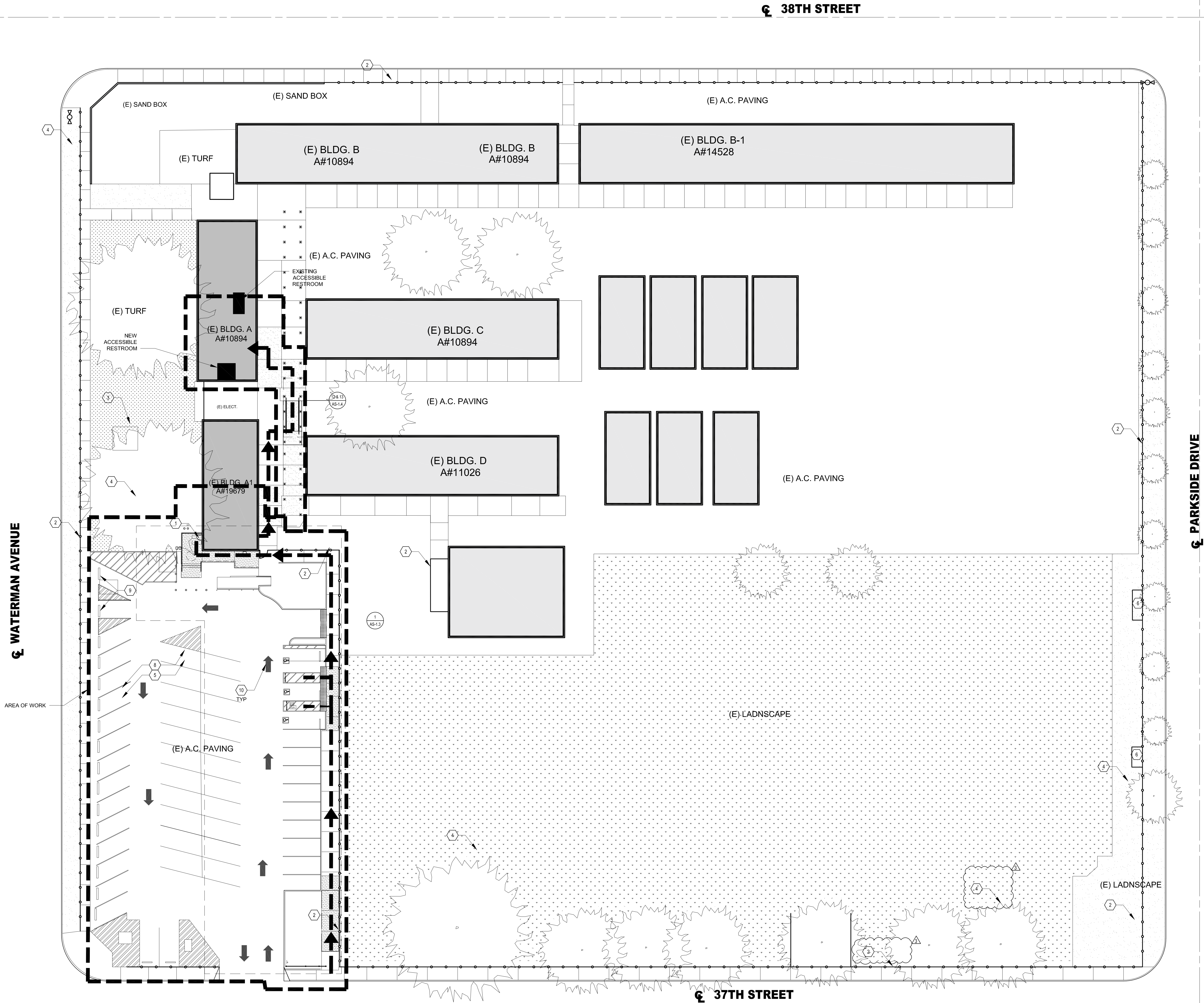
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AS-1.1

SITE PLAN LEGENDS

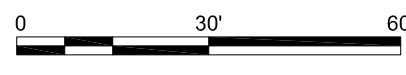
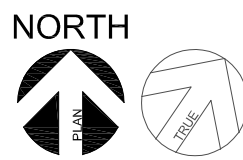
- FENCE
- PROPERTY LINE
- ACCESSIBLE PATHWAY OR LOADING ZONE
- FIRE HYDRANT
- PATH OF TRAVEL
- LIMITS OF WORK LINE

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX., AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. UNLESS OTHERWISE INDICATED, ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.






OVERALL NEW SITE PLAN

1" = 20'-0"





WALL LEGEND

	EXISTING WALL
	NEW WALL
	PARTIAL HEIGHT WALL

- ### DEMOLITION NOTES

- ## FINISH NOTES




- | | |
|-------|---|
| P-1 | PAIN! ALL INTERIOR WALLS: DISTRICT STD. COLD MORNING DE6365 |
| P-2 | ACCENT PAINT - 20% OF WALL AREA AS DIRECTED BY ARCHITECT
ACCENT GRAY TECHILE 0533 |
| P-3 | INTERIOR DOOR AND FRAMES AND INTERIOR FACE OF
EXTERIOR DOORS AND FRAMES: HAPPY TUNE 0648 |
| LVT-1 | MOHAWK GROUP HOT AND HEAVY: METAL 929 PROPER GRAY
LVT TILE 18"x36" |
| CPT-1 | SHAW CONTRACT- STYLE: DIFFUSE 59575 COLOR: MOVEMENT
75481 SIZE: 24"x24" |

- ALL BASE TO BE BURKE WALL BASE 628 ORE
- NOTE: PAINT ALL INTERIOR EXPOSED SURFACES UNLESS NOTED OTHERWISE


- ## GENERAL NOTES

1. G.C. SHALL PAINT INTERIOR WALLS
2. G.C. SHALL TAKE CARE IN THE REMOVAL & REINSTALLATION OF ALL CEILING MOUNTED EQUIPMENT OR FIXTURES.
3. G.C. SHALL PROVIDE DISTRICT REPRESENTATIVE WITH PRODUCT SAMPLES OF FLOORING & BASE FOR SELECTION.
4. G.C. SHALL PATCH & REPAIR WALLS AS REQUIRED FOR NEW WORK.
5. PLANS ARE DIAGRAMMATIC IN NATURE, G.C. IS REQUIRED TO CONSTRUCT BASED ON THE DESIGN INTENT.
6. PRIOR TO BID G.C. SHALL VISIT SITE TO BECOME FAMILIAR WITH SITE CONDITIONS & SCOPE.
7. IF CONFLICTING INFORMATION IS FOUND WITHIN THE CONTRACT DOCUMENTS THE G.C. SHALL PROVIDE THE HIGHER PRICED ITEM &/OR LABOR.
8. G.C. SHALL REFER TO ALL SHEETS & SPECS' WITHIN THIS CONTRACT DOCUMENT FOR FULL SCOPE OF WORK.
9. G.C. SHALL PROTECT IN PLACE ALL WALL MOUNTED EQUIPMENT, ELECTRICAL CABINET, AND BOXES UNLESS SPECIFIC OTHERWISE.

WINDOW BLIND SCHEDULE

- | | | |
|---|----------------|--|
|  W-1 | 3'-11" X 2'-9" | BLINDS TO BE 1" LEVELOR RIVIERA METAL
BLINDS COLOR TO BE SELECTED BY
ARCHITECT |
|  W-2 | 3'-0" X 2'-9" | BLINDS TO BE 1" LEVELOR RIVIERA METAL
BLINDS COLOR TO BE SELECTED BY
ARCHITECT |
|  W-3 | 3'-11" X 6'-9" | BLINDS TO BE 1" LEVELOR RIVIERA METAL
BLINDS COLOR TO BE SELECTED BY
ARCHITECT |

WALL LEGEND

- EXISTING WALL
 NEW WALL
 PARTIAL HEIGHT WALL

APPLICANT:

BOARD OF EDUCATION
BUILDING

BOARD OF EDUCATION
BUILDING
77 NORTH F STREET
SAN BERNARDINO, CA
92410
(909) 381-1100

OBJECT:



75 N WATERMAN AVE
N BERNARDINO, CA
92410
(909) 881-8209

BUILDING A1 FLOOR PLANS



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	BID ADENDIUM #1	04/30/2021	RAF

PRINTED: 4/30/2021

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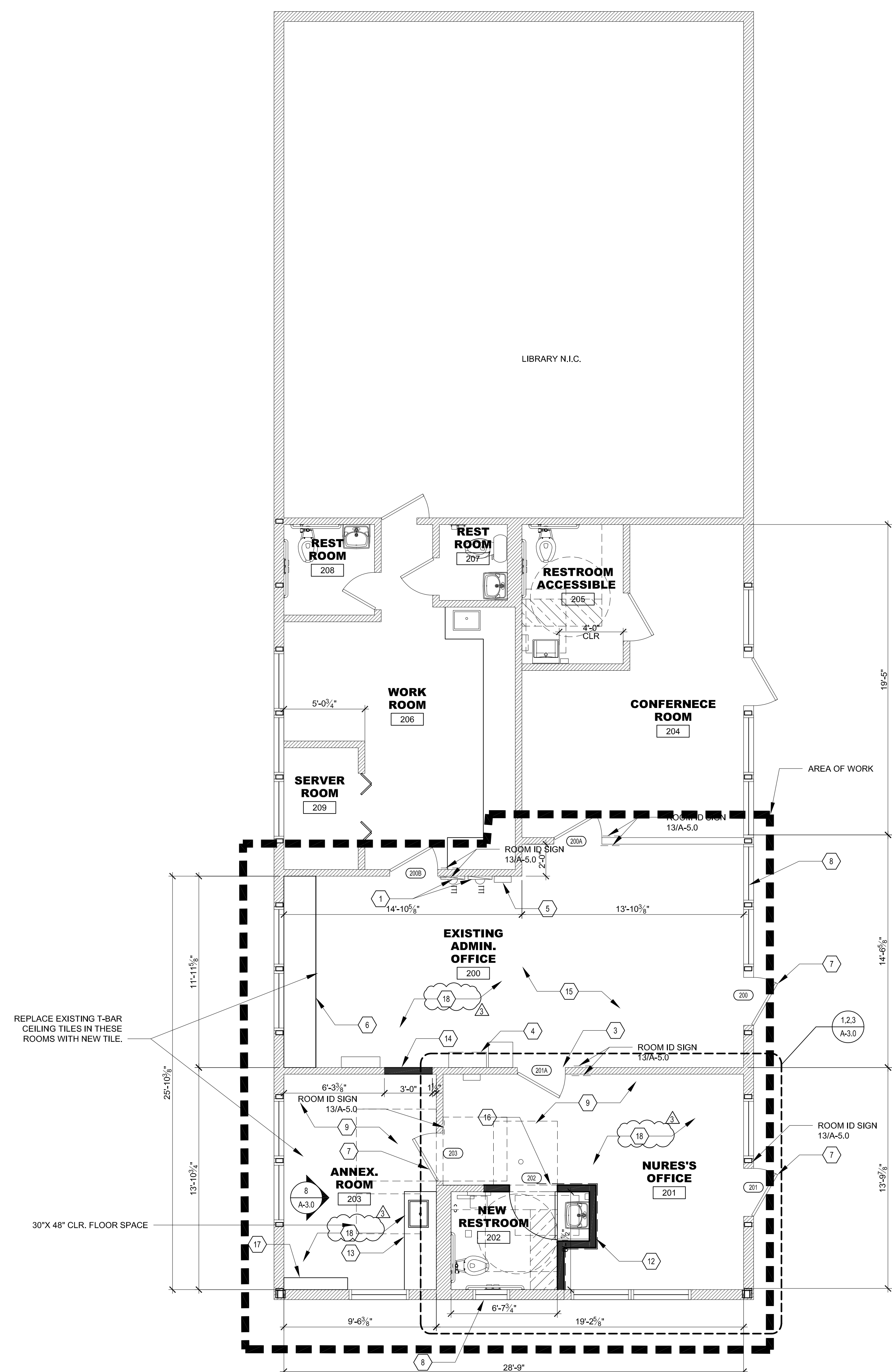
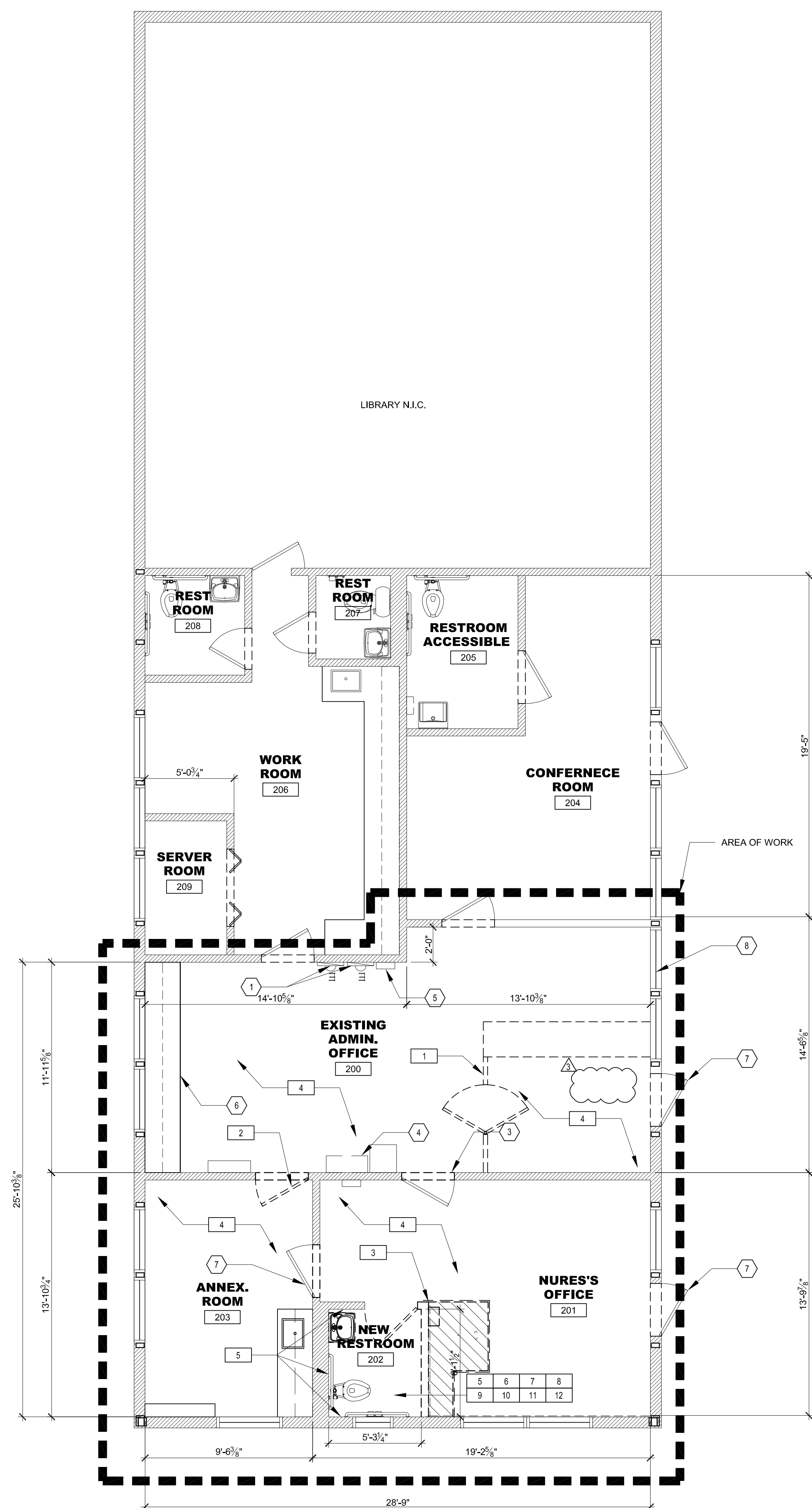
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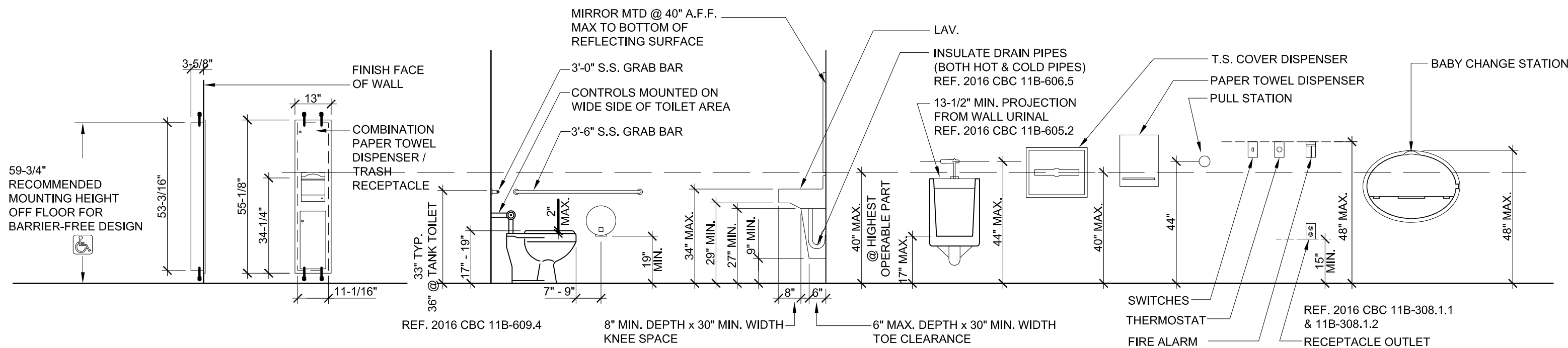
TE: 4/30/21

SCALE: $x/x'' = 1'-0''$

SHEET NO:

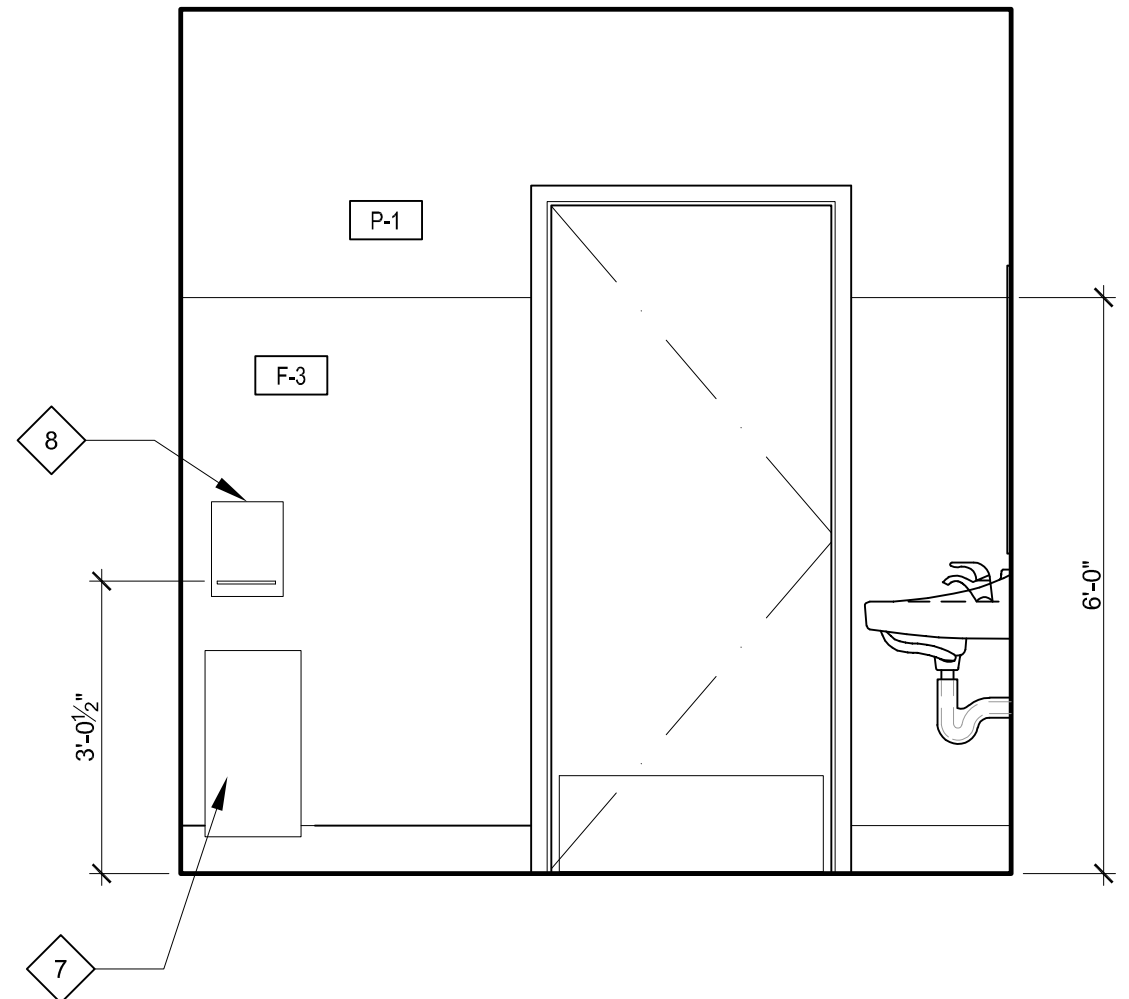
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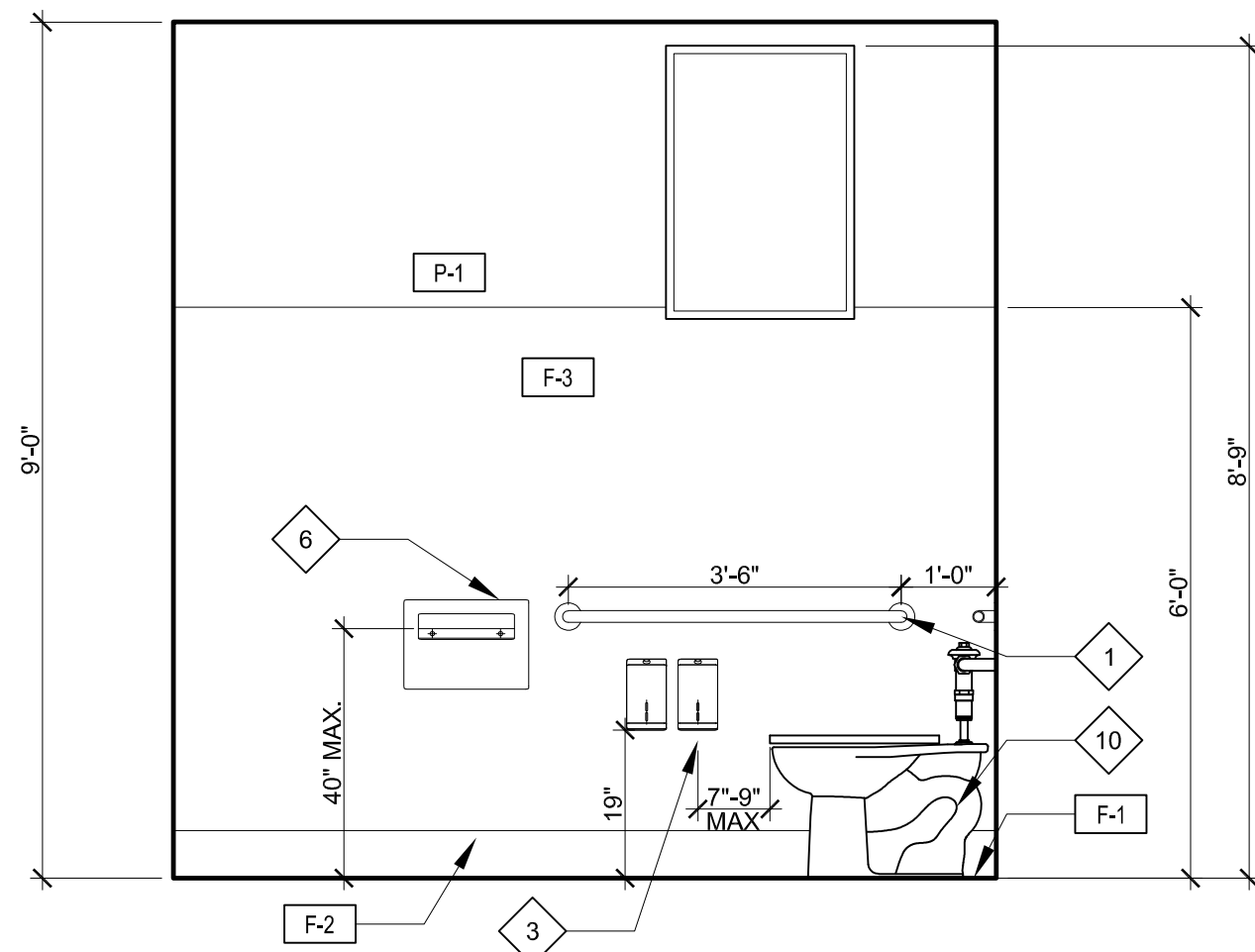
12 MOUNTING HEIGHTS & CLEARANCES FOR ACCESSIBILITY

SCALE: N.T.S.



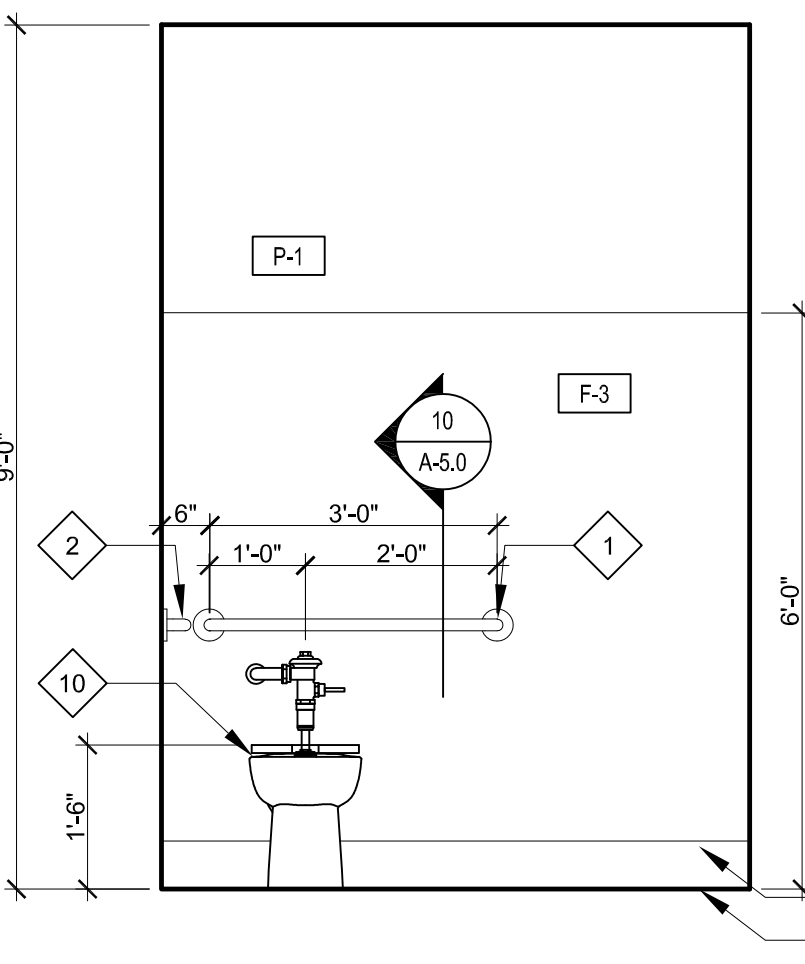
6 INTERIOR ELEVATIONS

SCALE: 1/2"=1'-0"



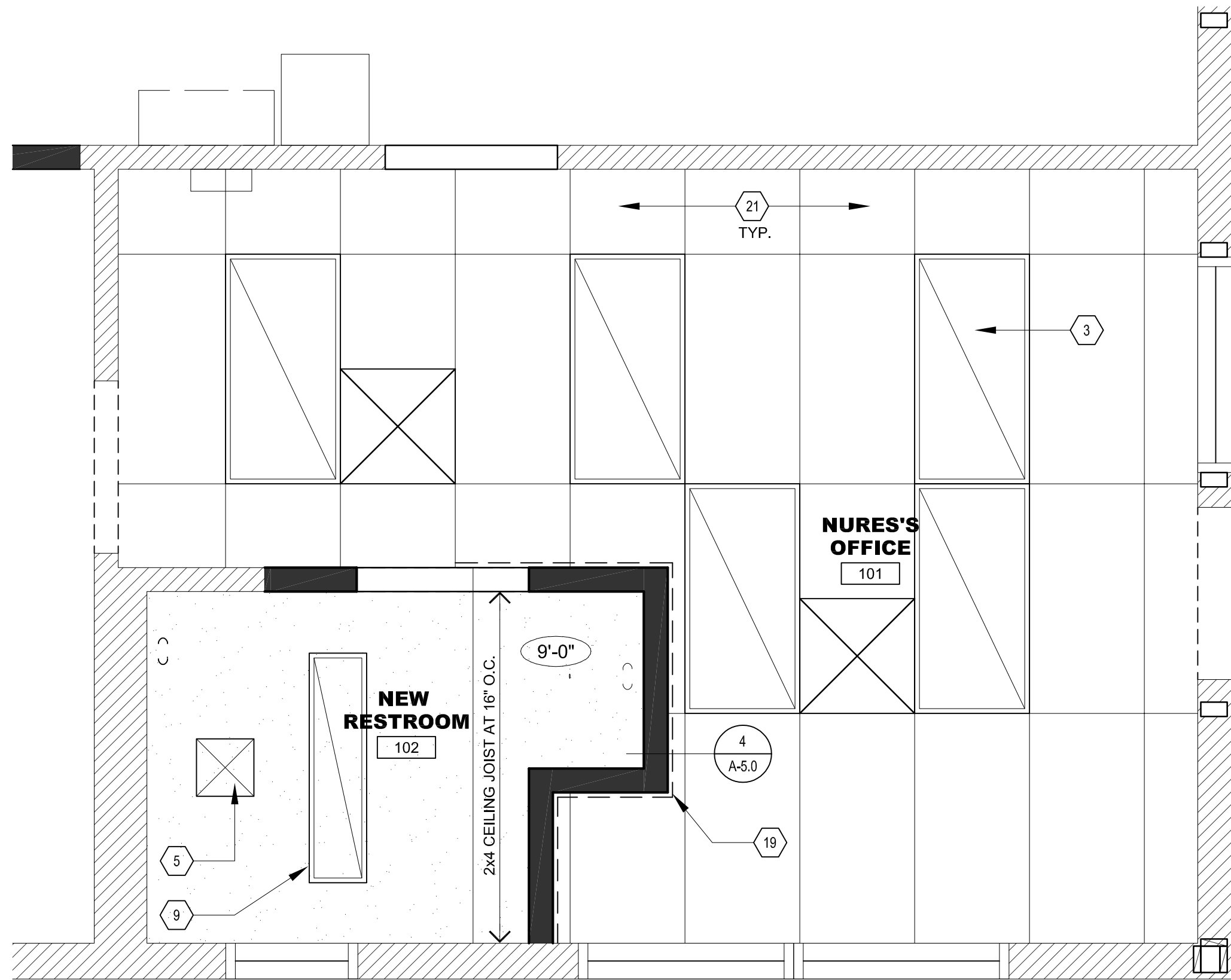
5 INTERIOR ELEVATION

SCALE: 1/2"=1'-0"



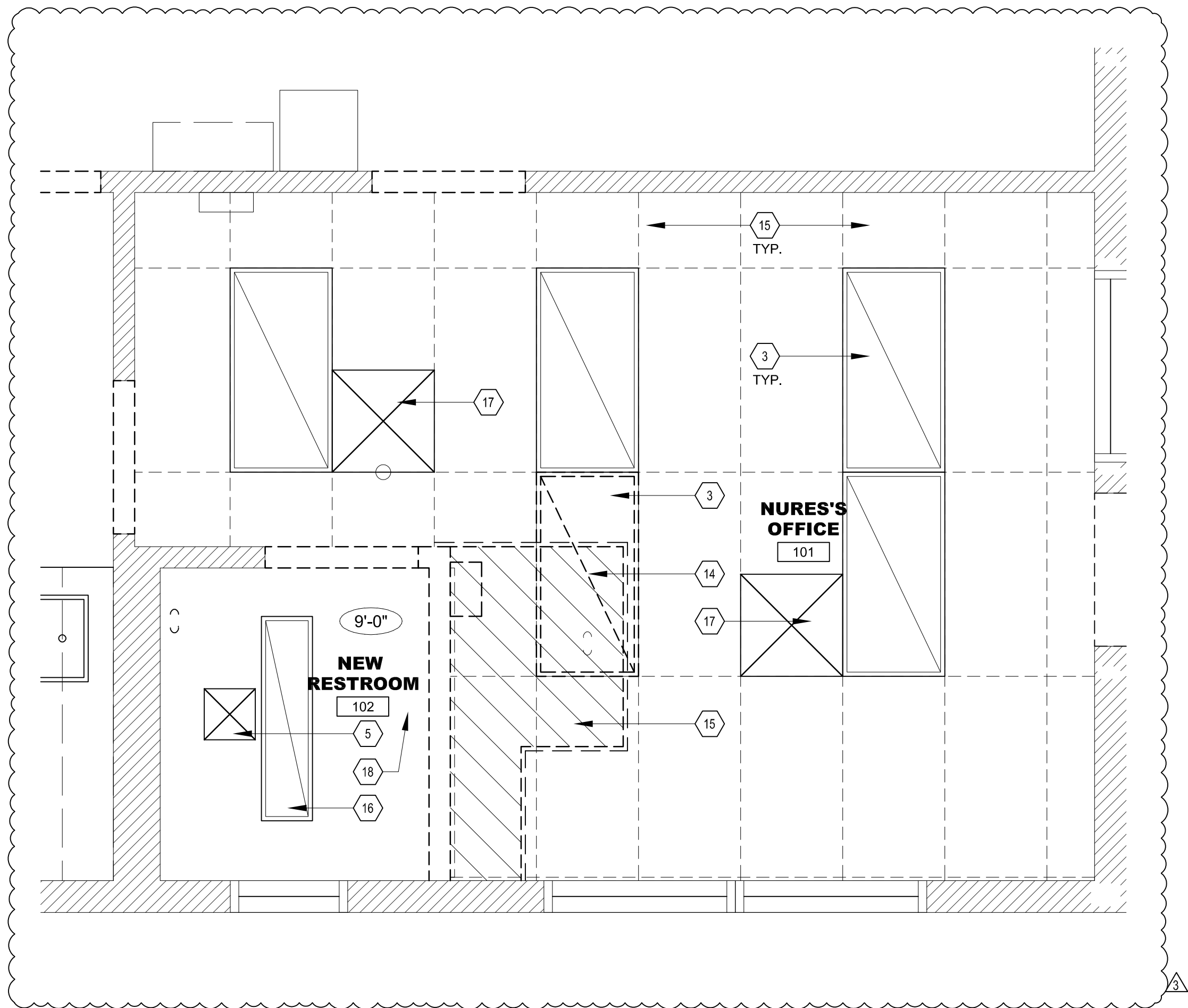
5 INTERIOR ELEVATION

SCALE: 1/2"=1'-0"



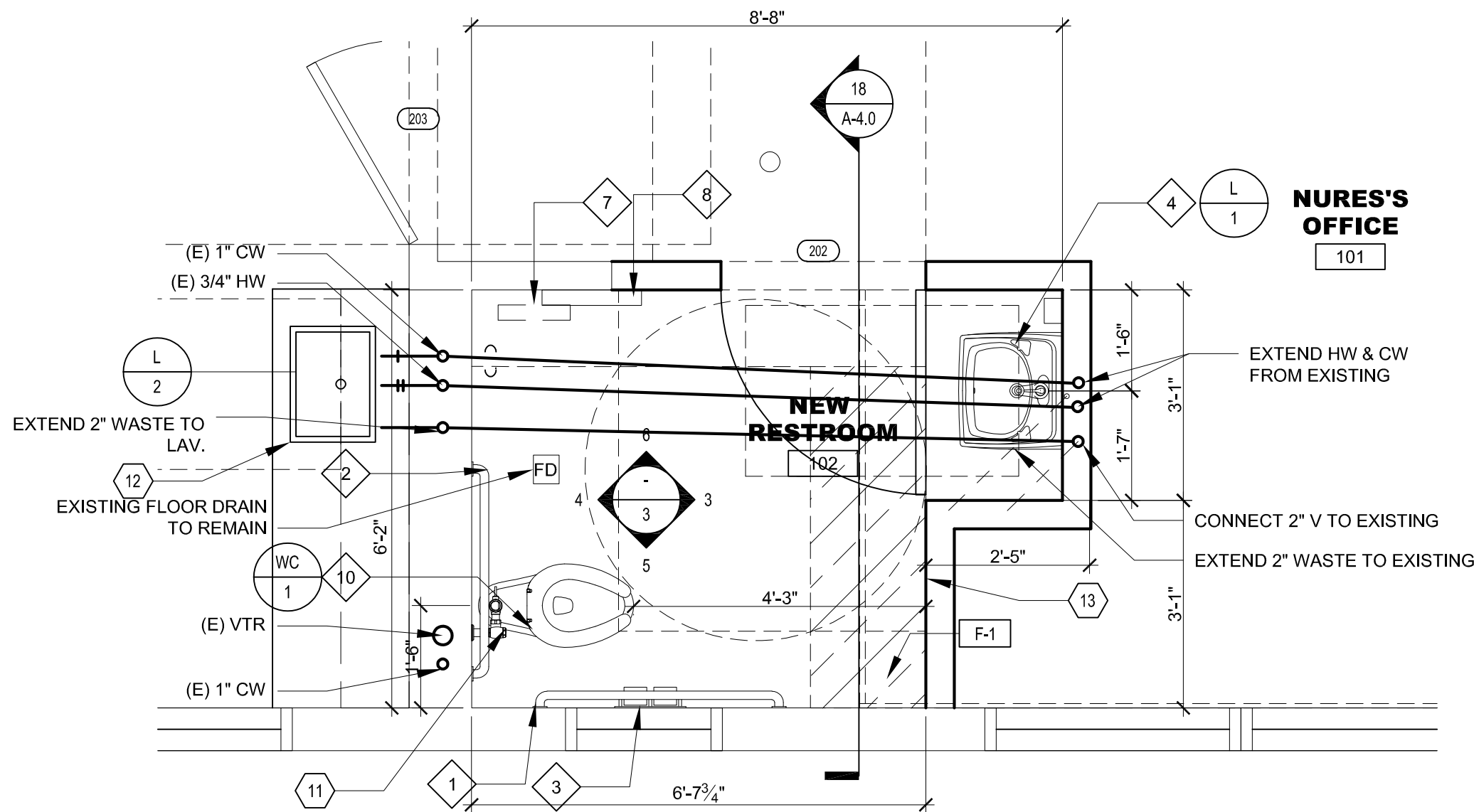
3 ENLARGED REFLECTED CEILING PLAN

SCALE: 1/2"=1'-0"



2 ENLARGED DEMO REFLECTED CEILING PLAN

SCALE: 1/2"=1'-0"



1 ENLARGED RESTROOM FLOOR PLAN

SCALE: 1/2"=1'-0"

FINISH SCHEDULE

F-1	MATL	12"x12" DALTILE VOLUME 1.0 COLOR INTENSITY PEBBLE VL72
F-2	MATL	6" H COVE BASE DALTILE VOLUME 1.0 COLOR INTENSITY PEBBLE
F-3	MATL	DALTILE, MATT AND SEMI GLOSS WALL TILE DESERT GREY X114 SIZE 3X6
P-1	PAINT	SHERWIN WILLIAMS- REALISTIC BEIGE SW 6078 ;LATEX EGGSHELL

GENERAL PLUMBING NOTES

- RELOCATE WC PER REQUIRED ACCESSIBLE DIMENSIONS PER CBC.
- REMOVE EXISTING LAV AND EXTEND DRAIN, HW AND CW PIPING TO NEW L1 AND L2 LOCATIONS, CONNECT VENT TO EXISTING.
- EXISTING FD IS TO REMAIN.
- PROVIDE NEW FIXTURES AS INDICATED, MODIFY EXISTING PIPING AS REQUIRED.
- PROVIDE SHUT OFF VALVES AT WALL FOR L1 and L2.
- PROVIDE LINE SIZE SHUT-OFF VALVE FOR HOT AND COLD WATER SUPPLY LINE. PROVIDE ACCESS PANEL IN WALL OR ABOVE CEILING AS REQUIRED.

RESTROOM ACCESSORIES SCHEDULE

NO.	DESCRIPTION	MFR
1	42" S.S. GRAB BAR	BOBRICK
2	36" S.S. GRAB BAR	BOBRICK
3	TOILET PAPER SURFACE MOUNTED	BOBRICK B-6999
4	WALL-MOUNTED SINK	SEE PLUMBING FIXTURE SCHEDULE
5	24" x 36" MIRROR	BOBRICK B-293 2436
6	TOILET SEAT COVER DISPENSER SURF. MOUNTED	BOBRICK B-5221
7	WALL MOUNTED TRASH CAN	BOBRICK B-277
8	PAPER TOWEL DISPENSER	BOBRICK B-4282
9	SURFACE MOUNTED SOAP DISPENSER	BOBRICK B-40
10	ACCESSIBLE TOILET	SEE PLUMBING FIXTURE SCHEDULE
11	FAUCET	SEE PLUMBING FIXTURE SCHEDULE
12	SANITARY DISPENSER	BOBRICK

KEYNOTES

- CLEARANCE AROUND A WATER CLOSET SHALL BE 60 INCHES MINIMUM MEASURED PERPENDICULAR FROM THE SIDE WALL AND 56 INCHES MINIMUM MEASURED PERPENDICULAR FROM THE REAR WALL. A MINIMUM 60 INCHES WIDE AND 48 INCHES DEEP MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET. A MINIMUM 60 INCHES WIDE AND 48 INCHES DEEP MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET. THE DOOR SWING CAN ENCR OACH INTO THIS MANEUVERING SPACE
- LAVATORY CLEAR FLOOR SPACE: A 30"x48" CLEAR FLOOR SPACE, POSITIONED FOR A FORWARD APPROACH, AND KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 11B-306 SHALL BE PROVIDED AT ONE LAVATORY PER TOILET ROOM.
- EXISTING LIGHT FIXTURE TO REMAIN, P.I.P.
- NEW 5/8" TYPE "X" GYP BOARD CEILING@ 9'-0".
- (E) EXHAUST GRILL - REMOVE AND REPLACE WITH NEE
- EXISTING GRAB BAR, P.I.P.
- EXISTING DOOR
- (N) ACCESS PANEL
- (N) LIGHT FIXTURE
- (N) GENDER NEUTRAL SIGNS; SEE DETAIL
- ADJUST WATER CLOSET FOR DIMENSION OF ACCESSIBILITY.
- REROUTE HOT AND COLD PIPE, AND WASTE LINE TO L-2 SINK IN ADJUST ROOM.
- RELOCATED WALL MOUNTED FIRE ALARM DEVICE
- RELOCATED EXISTING LIGHT FIXTURE
- REMOVE EXISTING CEILING
- REMOVE EXISTING LIGHT FIXTURE
- EXISTING HVAC GRILLE TO REMAIN
- DEMO EXISTING CEILING FINISH - EXISTING FRAMING TO REMAIN
- NEW CEILING PERIMETER TRIM
- NEW CEILING GRID AND TILES
- PROVIDE ALL NEW CEILING TILES

EXHAUST FAN SCHEDULE

DESCRIPTION	CFM	ESP	RPM	PWR	V-PH-HZ	AMPS	WT
COOK GC-128	60	25	750	29WATTS	120V-10-60HZ	0.252	12

PIPE MATERIAL SCHEDULE

SERVICE	PIPE WT	JOINTS	PRESSURE	SHUT OFF	VALVE
COLD WATER	COPPER	SOLDERED	CAST BRNZE	125 PSI	BALL, GATE
ABV. GROUND	L. TUBE	PRO. PRESS	WRT COPPER		CHECK
VENT	NO-HUB	NO-HUB	N/A	N/A	N/A
CAST IRON					
WASTE	SCH. 40 ABS	SOLVENT	ABS	N/A	N/A
BLW. GROUND	CAST IRON	NO-HUB	N/A	N/A	N/A

PLUMBING FIXTURE SCHEDULE

SYB.	SPECIFICATION					
WC	WATER CLOSET: AMERICAN STANDARD "MADERA FLOWISE" 3461.711 ADA 16-1/2"					
	HIGH RIM, (1.1 GPF) 20-125 PSI, FLOOR MOUNTED, ELONGATED BOWL, SIPHON JET, 1-1/2" TOP SPUD, WHITE VITREOUS CHINA, ROYAL 111-128 SG MANUAL FLUSH VALVE (1.28 GPF) BEIMS PLASTIC SEAT MODEL 212557, ELONGATED, OPEN FRONT STAIN & CHEMICAL RESISTANT.					
WASTE	TRAP	VENT	CW	RISER	HW	RISER
3"	INT.	2"	1"	-		
SYB.	SPECIFICATION					
L	LAVATORY: AMERICAN STANDARD "LUCERNE" 0355.012, WHITE VITREOUS CHINA, WALL HUNG LAVATORY W/ FAUCET HOLES ON 4" CENTER, CHICAGO FAUCETS 3600-639/PAB METERING FAUCET W/ 0.35 GPM AREATOR, CHICGO FAUCET 131-ABN-ECAS THERMOSTATIC MIXING VALVE (ASSE 1070 APPROVED TMV SET 100"), GRID STRAINER DRAIN W/ 1-1/2" CAST BRASS P-TRAP WITH CHROME FINISH, ANGLE STOPS W/ RIGID RISER, PROVIDE JOSAM 1700SERIES WALL CARRIER, ON ADA COMPLIANT PROVIDE TRUE BRO LAV GUARD PER ADA CODE 4.19.4.					
WASTE	TRAP	VENT	CW	RISER	HW	RISER
2"	1-1/2"	1-1/2"	1/2"		1/2"	
L	LAVATORY: STAINLESS STEEL LQIR-ADA- 17519-A-GR DIE-DRAWN CONTRACTION OF TYPE-304, 18-8 STAINLESS STEEL, CHICAGO FAUCETS NO. 2200-4ABCP, SINK FAUCET FOR HOT AND COLD WATER, SINGLE LEVER, DECK-MOUNTED WITH 4" FIXED CENTERS, CHROME PLATED, INTEGRAL CAST BRASS SPOUT, 4-3/4" CENTER-TO-CENTER, 1.0 GPM (8.3 L/MIN) PRESSURE COMPENSATING SOFTFLO AERATOR, 2-3/4" METAL LEVER HANDLE					
WASTE	TRAP	VENT	CW	RISER	HW	RISER
2"	1-1/2"	1-1/2"	1/2"		1/2"	



APPLICANT:



**SAN BERNARDINO CITY
UNIFIED SCHOOL
DISTRICT**

BOARD OF EDUCATION
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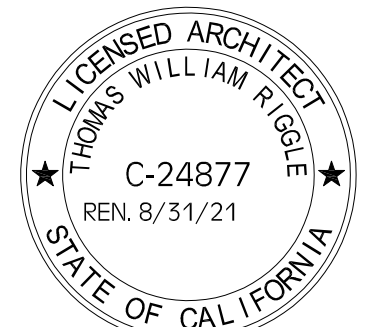
PROJECT:



**PARKSIDE ELEMENTARY
SCHOOL**

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**BUILDING A
ENALRGED PLANS**



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