



ARCHITECTS CLIENT FOCUSED. PASSION DRIVEN.

November 18, 2019

TO : All Bidders
FROM : Mark Graham
PROJECT : Rio Vista Elementary School Modernization
Project 1719800.41
SUBJECT : Addendum 1
DSA : 04-118156 / File 36-55

The following changes, omissions, and/or additions to the Project Manual and/or Drawings shall apply to proposals made for and to the execution of the various parts of the work affected thereby, and all other conditions shall remain the same.

Careful note of the Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades shall be fully advised in the performance of the work which will be required of them.

Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

In case of conflict between Drawings, Project Manual, and this Addendum, this Addendum shall govern.

1. ADD ALTERNATES

- 1.1 NO. 1 - All roller shades identified for all buildings other than Building "A1", per Specification Section 12 24 00 will be an Add Alternate 1 for this project. Building "A1" roller shades shall be part of the base bid.
- 1.2 NO. 2 - See attachment SK27 for Add Alternate 2. This will include all landscape and irrigation improvements as shown on Landscape drawings that affect the area clouded on SK27. All irrigation, valves, timers, and plantings shall be required for remaining planter areas not called out in SK27.

GENERAL ITEMS FOR ALL TRADES

- 1.3 Contractor shall provide R30 batt insulation in roof structure for all of Building A1. Exclude Lounge A9.
- 1.4 Contractor shall provide plywood backing behind mirrors to plumb mirrors with wainscot tiled walls. Hold plywood back 1" from all edges. Paint to match walls typical.
- 1.5 The word "lanscape" shall mean "landscape" typical throughout.
- 1.6 Use Detail 3A/2.1 for expansion joints where cast-in-place wall meets sidewalks or ramps for Details 4/2.1, 5/2.1, and 6/2.1.
- 1.7 See attached "Material List" for selected colors and materials for this project.

- 1.8 See attached "Phasing Plan" for critical dates, times, temporary fencing location, and basic site requirements that shall be observed during construction and items that may affect the contractor's bid.
- 1.9 Contractor shall keep the fire alarm fully operational during entire remodel, including school holidays and breaks. Currently, it is located in Building "A1" where the bulk of work is occurring.
- 1.10 Contractor shall keep the bells/school clock operational at all times while school is in session. Coordinate with District for requirements over summertime hours.
- 1.11 Contractor shall keep the current PA system operational at all times while school is in session. Coordinate with District for requirements over summertime hours.
- 1.12 Provide 3' wide x 8' high Contra Vision Performance perforated window film white on black polymeric vinyl Grayliner 20% transparency on aluminum store front door at Building "A". Graphic image to be provide by Architect at later date.
- 1.13 Contractor to provide 60 linear feet of 4' high tackable wall board in Lounge A8. Locations to be determined during construction. See specification for tackable wall board requirements.
- 1.14 Contractor to paint the underside of the roof overhangs on both east and west side of Building "A1". East side has large canopy overhang with several conduits that shall be painted as well.
- 1.15 Contractor shall provide concrete yard boxes with steel vandal proof lids for in-ground shut-off valves as shown between Buildings "A1" and "C". Repair all concrete surfaces to original.
- 1.16 See attached renderings for Building "A1" exterior paint finish. Multiple colors and shapes are proposed.
- 1.17 Contractor shall paint the west face of Building "A". See attached Drawing 9.5 for proposed color and graphic.
- 1.18 All work in Building "MU" & Building A Classrooms A2, A3, A4 & A5 shall be completed between June 6, 2020 and July 19, 2020.
- 1.19 Contractor shall provide (1) CAT 5E cable from A.V. Stor. A10 to irrigation controller. Cable shall be ran in 3/4" PVC conduit typical.
- 1.20 All exterior windows will be sealed insulated glass per Section 08 80 00.
- 1.21 The word "Minte" shall be "Minute" typical throughout.

PROJECT MANUAL

1.22 SECTION 02 41 19 - SELECTIVE DEMOLITION

- A. Add the attached section in its entirety.

1.23 SECTION 08 80 00 - GLAZING

Revise - 2.6 Laminated glass products

- A. Laminated Safety Glass
 - 1. Glass: Class 1 - "Clear for both plies"
 - 2. Color of Plastic Interlayer - "Color selected by Architect".

1.24 SECTION 09 30 12 - CERAMIC TILE WALL FINISHING

- A. Add the attached section in its entirety.

1.25 SECTION 09 30 15 - PORCELAIN TILE WALL FINISHING

- A. Delete this section in its entirety.

1.26 SECTION 09 65 71 - TEXTILE SHEET FLOORING

- A. Delete this section in its entirety.

1.27 SECTION 12 24 13 - ROLLER SHADES

- A. Delete this section in its entirety and replace with the attached Section 12 24 00.

DRAWINGS

Civil

1.28 DRAWING C2.02

- A. Replace this drawing in its entirety with attached C2.02.

Landscape

1.29 DRAWING LI.1

- A. Delete this drawing in its entirety and replace it with the attached Drawing LI.1.

1.30 DRAWING LID.1

- A. Delete this drawing in its entirety and replace it with the attached Drawing LID.1.

1.31 DRAWING LP.1

- A. Delete this drawing in its entirety and replace it with the attached Drawing LP.1.

1.32 DRAWING LPD.1

- A. Delete this drawing in its entirety and replace it with the attached Drawing LPD.1.

Architectural

1.33 DRAWING A1.1

- A. Detail 1
 - 1. Revise drawing per attached SK1.

1.34 DRAWING A1.2

- A. Detail 3
 - 1. Revise Note 1029 on accessible parking stall to 1030 per the attached SK2.

1.35 DRAWING A2.0

- A. REFERENCE NOTES
 - 1. Replace Note 0670 with Keynote 0016 which reads "DEMO AND DISPOSE (E) SINK AND ASSOCIATED PLUMBING ITEMS, REF PLUMBING DWGS".

1.36 DRAWING A2.3

- A. Detail 6
 - 1. Add dimension to parking lot striping per attached SK3.

1.37 DRAWING A2.4

- A. Detail 1
 - 1. Delete Ref Note 0124 at northeast corner of building.
 - 2. Add Note 0124 and leader to electrical box that is west of "OFFICE 1" on exterior wall.
 - 3. Revise "5'-0"" to "6'-0"" for new AV STOR. Room dimension for north/south dimension.
 - 4. Add a pair of 3'-0" gates as shown in attached SK4. Gate shall be 6'-0" high and used for maintenance operations only. See similar details from 19/2.1.

B. Detail 2

1. Revise sketch per attached SK5.

1.38 DRAWING A3.1

A. Detail 2

1. Replace detail with the attached SK6.

B. Detail 4

1. Add "AND BLDG C" to detail title.

1.39 DRAWING A4.1

A. Detail 1

1. Replace detail with the attached SK26.

B. Detail 2

1. Replace detail with the attached SK7.

C. Detail 4

1. Replace detail with the attached SK8.

D. Detail 6

1. Replace detail with the attached SK9.

E. Detail 7

1. Replace detail with the attached SK10.

F. Detail 14

1. Add note "caulk all fasteners that penetrate exterior wall finish typical."

1.40 DRAWING A6.1

A. Replace Drawing A6.1 in its entirety with the attached Drawing A6.1.

1. Detail 3D

- a. Add Detail Callout 2 per the attached SK11.

2. Detail 3E

- a. Add Detail Callout 1 per the attached SK11.

1.41 DRAWING A6.2

- A. Add GENERAL NOTES per attached SK12. VERBAGE CLARIFICATION.

1. Detail 1

- a. Revise Note 0128 to read "DEMO AND DISPOSE (E) URINAL, REMOVE DAMAGED TILES AND PATCH WALL WITH NEW TILES TO MATCH EXISTING, PREP FOR NEW FIXTURE"
- b. Revise Note 0129 to read "RELOCATE (E) ADA GRAB BAR TO ACCESSIBLE ELEMENTARY RANGE, REMOVE DAMAGED TILES AND PATCH WALL WITH NEW TILES TO MATCH EXISTING, REF MOUNTING HEIGHT SCHEDULE 24/10.2, SEE DTL 18/10.1"
- c. Revise Note 0127 to read "DEMO AND DISPOSE (E) TOILET, REMOVE DAMAGED TILES AND PATCH WALL WITH NEW TILES TO MATCH EXISTING, PREP FOR NEW TOILET FIXTURE"

2. Detail 2

- a. (Floor plan view) For Boys' C101 revise Ref Note "1032" to "1033" and revise "1033" to "1032".
- b. Revise Note 2205 to read "(N) URINAL TO MATCH EXISTING, REF PLUMBING DWGS & MOUNTING HEIGHT SCHEDULE 24/10.1"
- c. Replace Note 2209 with Note 2203 which reads "(N) ACCESSIBLE TOILET, REF PLUMB DWGS & REF MOUNTING HEIGHT SCHEDULE 24/10.1"
- d. Revise Note 2206 to read "(N) LAVATORY, REF PLUMB DWGS & REF MOUNTING HEIGHT SCHEDULE 24/10.1"

1.42 DRAWING A6.3

- A. REFERENCE NOTES

- 1. Revise Note 0908 from "(N) 4" EPOXY BASEBOARD" to "(N) 4" EPOXY INTEGRAL COVE BASE".

1.43 DRAWING A6.4

A. REFERENCE NOTES

1. Replace entire drawing with attached A6.4.
2. Add Detail 8/A6.4, MU Room West Elevation.

B. Detail 5

1. Add wall section detail per the attached SK13.

1.44 DRAWING A7.1

A. Replace Drawing A7.1 in its entirety with the attached Drawing A7.1.

B. Detail 4

1. Add wall section Detail 1 per the attached SK14.

1.45 DRAWING 2.1

A. Detail 3

1. Replace detail with attached SK15.

B. Detail 6

1. Replace detail with attached SK16.

C. Detail 10

1. Revise detail to use a 1" chamfer only for the planter side of the seat wall. Staggered chamfer is not required at planter side.

D. Detail 21

1. Revise "anchor pin" to "steel anchor pin"

E. Replace detail 22 with attached SK17.

1.46 DRAWING 8.1

A. Detail 4

1. Delete detail in entirety.

- B. Detail 5
 - 1. Replace detail with attached SK18.
- C. Door Schedule
 - 1. Replace Door Schedule with the attached SK19.
- D. Door Type Legend
 - 1. Replace Door Type Legend with the attached SK20.
- E. Window Schedule
 - 1. Replace window schedule with attached SK21.

1.47 DRAWING 9.1

- A. Detail 1
 - 1. Revise "Porcelain Wall Tile" to say "Ceramic Wall Tile".
- B. Detail 3
 - 1. Revise "Porcelain Wall Tile" to say "Ceramic Wall Tile".
- C. Detail 4
 - 1. Add "Ceramic tile" and leader to tiles.
- D. Detail 9
 - 1. Replace with attached SK22.
- E. Detail 10
 - 1. Add "Ceramic tile" and leader to tiles on both sides of wall.
- F. Detail 18
 - 1. Revise "ti" to "to".
- G. Detail 24
 - 1. Delete "Note: See...surfaces, typical".

1.48 DRAWING 9.3

- A. Add attached new Drawing 9.3 in its entirety.

1.49 DRAWING 9.4

- A. Add attached new Drawing 9.4 in its entirety.

1.50 DRAWING 9.5

- A. Add attached new Drawing 9.5 in its entirety.

1.51 DRAWING 10.2

- A. Detail 4
 - 1. Replace detail with attached SK23.
- B. Detail 5
 - 1. Replace detail with attached SK24.
- C. Detail 9
 - 1. Replace detail with attached SK25.

Structural

~~1.52 DRAWING S0.1~~

- ~~A. Delete this drawing in its entirety and replace it with the attached Drawing S0.1.~~

~~1.53 DRAWING S0.2~~

- ~~A. Delete this drawing in its entirety and replace it with the attached Drawing S0.2.~~

~~1.54 DRAWING S1.1~~

- ~~A. Delete this drawing in its entirety and replace it with the attached Drawing S1.1.~~

1.55 DRAWING S2.1

- A. Delete this drawing in its entirety and replace it with the attached Drawing S2.1.

~~1.56 DRAWING S3.1~~

- ~~A. Delete this drawing in its entirety and replace it with the attached Drawing S3.1.~~

~~1.57 DRAWING S3.2~~

~~A. Delete this drawing in its entirety and replace it with the attached Drawing S3.2.~~

~~1.58 DRAWING S4.1~~

~~A. Delete this drawing in its entirety and replace it with the attached Drawing S4.1.~~

~~1.59 DRAWING S4.2~~

~~A. Delete this drawing in its entirety and replace it with the attached Drawing S4.2.~~

Mechanical

1.60 DRAWING M 2.1

A. Delete this drawing in its entirety and replace it with the attached Drawing M 2.1.

1.61 DRAWING M 2.2

A. Add the attached Drawing M 2.2 in its entirety.

1.62 DRAWING M 3.1

A. Delete this drawing in its entirety and replace it with the attached Drawing M 3.1.

Plumbing

1.63 DRAWING P4.1

A. Delete this drawing and replace with the attached Drawing P4.1 in its entirety.

Electrical

1.64 DRAWING E0.2

A. Replace this drawing with the attached Drawing E0.2 in its entirety.

1.65 DRAWING E2.1

A. Replace this drawing with the attached Drawing E2.1 in its entirety.

1.66 DRAWING E2.2

A. Replace this drawing with the attached Drawing E2.2 in its entirety.

Addendum 1
Rio Vista Elementary School Modernization
Project 1719800.41
04-118156 / File 36-55
November 18, 2019
Page 11

1.67 DRAWING E2.3

- A. Replace this drawing with the attached Drawing E2.3 in its entirety.

BID DOCUMENTS SECTION DIVISION 00

A. BID FORM

1. Added two alternates to the BID FORM.

END OF ADDENDUM 1

Submitted by,



MARK GRAHAM
Architect, AIA
LEED™ GA
NOMA
Principal



MG:SJ:br/P41720100x1-add

Attachments: Material List
Phasing Plan
Renderings
Section 02 41 19 - Selective Demolition
Section 09 30 12 - Ceramic Tile Wall Finishing
Section 12 24 00 - Window Shades Clutch XD Operated Window Shades
Drawings: SK27, 9.5, C2.02, LI.1, LID.1, LP.1, LPD.1, SK1, SK2, SK3, SK4, SK5, SK6, SK26,
SK7, SK8, SK9, SK10, A6.1, SK11, SK12, A6.4, SK13, A7.1, SK14, SK15, SK16, SK17, SK18,
SK19, SK20, SK21, SK22, 9.3, 9.4, 9.5, SK23, SK24, SK25, ~~S0.1, S0.2, S1.1, S2.1, S3.1, S3.2,~~
~~S4.1, S4.2, M 2.1, M 2.2, M 3.1, P4.1, E0.2, E2.1, E2.2, E2.3~~
ASBESTOS REPORT
LEAD REPORT
BID FORM

4. Alternate Bids:

ALTERNATE NO. 1 - NO. 1 - All roller shades identified for all buildings other than Building "A1", per Specification Section 12 24 00 will be an Add Alternate 1 for this project. Building "A1" roller shades shall be part of the base bid. \$ _____

ALTERNATE NO. 2 - NO. 2 - See attachment SK27 for Add Alternate 2. This will include all landscape and irrigation improvements as shown on Landscape drawings that affect the area clouded on SK27. All irrigation, valves, timers, and plantings shall be required for remaining planter areas not called out in SK27.

\$ _____ THE DISTRICT may give a notice to proceed within ninety (90) days of the _____ the CONTRACTOR has received the notice to proceed, the CONTRACTOR shall complete the work in the time specified in the Agreement. By submitting this bid, CONTRACTOR has thoroughly studied this Project and agrees that the time period for this Project was adequate for the timely and proper completion of the Project. Further, CONTRACTOR has included in the analysis of the time required for this Project, Rain Days, Governmental Delays, and the requisite time to complete Punch List.

01
ADD

In the event that the DISTRICT desires to postpone giving the notice to proceed beyond this ninety (90) day period, it is expressly understood that with reasonable notice to the CONTRACTOR, giving the notice to proceed may be postponed by the DISTRICT. It is further expressly understood by the CONTRACTOR, that the CONTRACTOR shall not be entitled to any claim of additional compensation as a result of the postponement of giving the notice to proceed.

If the CONTRACTOR believes that a postponement will cause a hardship to it, the CONTRACTOR may terminate the contract with written notice to the DISTRICT within ten (10) days after receipt by the CONTRACTOR of the DISTRICT's notice of postponement. Should the CONTRACTOR terminate the contract as a result of a notice of postponement, the DISTRICT shall have the authority to award the contract to the next lowest responsible bidder, if applicable.

It is understood that the DISTRICT reserves the right to reject any or all bids and/or waive any irregularities or informalities in this bid or in the bid process. The CONTRACTOR understands that it may not withdraw this bid for a period of ninety (90) days after the date set for the opening of bids.

6. Attached is bid security in the amount of not less than ten percent (10%) of the total bid:
Bid bond (10% of the Bid), certified check, or cashier's check (circle one)
7. The required List of Designated Subcontractors is attached hereto.
8. The required Non-Collusion Declaration is attached hereto.
9. The Substitution Request Form, if applicable, is attached hereto.
10. It is understood and agreed that if written notice of the acceptance of this bid is mailed, telegraphed, or delivered to the undersigned after the opening of the bid, and within the time this bid is required to remain open, or at any time thereafter before this bid is withdrawn, the undersigned will execute and deliver to the DISTRICT a contract in the form attached hereto in accordance with the bid as accepted, and that he will also furnish and deliver to the DISTRICT the Performance Bond and Payment Bond, all within **five (5) calendar days** after award of contract, and that the work under the contract shall be commenced by the undersigned bidder, if awarded the contract, by the start date provided in the DISTRICT's Notice to Proceed, and shall be completed by the CONTRACTOR in the time specified in the contract documents.
11. All notices or other correspondence should be addressed to the undersigned at the address stated below:

SECTION 02 41 19

SELECTIVE DEMOLITION

1. PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Removal of designated building equipment and fixtures.
- B. Removal of designated construction.
- C. Disposal of materials.
- D. Cap and identify utilities.
- E. Temporary partitions to allow building occupancy.
- F. Temporary fire protection.
- G. Schedule of materials and equipment.

1.2 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site.
- B. Disposal: Removal off-site of demolition waste and subsequently deposit in landfill acceptable to authorities having jurisdiction.
- C. Existing to Remain: Items of construction that are not to be removed and that are not indicated to be removed.

1.3 MATERIALS OWNERSHIP

- A. Historic items, relics, cornerstones, commemorative plaques, tablets and similar objects encountered during demolition are to remain the Owner's property.
- B. Carefully remove each item in a manner to prevent damage and deliver to Owner.

1.4 SUBMITTALS

- A. Predemolition Photographs: Show conditions of exiting adjacent construction and site improvements that might be misconstrued as damaged by demolition operations. Submit before work begins.
- B. Record Documents: Submit under provisions of Section 01 77 00. Accurately record locations of utilities and subsurface obstructions.

1.5 REGULATORY REQUIREMENTS

- A. Conform to applicable codes for demolition work, safety of structure, electrical disconnection and reconnection dust control and disposal of materials.
- B. Comply with California Fire Code (CFC), California Code of Regulations, (CCR) Title 24, Part 9, Chapter 5 - Fire Service Features and Chapter 33 - Fire Safety During Construction and Demolition.
- C. Obtain required permits from authorities.
- D. Notify affected utility companies before starting work and comply with their requirements.
- E. Do not close or obstruct egress width to exits.

- F. Do not disable or disrupt building fire or life safety systems without 3 day prior written notice to the Owner.

1.6 EXISTING CONDITIONS

- A. Areas of buildings to be demolished will be evacuated and their use discontinued before start of work.
- B. Owner will occupy building(s) adjacent to demolition area. Conduct demolition so owner's operation will not be disrupted.
- C. Provide at least 72 hour notice to Owner of activities that will affect Owner's operation.
- D. Maintain access to existing walkways, exits and other adjacent occupied facilities.
- E. Owner assumes no responsibility for areas of buildings to be demolished.
- F. Hazardous Materials: It is not anticipated that hazardous materials will be encountered in the work.
 - 1. Hazardous materials will be removed by Owner before start of work.
 - 2. Hazardous materials will be removed by Owner under separate contract.
 - 3. If materials suspected of containing hazardous materials are encountered, do not disturb. Notify Architect.
 - 4. Conform to applicable regulatory procedures when discovering hazardous or contaminated materials.

1.7 SCHEDULING

- A. Schedule work under provisions of Section 01 32 17.
- B. Schedule Work to coincide with new construction, owner occupancy.
- C. Perform work during normal hours of operation, or 4:00 p.m. to 11:00 p.m.
- D. Notify Owner in writing 5 days in advance of any required work to be performed on a weekend or holiday.
- E. Perform noisy, malodorous, dusty, or dangerous work:
 - 1. Between the hours of 4:00 p.m. and 11:00 p.m.
- F. Coordinate utility and building service interruptions with Owner.
- G. Schedule tie-ins to existing systems to minimize disruption.
- H. Coordinate Work to ensure fire sprinklers, fire alarms, smoke detectors, emergency lighting, exit signs and other life safety systems remain in full operation in occupied areas.

1.8 PROJECT CONDITIONS

- A. Conduct demolition to minimize interference with adjacent and occupied building areas.
- B. Cease operations immediately if structure appears to be in danger and notify Architect. Do not resume operations until directed.

2. PART 2 PRODUCTS

Not Used.

3. PART 3 EXECUTION

3.1 EXAMINATION

- A. Correlate existing conditions with requirements indicated.
- B. Inventory and record condition of items to be removed and salvaged.
- C. Execute predemolition photographs.
- D. Verify that hazardous waste remediation is complete.

3.2 PREPARATION

- A. Existing Utilities: Locate, identify, disconnect and seal or cap off indicated utilities serving areas to be demolished.
- B. Protect existing items which are not indicated to be salvaged, removed, or altered.
- C. Erect and maintain weatherproof closures for exterior openings.
- D. Erect and maintain temporary partitions to prevent spread of dust, fumes, noise, and smoke to provide for Owner occupancy as specified in Section 01 11 00.

3.3 DEMOLITION

- A. Conduct demolition to minimize interference with adjacent and occupied building areas.
- B. Cease operations immediately if structure appears to be in danger. Notify Architect. Do not resume operations until directed.
- C. Maintain protected egress and access to the Work.
- D. Maintain fire safety during demolition in accordance with CFC, Chapter 33.
- E. Demolish in an orderly and careful manner. Protect existing supporting structural members.

3.4 DISPOSAL OF DEMOLISHED MATERIALS

- A. Except for items to be reused, reinstalled, or otherwise indicated to remain, remove demolished materials from Project site and legally dispose of them in an EPA – approved landfill.
- B. Do not burn or bury materials on site.

3.5 CLEANING

- A. Clean adjacent structures and improvements of dust, dirt and debris caused by demolition.
- B. Remove temporary construction.
- C. Return adjacent areas to condition existing before demolition operations began.
- D. Leave site in a clean condition.

3.6 SCHEDULES

A. Protect the following materials and equipment to remain operational at all times:

1. Campus bell system.
2. Fire alarm system.
3. Intercom system.

END OF SECTION

SECTION 09 30 12

CERAMIC TILE WALL FINISHING

1. PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Ceramic tile wall and wainscot finish using the thinset application method.

1.2 REFERENCES

- A. ANSI/TCA A108.5 - Ceramic Tile Installed with Dry-Set Portland Cement Mortar or Latex Portland Cement Mortar.
- B. ANSI/TCA A108.11 - Interior Installation of Cementitious Backer Units.
- C. ANSI/TCA A118.1 - Dry-Set Portland Cement Mortar.
- D. ANSI/TCA A118.4 - Latex-Portland Cement Mortar.
- E. ANSI/TCA A118.7 - Polymer Modified Ceramic Tile Grouts.
- F. ANSI/TCA A118.9 - Test Methods and Specifications for Cementitious Backer Units.
- G. ANSI/TCA A137.1 - Specifications for Ceramic Tile.
- H. ASTM C847 - Standard Specifications for Metal Lath.
- I. ASTM D226 - Asphalt-Saturated Felt Used in Roofing and Waterproofing.
- J. TCA (Tile Council of America) - Handbook for Ceramic Tile Installation.

1.3 SUBMITTALS

- A. Submit samples under provisions of Section 01 33 00.

1.4 QUALITY ASSURANCE

- A. Conform to ANSI/TCA A137.1 for tile material.
- B. Conform to ANSI/TCA Standards and TCA Handbook for tile installation.

1.5 QUALIFICATIONS

- A. Manufacturer: Company specializing in the manufacture of products specified in this Section with minimum five years documented experience.
- B. Installer: Company specializing in applying the Work of this Section with minimum five years documented experience.

1.6 ENVIRONMENTAL REQUIREMENTS

- A. Maintain 50 degrees F during installation of mortar materials.

1.7 EXTRA MATERIALS

- A. Provide extra quantity of full size tile and trim shape units to Owner under provisions of Section 01 77 00.
- B. Provide quantity equal to 5 percent of units installed of each shape and color.

2. PART 2 PRODUCTS

2.1 MANUFACTURERS - TILE

- A. American Olean Tile Co., Inc., www.aotile.com.
- B. Dal-Tile Corp., www.daltile.com.
- C. Substitutions: Under provisions of Section 01 25 13.

2.2 TILE MATERIAL

- A. Ceramic Wall Tile: ANSI/TCA A137.1, conforming to the following:
 - Type 1: American Olean - Perspecta - 8" x 24" wall tile - Starburst Yellow PE14 (2).
 - Type 2: Backsplash - Daltile - Rittenhouse Square - 2" x 4" - SWCH Arctic White STD.
 - Type 3: Trim - American Olean - Perspecta - 1/2" x 12" L - Jolly S1212J - Starburst Yellow PE23 (2).

2.3 MANUFACTURERS - MORTAR AND GROUT

- A. American Olean Tile Co., Inc., www.aotile.com.
- B. Dal-Tile Corp., www.daltile.com
- C. Substitutions: Under provisions of Section 01 25 13.

2.4 MORTAR MATERIALS

- A. Portland Cement Mortar Materials: ANSI/TCA A118.1.
- B. Latex-Portland Cement Mortar: ANSI/TCA A118.4 and the following:
 - 1. Acrylic resin latex additive.
 - 2. Dry mortar mix supplied by latex manufacturer.

2.5 GROUT MATERIALS

- A. Portland Cement Grout Materials: ANSI/TCA A118.7.
- B. Latex-Portland Cement Grout: ANSI/TCA A118.7 of color selected and the following:
 - 1. Acrylic resin latex additive.
 - 2. Microban antimicrobial additive, www.microban.com.
 - 3. Dry mortar mix supplied by latex manufacturer.

2.6 MORTAR MIX AND GROUT MIX

- A. Mix and proportion pre-mix setting bed and grout materials in accordance with manufacturer's instructions and referenced standards.

3. PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that surfaces are ready to receive work.

- B. Beginning of installation means installer accepts condition of existing surfaces.

3.2 PREPARATION

- A. Protect surrounding work from damage or disfiguration.
- B. Vacuum clean existing surfaces and damp clean.
- C. Seal substrate surface cracks with filler. Level existing substrate surfaces to acceptable flatness tolerances.

3.3 INSTALLATION - THINSET METHOD

- A. Install mortar, tile, and grout in accordance with ANSI/TCA 108.5 and applicable tile installation standards of the TCA Handbook.
- B. Install membrane over substrate; weatherlap horizontal edges 4 inches, vertical edges 6 inches.
- C. Lay tile to pattern indicated. If not indicated, request from Architect. Do not interrupt tile pattern around openings.
- D. Cut and fit tile tight to penetrations through tile. Form corners and bases neatly. Align wall, base, and floor joints.
- E. Place tile joints uniform in width, subject to variance in tolerance allowed in tile size. Make joints watertight, without voids, cracks, excess mortar or excess grout.
- F. Form internal angles square and external angles square.
- G. Sound tile after setting. Replace hollow sounding units.
- H. Keep control joints free of mortar or grout. Apply sealant to joints.
- I. Allow tile to set for a minimum of 48 hours prior to grouting.
- J. Grout tile joints.
- K. Apply sealant to junction of tile and dissimilar materials and junction of dissimilar planes.

3.4 CLEANING

- A. Clean work under provisions of 01 77 00.
- B. Clean tile surfaces.

END OF SECTION

SECTION 12 24 00

WINDOW SHADES CLUTCH XD OPERATED WINDOW SHADES

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Manually operated, roll-up fabric interior window shades including mounting and operating hardware.

1.2 RELATED SECTIONS

- A. Section 09 51 23 - Acoustical Tile Ceilings.

1.3 REFERENCES

- A. NFPA 701-99 - Fire Tests for Flame-Resistant Textiles and Films.
- B. GREENGUARD Environmental Institute Gold.
- C. US Green Building Council.

1.4 SUBMITTALS

- A. Submit under provisions of Section 01 33 00.
- B. Product Data: Manufacturer's data sheets on each product specified, including:
 - 1. Preparation instructions and recommendations.
 - 2. Installation and maintenance instructions.
 - 3. Styles, material descriptions, dimensions of individual components, profiles, features, finishes and operating instructions.
 - 4. Storage and handling requirements and recommendations.
 - 5. Mounting details and installation methods.
- C. Shop Drawings: Plans, elevations, sections, product details, installation details, operational clearances, and relationship to adjacent work.
- D. Window Treatment Schedule: For all roller shades. Use same room designations as indicated on the Drawings, field verified window dimensions, quantities, type of shade, controls, fabric, and color, and include opening sizes and key to typical mounting details.
- E. Selection Samples: For each finish product specified, two complete sets of shade cloth options and aluminum finish color samples representing manufacturer's full range of available colors and patterns.
- F. Verification Samples: For each finish product specified, two complete sets of shade components, unassembled, demonstrating compliance with specified requirements. Shade fabric sample and aluminum finish sample as selected, representing actual product, color, and patterns. Mark face of material to indicate interior faces.
- G. Maintenance Data: Methods for maintaining roller shades, precautions regarding cleaning materials and methods, instructions for operating hardware.
- H. Manufacturer's Certificates: Certify products meet or exceed specified requirements.

1.5 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Obtain roller shades through one source from a single manufacturer with a minimum of twenty years experience in manufacturing products comparable to those specified in this section.
- B. NFPA Flame-Test: Passes NFPA 701. Materials tested shall be identical to products proposed for use.
- C. Mock-Up: Provide a mock-up of one of each type roller shade assembly specified for evaluation of mounting, appearance and accessories.
 - 1. Locate mock-up in window(s) designated by Architect.
 - 2. Do not proceed with remaining work until mock-up is accepted by Architect.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Do not deliver window shades until building is enclosed and construction within spaces where shades will be installed is substantially complete.
- B. Deliver products in manufacturer's original, unopened, undamaged containers with labels intact.
- C. Label containers and shades according to Window Shade Schedule.
- D. Store products in manufacturer's unopened packaging until ready for installation.

1.7 SEQUENCING

- A. Ensure that locating templates and other information required for installation of products of this section are furnished to affected trades in time to prevent interruption of construction progress.
- B. Ensure that products of this section are supplied to affected trades in time to prevent interruption of construction progress.

1.8 PROJECT CONDITIONS

- A. Install roller shades after finish work and ambient temperature, humidity and ventilation conditions are maintained at levels recommended for project upon completion.

1.9 WARRANTY

- A. Hardware and Shade Fabric: Draper's standard twenty-five year limited warranty.

1.10 MANUFACTURERS

- A. Acceptable Manufacturer: Draper, Inc., which is located at: 411 S. Pearl P. O. Box 425; Spiceland, IN 47385-0425. ASD. Toll Free Tel: 800-238-7999; Tel: 765-987-7999; Fax: 866-637-5611; Web:www.draperinc.com.
- B. Substitutions: As equal.
- C. Requests for substitutions will be considered in accordance with provisions of Section 01 25 13.

1.11 MANUALLY OPERATED WINDOW SHADES

- A. Manually Operated Window Shades with Independent Control: Manually operated, vertical roll-up, fabric window shade with components necessary for complete installation; Manual FlexShade XD as manufactured by Draper, Inc.
1. Operation: Bead chain and clutch operating mechanism allowing shade to stop when chain is released. Designed never to need adjustment or lubrication. Provide limit stops to prevent shade from being raised or lowered too far.
 - a. Clutch mechanism: Fabricated from POM thermoplastic with welded 0.354 inch (9 mm) primary steel post with rotational bearing, overrunning design, and positive mechanical engagement of drive mechanism to tube. White or Black color as selected by Architect. Center bead chain placement for right or left hand operation and accommodates side channel with no adjustment of chain location.
 - b. Bead chain loop: Stainless steel bead chain.
 - c. Bead chain loop: Polyester bead chain, Ivory, Grey, White, Bronze or Black color as selected by Architect.
 - d. Bead Chain Hold Down: P-Clip.
 - e. Bead Chain Hold Down: Spring-Loaded Tensioner.
 2. Rollers: Extruded aluminum roller tube of appropriate diameter to support shade fabric with minimal deflection.
 - a. Minimum Roller Tube Diameter: 1.56 inches.
 - b. Fabric Connection to Roller Tube: Spline fabric/roller attachment system to allow shade fabric to be removed from roller without having to remove roller from brackets.
 - c. Fabric Length: 6 inches greater than window height minimum.
 - d. Bottom Slat: 13/16 inch aluminum dowel, encased in bottom hem with heat sealed ends.
 - e. Orientation: Regular from back of roller.
 - f. Orientation: Reverse from front of roller.
 3. Bottom Slat
 - a. Closed pocket elliptical slat: 1" aluminum elliptical slat inside of a 1 5/8" pocket with heat sealed ends
 - b. Open pocket elliptical slat: 1" aluminum elliptical slat with plastic ends inside of a 1 5/8" pocket.
 - c. Flat exposed hem bar: Small: 7/8" x 5/16" and Large 1 1/2" x 5/16" aluminum rectangular hem bar with plastic end caps. Powder coated in black, bronze, ivory, white or clear anodized.
 - d. Round exposed hem bar: Small 5/8" and Large 13/16" aluminum with plastic end caps. Powder coated in black, bronze, ivory, white or clear anodized.
 4. Mounting:
 - a. Endcaps only.
 - b. Endcaps and fascia.
 - c. Endcaps and headbox.
 - d. Headbox.
 - e. Ceiling pocket.
 5. Endcaps: Stamped steel with universal design suitable for mounting to ceiling, wall, and jamb. Provide size compatible with roller size.
 - a. Endcap covers: To match fascia or headbox color.
 - b. Mounted to ceiling.
 - c. Mounted to wall.
 - d. Mounted to jamb.
 6. Fascia: L shaped aluminum extrusion to conceal shade roller and hardware.
 - a. Attachment: Snaps onto endcaps without requiring exposed fasteners of any kind. Fascia can be mounted continuously across two or more shade bands. No notching is required.

- b. Shape: Square Fascia Panel.
 - c. Finish: Custom powder coat as selected by the Architect.
- 7. Headbox Ceiling/Wall style: Aluminum fabrication with removable closure, endcaps, and back and top cover piece:
 - a. Finish: Custom powder coat as selected by the Architect.
- 8. Light Gap Reduction Channels.
 - a. L Angle - 3/4 inch by 1 inch.
 - b. L Angle -1 inch by 2-3/4 inches.
 - c. U Channel -1 inch by 2-1/2 inches.
 - d. H Channel - 1 inch by 5 inches.

1.12 FABRIC

- A. Light-Filtering Fabrics
 - 1. SheerWeave Series SW2703: Duplex basketweave fabric-light exterior color combined with dark interior color for thermal comfort and view-through. GREENGUARD Children & Schools, and Gold certified as a low emitting fabric. Manufacturer to supply GREENGUARD Children & Schools, and Gold certificate. Fire rating: NFPA 701. SW2703-3 percent open.
- B. Color and pattern: SW2703-P28 3% Oyster/Charcoal.

PART 2 EXECUTION

2.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

2.2 PREPARATION

- A. Coordinate requirements for blocking and structural supports to ensure adequate means for installation of window shades.
- B. Coordinate requirements for blocking, construction of shade pockets, and structural supports to ensure adequate means for installation of window shades.
- C. Coordinate installation of recessed shade pockets with construction of suspended acoustical panel ceilings specified in Section 09 51 23.

2.3 INSTALLATION

- A. Install in accordance with manufacturer's instructions.
- B. Install roller shades level, plumb, square, and true. Allow proper clearances for window operation hardware.
- C. Shade pockets:
 - 1. Install shade pockets prior to installation of suspended ceiling system. Attach to supporting structure with screws through top of pocket at 24 inches (610 mm) minimum centers.
 - 2. Install shade pockets in conjunction with installation of suspended ceiling system. Attach to supporting structure with screws through top of pocket at 24 inches (610 mm) minimum centers.
 - 3. Install corner pieces securely and in alignment with pockets.
 - 4. Install pocket ends securely and in alignment with pockets.

5. After interior construction is essentially complete, install shade and operating mechanism in pocket.
- D. Install the following items to conceal roller and operating mechanism. Do not use exposed fasteners.
 1. Fascias.
 2. Closure panels.
 3. Endcaps.
- E. Install headbox, side channels, and sill channel with sealant specified in Section 07 92 00 - Joint Sealants.
- F. Position shades level, plumb, and at proper height relative to adjacent construction. Secure with fasteners recommended by manufacturer.

2.4 TESTING AND DEMONSTRATION

- A. Test window shades to verify that interface to other building systems and other operating components are functional. Correct deficiencies.
- B. Test window shades to verify that operating mechanism, fabric retainer, and other operating components are functional. Correct deficiencies.
 1. Chain and clutch.
- C. During daylight hours, lower shades and turn off interior lights. Verify that there are no light leaks at perimeter or within shade assembly. Correct deficiencies.
- D. Demonstrate operation of shades to Owner's designated representatives.

2.5 PROTECTION

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

2.6 SCHEDULES

- A. Refer to Drawings for shade types and locations.

END OF SECTION

Rio Vista Elementary School

Material List

Administration Building

Exterior

Aluminum Letters

- 8" Cast Aluminum, Century Gothic Front, Galvanized Finish

Aluminum Storefront

- Arcadia, AG451 Series Storefront, 2" x 4 ½" & 4 ½" x 4 ½" Center Glazed for 1" Glass, Black Aluminum Mullions

Gutter Color

- 20 GA Prefabricated Pre-Finished Sheet Metal, Gray

Handrails

- Galvanized Finish

Slat Fence Color

- Privacy Link, Tube Slat, Gray

Silicone Sealant

- Dowsil 795 Silicone Building Sealant, Black

Stucco Color

- Dunn Edwards Paint, Honey Glow (DE5354)
- Dunn Edwards Paint, Silver Spoon (DE6366)
- Dunn Edwards Paint, Cool December (DEW383)

Interior

Acoustic Ceiling Panel

- Armstrong, Square Lay-in, 24" x 48" x 5/8", Fine Finished, Cermaguard, White

Backsplash

- Daltile – Rittenhouse Square – 2x4" SWCH Arctic White STD

Carpet

- Mannington – Glitch Art Collection – Crosstalk – Digital Signal

Ceramic Tile

- Perspecta – 8" x 24" Wall Tile – Starburst Yellow
- Perspecta – ½" x 12" Jolly Trim – Starburst Yellow

Counter Top

- DuPont, Zodiaq, Storm Gray

Glazing

- Vanceva, Color #HHHH, Transparent, Gray
- Vanceva, Color #3466, Transparent, Blue
- Vanceva, Color #000H, Transparent, Gray

Hollow Metal Doors Frame

- Anodized Black

Lighting Fixtures

- Metalux Skyridge 24" x 48" Troffer LED Module, White

- Metalux, Skyridge, 12" x 48" Troffer LED Module, White
- Halo, 6" Square Lends Downlight and Lens Wall Wash, White
- Halo, Pendant Cylinder, 120V, White Shade

Luxury Vinyl Tile

- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Aura PE111, Bond
- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Azure PE109, Bond
- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Alumina PE119, Bond

Marker Board

- Deko Marker-board, Magnetic, Ghost-free, Optically Clear, Shatterproof, Traditional 4' x 8', Crown Corner Edge, Frameless Marker-board. Color to be selected by Architect within manufacturers standard color line.

Paint

- Dunn Edwards Paint, Rainy Lake (DE5852)
- Dunne Edwards Paint, Honey Glow (DE5354)
- Dunn Edwards Paint, Silver Spoon (DE6366)
- Dunn Edwards Paint, Cool December (DEW383)

Plastic Laminate Cabinets

- Pionite, Wedding Cake, WI790SD

Plastic Laminate Doors

- Pionite, Wedding Cake, WI790SD

Room Control Signs

- Mohawk Sign System– Gray background, White text, Helvetica Font

Tackable Wall Board

- Koroseal - Frost

Walk off Mat

- Tandus – Triad Mat System Geometric Tile – Medium Grey

Window Frames

- Anodized Aluminum - Black

Window Shade Rollers

- Draper, Shade Fabric, 3%, Oyster/Pewter (SW2703/P91)

Multi-Use Building

Interior

Acoustic Ceiling Panel

- Armstrong, Square Lay-in, 24" x 48" x 5/8", White

Light Fixtures

- Metalux, Skyridge 24" x 48" Troffer LED Module, White

Luxury Vinyl Tile

- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Azure PE109, Bond
- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Alumina PE119, Bond

Paint

- Dunn Edwards Paint, Honey Glow (DE5354)
- Dunn Edwards Paint, Silver Spoon (DE6366)
- Dunn Edwards Paint, Cool December (DEW383)





- 01 NEW CAMPUS ENTRY POINT
- 02 NEW TEMP. 6'H. FENCE AND GATE AROUND PORTABLE BLDG.
- 03 MODIFY EXISTING GATE TO PROVIDE ADA ACCESSIBLE HARDWARE.
- 04 NEW VEHICLE DRIVE ISLE
- 05 PROVIDE 4" DIA. STEEL PIPE IN STREET CURB AND COVER WITH ASPHALT TO MAKE A TEMPORARY DRIVE ISLE INTO INTERSECTION OF STREET.
- 06 CONTRACTOR LAY-DOWN AND PARKING AREA
- 07 INSTALL TEMPORARY 6'H. CL FENCE W/ FABRIC. PROVIDE PAIR OF 8' GATES
- 08 REMOVE 16' OF EXISTING FENCE, INCLUDING POST, PROVIDE TEMP. ROLLING GATE. PROVIDE ASPHALT RAMP UP TO SIDEWALK. ENSURE RAMP IS SHALLOW ENOUGH FOR EVERYDAY VEHICLE TRAFFIC. PROVIDE TEMP STOP SIGN.
- 09 INSTALL TEMPORARY 6'H. CL FENCE W/ FABRIC. PROVIDE GATES AS NEEDED. GATE SHALL GO NORTH BETWEEN BUILDING A AND C ALONG EXISTING CANOPY POSTS. GATE TO STOP AT NORTH END BEFORE WALK-IN-REFRIDGERATOR (NOT SHOWN HERE).
- 10 MAINTAIN A CLEAR POTH-OF-TRAVEL IN THIS AREA

FOR AFTER HOURS WORK, BEGIN AT 4PM OR LATER - CLASSES END AT 3:30PM DAILY.

NEW STUDENT DROP-OFF AREA

RAMP AND SECOND ENTRANCE TO REMAIN OPEN FOR PRESCHOOL USE

WALK-IN COOLER, KEEP AS ACCESSIBLE

CONSTRUCTION ENTRANCE ONLY

PIP ELECTRICAL EQUIPMENT

MU-CAFETERIA WORK TO BE PERFORMED FROM JUNE 6 TO JULY 19, 2020

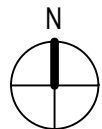
A2, A3, A4 & A5 WORK TO BE PERFORMED FROM JUNE 6 TO JULY 19, 2020

TEMPORARY ADMIN BUILDING / CHECK-IN

PIP ELECTRICAL EQUIPMENT



VIEW LOOKING EAST



ARCHITECT



SOUTHERN CALIFORNIA

8163 ROCHESTER AVE.
SUITE 100

RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

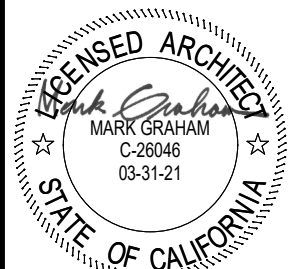
APPL. 04-118156
REF. DRAWING NO:

PHASING PLAN

DRWN:	JY
CHKD:	SJ
DATE:	11/14/19
SCALE:	NTS
JOB NO:	1719800

ADD-01

PHASING
PLAN



ARCHITECT

CONTRACTOR TO PAINT EXTERIOR
BUILDING PER RENDERING COLORS
ATTACHED, REF MATERIAL LIST

APPL. 04-118156
REF. DRAWING NO:



**SOUTHERN
CALIFORNIA**

8163 ROCHESTER AVE.
SUITE 100

RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

RENDERINGS

DRWN:	JY
CHKD:	SJ
DATE:	11/14/19
SCALE:	NTS
JOB NO:	1719800

ADD-01

RENDERINGS

Report for:

Elaine Horng
ATC Group Services LLC: Monterey Park
25 Cupania Circle
Monterey Park, CA 91755

Regarding: Project: 1011601607; Rio Vista Elementary School
EML ID: 2260790

Approved by:

Dates of Analysis:
Asbestos PLM: 09-25-2019 and 09-26-2019



Approved Signatory
Roshanak Kalantari

Service SOPs: Asbestos PLM (EPA 40CFR App E to Sub E of Part 763 & EPA METHOD 600/R-93-116, SOP EM-AS-S-1267)

All samples were received in acceptable condition unless noted in the Report Comments portion in the body of the report. The results relate only to the samples as received. The results include an inherent uncertainty of measurement associated with estimating percentages by polarized light microscopy. Measurement uncertainty data for sample results with >1% asbestos concentration can be provided when requested.

Eurofins EMLab P&K ("the Company") shall have no liability to the client or the client's customer with respect to decisions or recommendations made, actions taken or courses of conduct implemented by either the client or the client's customer as a result of or based upon the Test Results. In no event shall the Company be liable to the client with respect to the Test Results except for the Company's own willful misconduct or gross negligence nor shall the Company be liable for incidental or consequential damages or lost profits or revenues to the fullest extent such liability may be disclaimed by law, even if the Company has been advised of the possibility of such damages, lost profits or lost revenues. In no event shall the Company's liability with respect to the Test Results exceed the amount paid to the Company by the client therefor.

Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Total Samples Submitted: 47

Total Samples Analyzed: 47

Total Samples with Layer Asbestos Content > 1%: 0

Location: 001, 12"x12" Tan with tan thick smudges FT with mastic nurse's office

Lab ID-Version‡: 10750216-1

Sample Layers	Asbestos Content
Tan Floor Tile	ND
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 002, 12"x12" Tan with tan thick smudges FT with mastic nurse's office

Lab ID-Version‡: 10750217-1

Sample Layers	Asbestos Content
Tan Floor Tile	ND
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 003, 12"x12" Tan with tan thick smudges FT with mastic nurse's office

Lab ID-Version‡: 10750218-1

Sample Layers	Asbestos Content
Tan Floor Tile	ND
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 004, Baseboard mastic nurse's office

Lab ID-Version‡: 10750219-1

Sample Layers	Asbestos Content
White Mastic	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

‡ A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 005, Baseboard mastic copy room**

Lab ID-Version‡: 10750220-1

Sample Layers	Asbestos Content
White Mastic	ND
Sample Composite Homogeneity:	Good

Location: 006, Baseboard mastic staff room

Lab ID-Version‡: 10750221-1

Sample Layers	Asbestos Content
White Mastic	ND
Sample Composite Homogeneity:	Good

Location: 007, Carpet tile mastic staff room

Lab ID-Version‡: 10750222-1

Sample Layers	Asbestos Content
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 008, Carpet tile mastic conf

Lab ID-Version‡: 10750223-1

Sample Layers	Asbestos Content
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

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Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 009, Carpet tile mastic admin**

Lab ID-Version‡: 10750224-1

Sample Layers	Asbestos Content
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 010, Leveling compound/mastic copy room

Lab ID-Version‡: 10750225-1

Sample Layers	Asbestos Content
Gray Leveling Compound	ND
Yellow Mastic	ND
Sample Composite Homogeneity:	Moderate

Location: 011, Leveling compound/mastic copy room

Lab ID-Version‡: 10750226-1

Sample Layers	Asbestos Content
Gray Leveling Compound	ND
Yellow Mastic	ND
Sample Composite Homogeneity:	Moderate

Location: 012, Leveling compound/mastic copy room

Lab ID-Version‡: 10750227-1

Sample Layers	Asbestos Content
Gray Leveling Compound	ND
Yellow Mastic	ND
Sample Composite Homogeneity:	Moderate

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

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Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 013, Plaster staff room NW**

Lab ID-Version‡: 10750228-1

Sample Layers	Asbestos Content
Gray Plaster	ND
Black/Yellow Mastic	ND
Sample Composite Homogeneity: Good	

Location: 014, Plaster copy rm S

Lab ID-Version‡: 10750229-1

Sample Layers	Asbestos Content
White Skim Coat	ND
Gray Plaster	ND
Sample Composite Homogeneity: Good	

Location: 015, Plaster nurse's office E

Lab ID-Version‡: 10750230-1

Sample Layers	Asbestos Content
Gray Plaster	ND
Sample Composite Homogeneity: Good	

Location: 016, Joint compound admin N

Lab ID-Version‡: 10750231-1

Sample Layers	Asbestos Content
Blue Compound	ND
Sample Composite Homogeneity: Good	

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

‡ A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 017, Joint compound admin E**

Lab ID-Version‡: 10750232-1

Sample Layers	Asbestos Content
Blue Compound	ND
Sample Composite Homogeneity:	Good

Location: 018, Joint compound staff NW

Lab ID-Version‡: 10750233-1

Sample Layers	Asbestos Content
Gray Compound	ND
Sample Composite Homogeneity:	Good

Location: 019, Joint compound copy S

Lab ID-Version‡: 10750234-1

Sample Layers	Asbestos Content
Gray Compound	ND
Sample Composite Homogeneity:	Good

Location: 020, Joint compound nurse's E

Lab ID-Version‡: 10750235-1

Sample Layers	Asbestos Content
Gray Compound	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

‡ A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 021, Sink under coat mastic nurse's office**

Lab ID-Version‡: 10750236-1

Sample Layers	Asbestos Content
Gray Sink Undercoating Mastic	ND
Sample Composite Homogeneity:	Good

Location: 022, Wall tile grout and mortar RR 1

Lab ID-Version‡: 10750237-1

Sample Layers	Asbestos Content
Gray Grout	ND
White Compound	ND
Sample Composite Homogeneity:	Good

Location: 023, Wall tile grout and mortar nurse's RR

Lab ID-Version‡: 10750238-1

Sample Layers	Asbestos Content
Gray Grout	ND
White Compound	ND
Sample Composite Homogeneity:	Good

Location: 024, Wall tile grout and mortar nurse's RR

Lab ID-Version‡: 10750239-1

Sample Layers	Asbestos Content
Gray Grout	ND
White Compound	ND
Sample Composite Homogeneity:	Good

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‡ A "Version" indicated by "-x" after the Lab ID# with a value greater than 1 indicates a sample with amended data. The revision number is reflected by the value of "x".

Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 025, F.T. grout mortar boy's**

Lab ID-Version‡: 10750240-1

Sample Layers	Asbestos Content
Gray Grout	ND
Gray Mortar	ND
Sample Composite Homogeneity: Good	

Location: 026, F.T. grout mortar boy's

Lab ID-Version‡: 10750241-1

Sample Layers	Asbestos Content
Gray Grout	ND
Gray Mortar	ND
Sample Composite Homogeneity: Good	

Location: 027, F.T. grout mortar girl's

Lab ID-Version‡: 10750242-1

Sample Layers	Asbestos Content
Gray Grout	ND
Gray Mortar	ND
Sample Composite Homogeneity: Good	

Location: 028, Floor tile grout and mortar RR1

Lab ID-Version‡: 10750243-1

Sample Layers	Asbestos Content
Gray Mortar	ND
White Grout (Trace)	ND
Sample Composite Homogeneity: Good	

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Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 029, Floor tile grout and mortar nurse's RR**

Lab ID-Version‡: 10750244-1

Sample Layers	Asbestos Content
Gray Mortar	ND
White Grout (Trace)	ND
Sample Composite Homogeneity: Good	

Location: 030, Floor tile grout and mortar nurse's RR

Lab ID-Version‡: 10750245-1

Sample Layers	Asbestos Content
Gray Mortar	ND
White Grout (Trace)	ND
Sample Composite Homogeneity: Good	

Location: 031, Stucco bldg C-ext. boys and girls

Lab ID-Version‡: 10750246-1

Sample Layers	Asbestos Content
Green Stucco (Trace)	ND
Gray Cementitious Material	ND
Sample Composite Homogeneity: Good	

Location: 032, Stucco bldg C-ext. boys and girls

Lab ID-Version‡: 10750247-1

Sample Layers	Asbestos Content
Green Stucco (Trace)	ND
Gray Cementitious Material	ND
Sample Composite Homogeneity: Good	

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Client: ATC Group Services LLC: Monterey Park
C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 033, Stucco bldg C-ext. boys and girls**

Lab ID-Version‡: 10750248-1

Sample Layers	Asbestos Content
Green Stucco (Trace)	ND
Gray Cementitious Material	ND
Sample Composite Homogeneity: Good	

Location: 034, Plaster boy's RR

Lab ID-Version‡: 10750249-1

Sample Layers	Asbestos Content
Beige Plaster	ND
White Skim Coat	ND
Sample Composite Homogeneity: Good	

Location: 035, Plaster boy's RR

Lab ID-Version‡: 10750250-1

Sample Layers	Asbestos Content
Beige Plaster	ND
White Skim Coat	ND
Sample Composite Homogeneity: Good	

Location: 036, Plaster girl's RR

Lab ID-Version‡: 10750251-1

Sample Layers	Asbestos Content
Beige Plaster	ND
White Skim Coat	ND
Sample Composite Homogeneity: Good	

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C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 037, Wall tile cement boys**

Lab ID-Version‡: 10750252-1

Sample Layers	Asbestos Content
White Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 038, Wall tile cement boys

Lab ID-Version‡: 10750253-1

Sample Layers	Asbestos Content
White Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 039, Wall tile cement girls

Lab ID-Version‡: 10750254-1

Sample Layers	Asbestos Content
White Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 040, Wall tile grout boys

Lab ID-Version‡: 10750255-1

Sample Layers	Asbestos Content
Gray Grout	ND
Sample Composite Homogeneity:	Good

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C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 041, WT grot boys**

Lab ID-Version‡: 10750256-1

Sample Layers	Asbestos Content
Gray Grout	ND
Sample Composite Homogeneity: Good	

Location: 042, WT grout girls

Lab ID-Version‡: 10750257-1

Sample Layers	Asbestos Content
White Grout	ND
Sample Composite Homogeneity: Good	

Location: 043, Stucco-admin bldg-ext.

Lab ID-Version‡: 10750258-1

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity: Good	

Location: 044, Stucco-admin bldg-ext.

Lab ID-Version‡: 10750259-1

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity: Good	

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C/O: Elaine Horng
Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019
Date of Receipt: 09-25-2019
Date of Report: 09-26-2019

ASBESTOS PLM REPORT**Location: 045, Stucco-admin bldg-ext.**

Lab ID-Version‡: 10750260-1

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

Location: 046, Stucco-admin bldg-ext.

Lab ID-Version‡: 10750261-1

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

Location: 047, Stucco-admin bldg-ext.

Lab ID-Version‡: 10750262-1

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

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LA Testing

5431 Industrial Drive, Huntington Beach, CA 92649

Phone/Fax: (714) 828-4999 / (714) 828-4944

<http://www.LATesting.com>

gardengrovelab@latesting.com

LA Testing Order: 331920487

CustomerID: 32ATCA45

CustomerPO:

ProjectID:

Attn: **Elaine Horng**
ATC Group Services LLC
25 Cupania Circle
Monterey Park, CA 91755

Phone: (323) 517-9780
Fax: (323) 517-9781
Received: 09/25/19 12:35 PM
Collected: 9/22/2019

Project: **1011601607 / P2-Rio Vista**

Test Report: Lead in Paint Chips by Flame AAS (SW 846 3050B/7000B)*

Client Sample Description	Collected	Analyzed	Weight	RDL	Lead Concentration
P01 331920487-0001	9/22/2019	9/26/2019 Site: Copy room	.273 g	80 ppm	<80 ppm
P02 331920487-0002	9/22/2019	9/26/2019 Site: Staff rm, East	.26 g	80 ppm	<80 ppm
P03 331920487-0003	9/22/2019	9/26/2019 Site: Boys RR, bldg C	.264 g	80 ppm	2500 ppm
P04 331920487-0004	9/22/2019	9/26/2019 Site: Ext, admin bldg	.278 g	80 ppm	<80 ppm

Michael Chapman, Laboratory Manager
or other approved signatory

*Analysis following Lead in Paint by EMSL SOP/Determination of Environmental Lead by FLAA. Reporting limit is 0.010 % wt based on the minimum sample weight per our SOP. Unless noted, results in this report are not blank corrected. This report relates only to the samples reported above and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities. Samples received in good condition unless otherwise noted. "<" (less than) result signifies that the analyte was not detected at or above the reporting limit. Measurement of uncertainty is available upon request. The QC data associated with the sample results included in this report meet the recovery and precision requirements unless specifically indicated otherwise. Definitions of modifications are available upon request.

Samples analyzed by LA Testing Huntington Beach, CA AIHA-LAP, LLC--ELLAP Accredited #101650, CA ELAP 1406

Initial report from 09/27/2019 16:55:46



Lead (Pb) Chain of Custody

EMSL Order ID (Lab Use Only):

#331920487

 LATesting
 520 Mission Street

South Pasadena, CA 91030

PHONE: 1-800-303-0047

FAX: 323-254-9982

Company: ATC Group Services LLC		EMSL-Bill to: <input type="checkbox"/> Different <input checked="" type="checkbox"/> Same	
Street: 25 Cupania Circle		If Bill to is Different note instructions in Comments**	
City: Monterey Park State/Province: CA		Third Party Billing requires written authorization from third party	
Report To (Name): Elaine Horng		Zip/Postal Code: 91755	Country: United States
Email Address: elaine.horng@atcgs.com		Telephone #: 323-517-9780	
Project Name/Number: 1011601607 / P2-Provisia		Fax #: 323-517-9781	Purchase Order:
U.S. State Samples Taken: CA		Please Provide Results: <input type="checkbox"/> FAX <input checked="" type="checkbox"/> E-mail <input type="checkbox"/> Mail	
		CT Samples: <input type="checkbox"/> Commercial/Taxable <input type="checkbox"/> Residential/Tax Exempt	
Turnaround Time (TAT) Options* - Please Check			
<input type="checkbox"/> 3 Hour <input type="checkbox"/> 6 Hour <input type="checkbox"/> 24 Hour <input type="checkbox"/> 48 Hour <input checked="" type="checkbox"/> 72 Hour <input type="checkbox"/> 96 Hour <input type="checkbox"/> 1 Week <input type="checkbox"/> 2 Week			
*Analysis completed in accordance with EMSL's Terms and Conditions located in the Price Guide			
Matrix	Method	Instrument	Reporting Limit
Chips <input type="checkbox"/> % by wt. <input type="checkbox"/> mg/cm ² <input checked="" type="checkbox"/> ppm	SW846-7000B	Flame Atomic Absorption	0.01%
Air	NIOSH 7082	Flame Atomic Absorption	4 µg/filter
	NIOSH 7105	Graphite Furnace AA	0.03 µg/filter
	NIOSH 7300 modified	ICP-AES/ICP-MS	0.5 µg/filter
Wipe* <input type="checkbox"/> ASTM <input type="checkbox"/> non ASTM <input type="checkbox"/> *if no box is checked, non-ASTM Wipe is assumed	SW846-7000B	Flame Atomic Absorption	10 µg/wipe
	SW846-6010B or C	ICP-AES	1.0 µg/wipe
	SW846-7000B/7010	Graphite Furnace AA	0.075 µg/wipe
TCLP	SW846-1311/7000B/SM 3111B	Flame Atomic Absorption	0.4 mg/L (ppm)
	SW846-1131/SW846-6010B or C	ICP-AES	0.1 mg/L (ppm)
Soil	SW846-7000B	Flame Atomic Absorption	40 mg/kg (ppm)
	SW846-7010	Graphite Furnace AA	0.3 mg/kg (ppm)
	SW846-6010B or C	ICP-AES	2 mg/kg (ppm)
Wastewater Unpreserved <input type="checkbox"/> Preserved with HNO ₃ pH < 2 <input type="checkbox"/>	SM3111B/SW846-7000B	Flame Atomic Absorption	0.4 mg/L (ppm)
	EPA 200.9	Graphite Furnace AA	0.003 mg/L (ppm)
	EPA 200.7	ICP-AES	0.020 mg/L (ppm)
Drinking Water Unpreserved <input type="checkbox"/> Preserved with HNO ₃ pH < 2 <input type="checkbox"/>	EPA 200.9	Graphite Furnace AA	0.003 mg/L (ppm)
	EPA 200.8	ICP-MS	0.001 mg/L (ppm)
TSP/SPM Filter	40 CFR Part 50	ICP-AES	12 µg/filter
	40 CFR Part 50	Graphite Furnace AA	3.6 µg/filter
Other:			
Name of Sampler: Elaine Horng		Signature of Sampler: Elaine Horng	
Sample #	Location	Volume/Area	Date/Time Sampled
P01-P04	See attached		
Client Sample #'s		Total # of Samples:	4
Relinquished (Client):	Date: 9.24.19	Time:	
Received (Lab):	Date: 9/25/19	Time:	9:54 AM
Comments: (FE)			

 BillTo: ATC Group Services LLC, 25 Cupania Circle, Monterey Park, CA, 91755, United States
 Attention: Elaine Horng; elaine.horng@atcgs.com

Received - CM (P) 9/25/19 12:35

Page 1 of 4 pages

#331920487

PAGE 1 OF 1

LEAD BULK SAMPLE LOG



25 CUPANIA CIRCLE
MONTEREY PARK, CA 91755
www.atcgroupservices.com
(323) 517-9780
(323) 517-9781

PROJECT NO.

1011601607

PHASE NO.

2

PROJECT:

Rio Vista ES

SURVEYOR(S):

Elaine H / Max Q

DATE:

092219

AREA	AREA NAME/DESCRIPTION	AREA	AREA NAME/DESCRIPTION
01	Admin		
02	BOYS/GIRLS BLDG C.		
03	Ext		

UNIT
CODES

LF LINEAR FEET

SF SQUARE FEET

EA EACH

PERCENTAGES

PAINT

P - POSITIVE

N - NEGATIVE

WATER

DUST

Q.A.

OTHER

SAMPLE #	BLDG./FLOOR	AREA USAG	COM'T CODE	MATERIAL DESCRIPTION / COLOR	ESTIMATED QUANTITY															
P01		01		Tan paint on plaster wall.	1 SF	2														
P02		01		copy room																
P03		02		Green paint on metal DF	10 SF	4														
P04		03		STAFF RM, EAST.																
				OFF WHITE PAINT ON PLASTER WALL.	2 SF	1														
				BOYS PR, BLDG C.																
				TAN PAINT ON STUCCO.	10 SF	1														
				EXT, ADMIN BLDG.																

01 WATER
02 DUST
03 DOOR, HEADER
04 DOOR JAM
05 DOOR, CASING
06 STAIR, TREADS
07 STAIR, RISERS
08 STAIR, STRINGER
09 BALUSTER
10 RAILING CAP
11 NEWEL POST
12 WINDOW, HEADER
13 WINDOW, CASING
14 WINDOW, SILL
15 WINDOW, SASH
16 WINDOW, STOPS
17 MULLIONS
18 APRON
19 WINDOW GRATE
20 DOOR GRATE

21 BASEBOARD
22 WALLS
23 WALLS, LOWER
24 WALLS, UPPER
25 CHAIR RAIL
26 DOOR, EXTERIOR
27 EXTERIOR, DOOR CASING
28 EXTERIOR, WINDOW CASING
29 EXTERIOR, WINDOW MULLIONS
30 EXTERIOR, WINDOW SILL
31 THRESHOLD
32 DRIPBOARD
33 LOWER TRIM
34 UPPER TRIM
35 CORNERBOARD
36 SIDING
37 CELLAR WINDOW UNIT
38 FLOOR
39 RAILING CAPS
40 SUPPORT COLUMN

41 JOIST
42 CEILING
43 RADIATOR
44 ACCESS HATCH COVER
45 _____
46 _____
47 _____
48 _____
49 _____
50 _____

AREA USAGE
CODES

1 VOID/CHASE/CAVITY
2 MECHANICAL
3 STORAGE
4 OCCASIONAL
5 CONTINUOUS

PEELING
CODE

1 PEELING
2 NOT PEELING
3 UNDEGRADED
4 CHIPPED
5 CHALKING

SUBSTRATE
CODE

1 WOOD
2 METAL
3 MASONRY
4 DRYWALL
5 PLASTER

CHEWABLE
SURFACE

1 YES
2 NO

CONTACT
CODE

1 LOW
2 MODERATE
3 HIGH

CODE

1 _____
2 _____
3 _____

FOR LAB USE ONLY

ANALYST'S SIGNATURE/DATE

LAB DIRECTOR'S SIGNATURE/DATE

Rich, Sarah

#331920487

From: Elaine Horng <Elaine.Horng@atcgs.com>
Sent: Wednesday, September 25, 2019 2:26 PM
To: Rich, Sarah
Cc: LA Testing Lab - Huntington Beach
Subject: RE: Project 1011601607 / P2- Rio Vista

[EXTERNAL E-MAIL]

Hi Sarah,

Method SW846-700B (FAA).

Thank you,

Elaine Horng | PROJECT MANAGER | **ATC Group Services LLC**
+1 323 517 9659 | +1 626 423 3754 mobile

25 Cupania Circle | Monterey Park, CA 91755
elaine.horng@atcgs.com | www.atcgroupservices.com

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From: Rich, Sarah <srich@latesting.com>
Sent: Wednesday, September 25, 2019 1:13 PM
To: Elaine Horng <Elaine.Horng@atcgs.com>
Cc: LA Testing Lab - Huntington Beach <huntingtonbeachlab@latesting.com>
Subject: [EXTERNAL] Project 1011601607 / P2- Rio Vista
Importance: High

[External Email] This email originated from outside of the ATC mail system. Please use caution when opening attachments.

Good afternoon,

We received your project mentioned above from our S. Pasadena lab earlier this afternoon, and would like to confirm the analysis with you. It does not seem that the analysis was marked on the COC.

#331920487

Please confirm the analysis at your earliest convenience. The TAT will not begin until we receive confirmation. COC is attached for your reference.

Best Regards,



Sarah Rich | *Administrative Assistant*

LA Testing | 5431 Industrial Drive | Huntington Beach, CA 92649

Phone: 714-828-4999 | Fax: | Toll Free: 800-755-1794

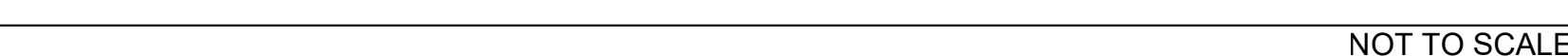
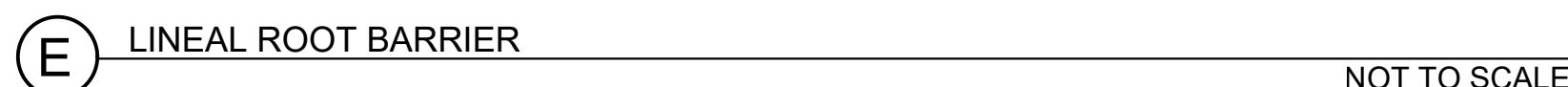
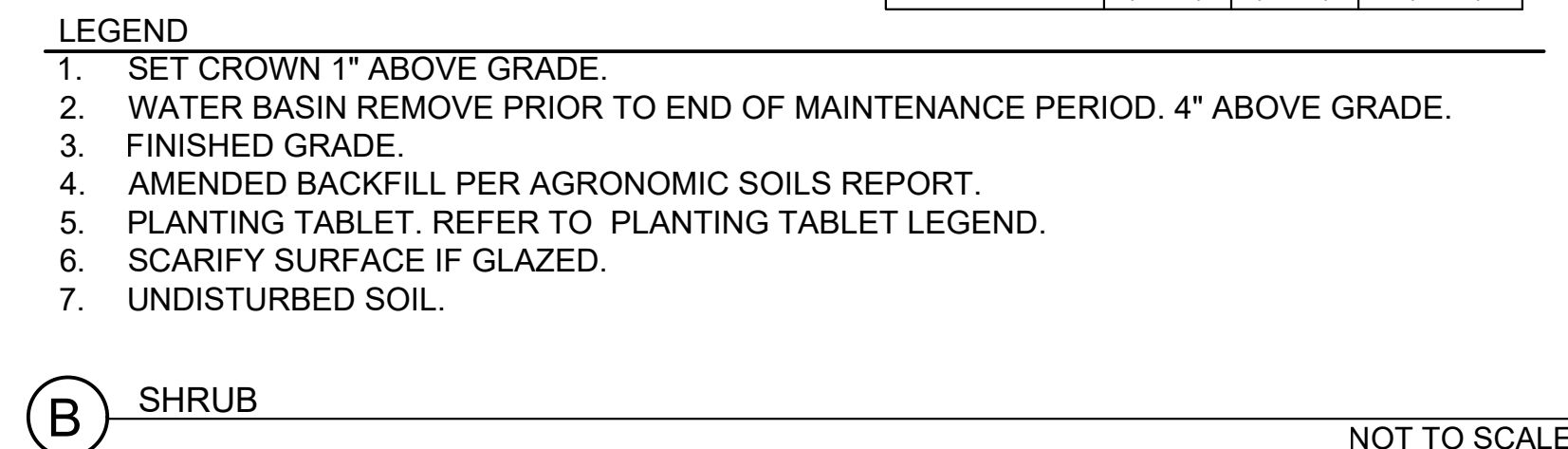
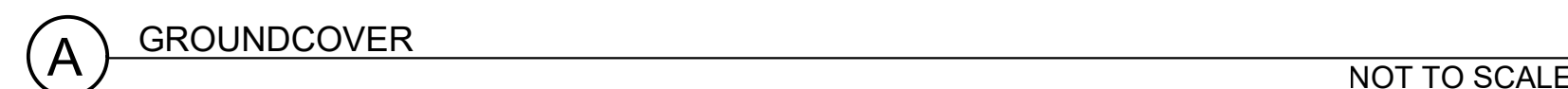
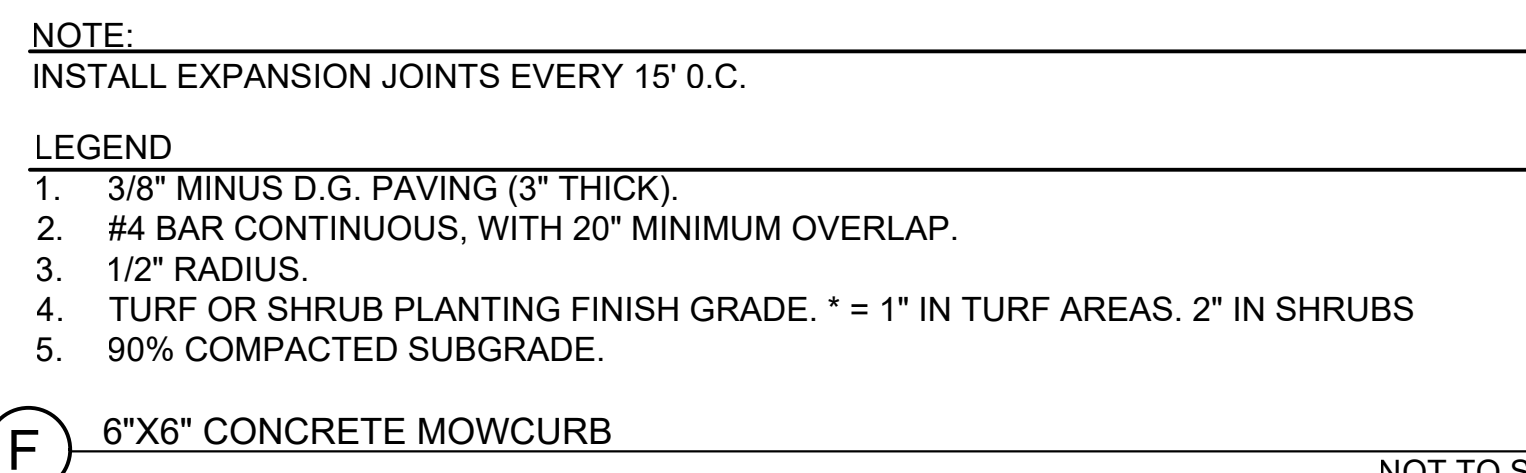
Lab Hours: Monday - Friday 8AM - 6PM, Saturday 9AM - 5PM, Sunday On-Call

Some of the resources LA Testing, Inc. offers to our clients:

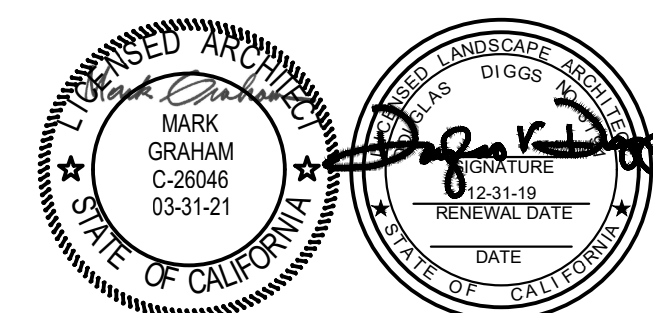
[LABConnect](#) | [Order Products](#) | [Client Corner](#) | [Training](#) | [Additional Resources](#) | [Sampling Videos](#)

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A horizontal graphic scale bar with vertical tick marks at 10-foot intervals. The segments are labeled 10', 0', 10', 20', and 30'. The letter 'S' is positioned above the 20' mark. Below the bar, the text "SCALE: 1" = 10'" and "GRAPHIC SCALE" is printed.




LEGEND	
1. RWS-M DEEP ROOT WATER. 2 PER TREE.	7. ROOTBALL TO BE SET 1" ABOVE FINISH GRADE.
2. PLANT TABLET. REFER TO SPECS AND TO TABLET LEGEND.	8. 3" DEPTH OF MULCH REFER TO PLANTING LEGEND FOR TYPE.
3. AMENDED BACKFILL. AMEND PER AGRONOMIC SOLIS REPORT.	9. 3'-4" HIGH BERM AROUND OUTSIDE OF ROOTBALL. REMOVE PRIOR TO END OF MAINTENANCE.
4. COMPACTED NATURE.	10. FINISH GRADE
5. 2"x12" PINE LODGE POLE STAKE OR APPROVED EQUAL (2 REQ.)	11. PLANT PIT. SLOPE TO DRY DUMP.
6. RUBBER CINCH TIE (2 REQ.)	12. DRY DUMP. 4" DIAMETER. 12" DEEP MIN. ELLI 100T+3/4" WASHED GRAVEL



CONSULTANT



NO	DATE	BY	DESCRIPTION
	REVISIONS		

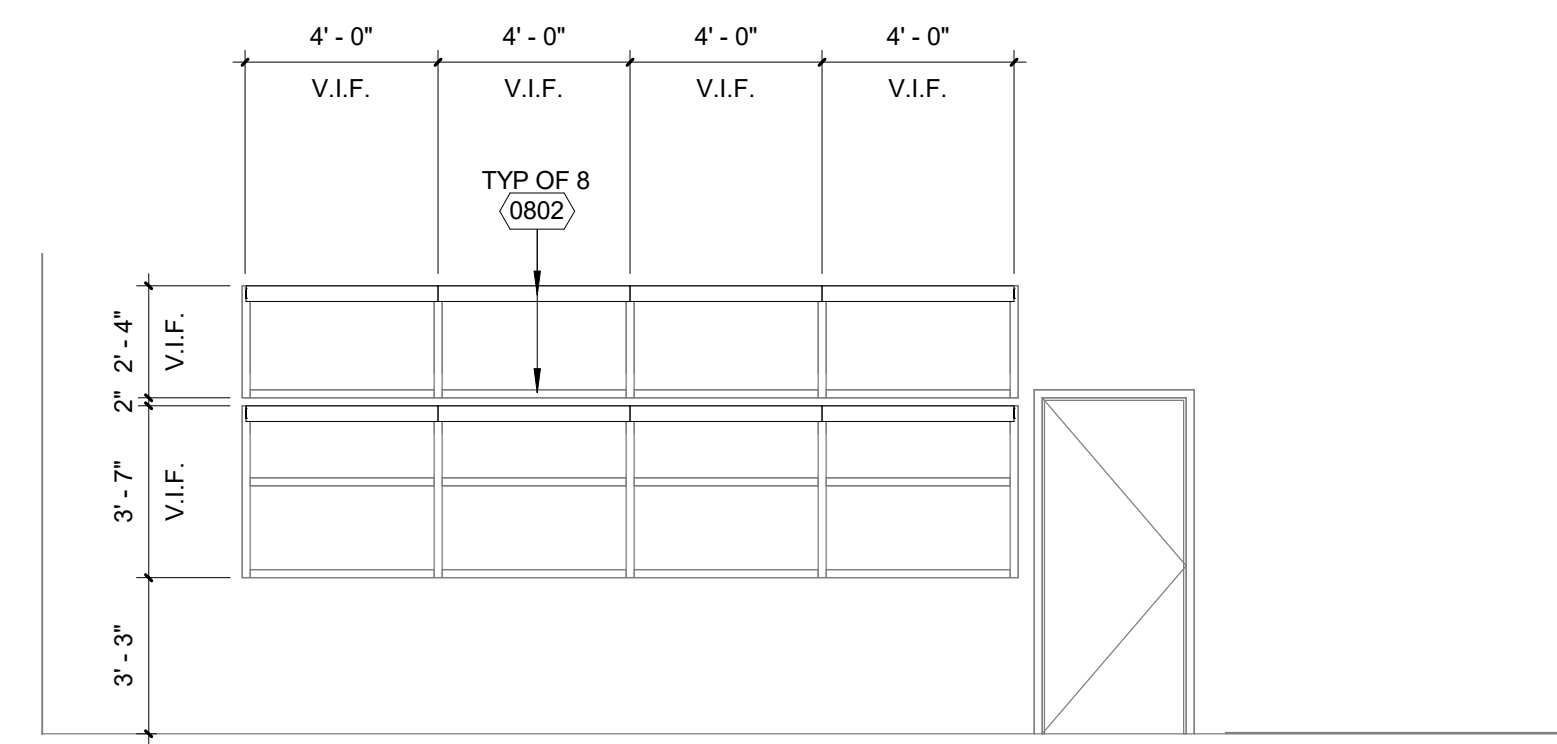
DRAWN: JV	CHECKED: BMP
DATE: 09/27/2019	SCALE: N.T.S.

PROJECT NUMBER: 1719800

LANDSCAPE PLANTING DETAILS

DRAWING
NUMBER:

LPD.1



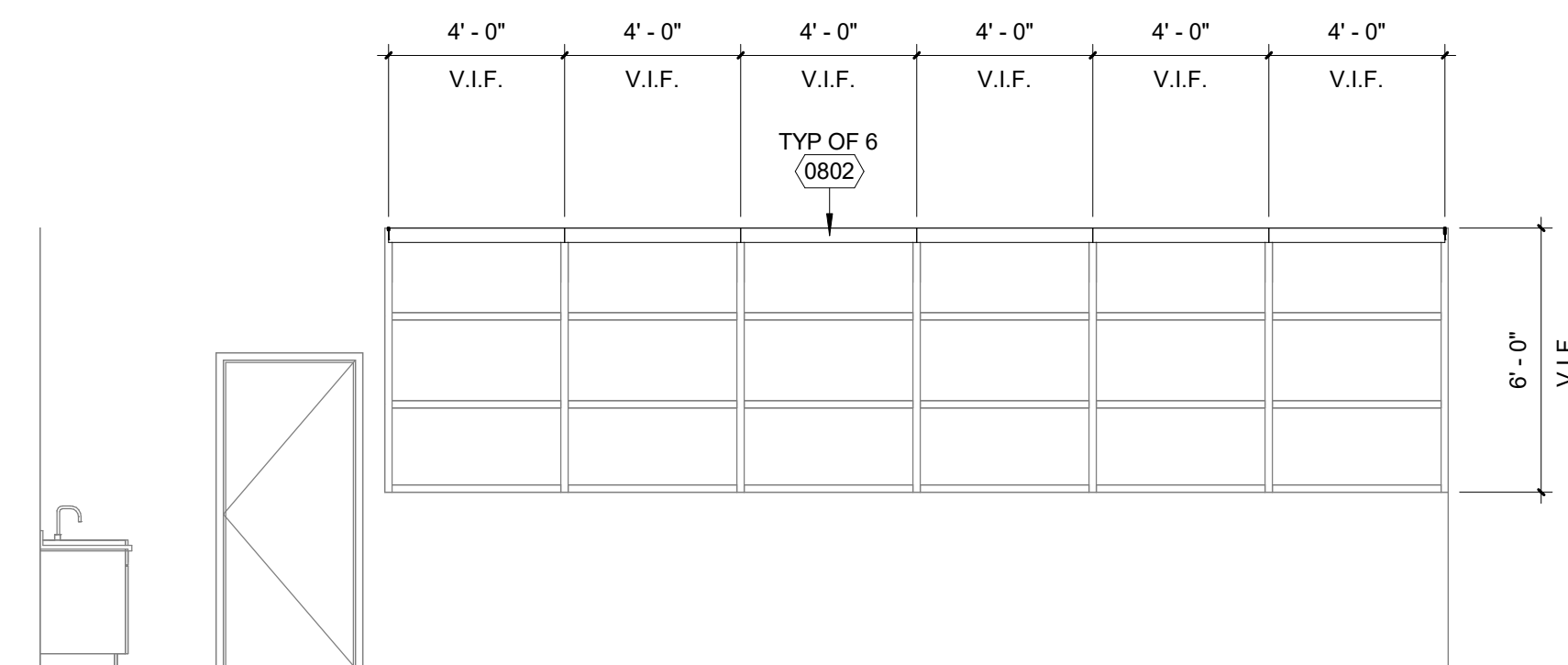
KEYNOTE	DESCRIPTION
0802	(N) WINDOLL RSHADER SHEDS COVERING SIZE 8 REF 1410 1 AND SPECS FOR MOUNTING, WHERE ROLLER SHADE FALLS INTO FRONT OF SIGNAGE. CONTRACTOR IS TO VERIFY DIMENSIONS WHERE SIGNAGE FALLS AND MANUFACTURER IS TO CUT ROLLER SHADE TO ALLOW FOR SIGNAGE TO BE SEEN
0904	(N) 4" TACKABLE SURFACE, COLOR TO BE SELECTED BY ARCHITECT, REF TO SHEET 3-8 FOR ANCHORAGE DETAILS
0906	(N) 6" OXPHORD BOARD, PAINTED, COLOR TO BE SELECTED BY ARCHITECT REF SPEC 092116
0908	(N) CERAMIC WALL TILE, 8"x24" INVERT WALL TILE, 1/4" GROUT JOINTS BETWEEN TILES, COLOR TO BE SELECTED BY ARCHITECT
0909	(N) 4" EPOXY INTERGAL COBE BOARD
0909	(N) 4" RUBBER BASE
0913	(N) CERAMIC WALL TILE, 12"x12" INVERT COLOR AND MANUFACTURER TO MATCH ADJACENT WALL TILE, 12"x12" IN. COLOR TO BE SELECTED BY ARCHITECT

$$1/4'' = 1'-0''$$

5

$$1/4'' = 1'-0'$$

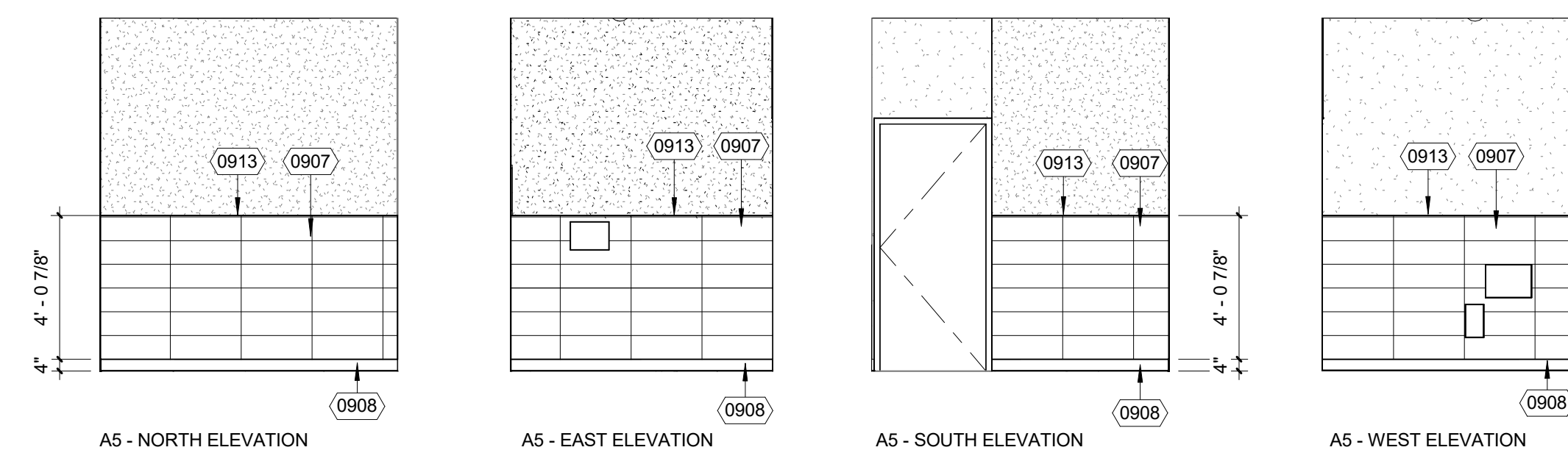
1


$$1/4'' = 1'-0''$$

6

$$1/4'' = 1'-0''$$

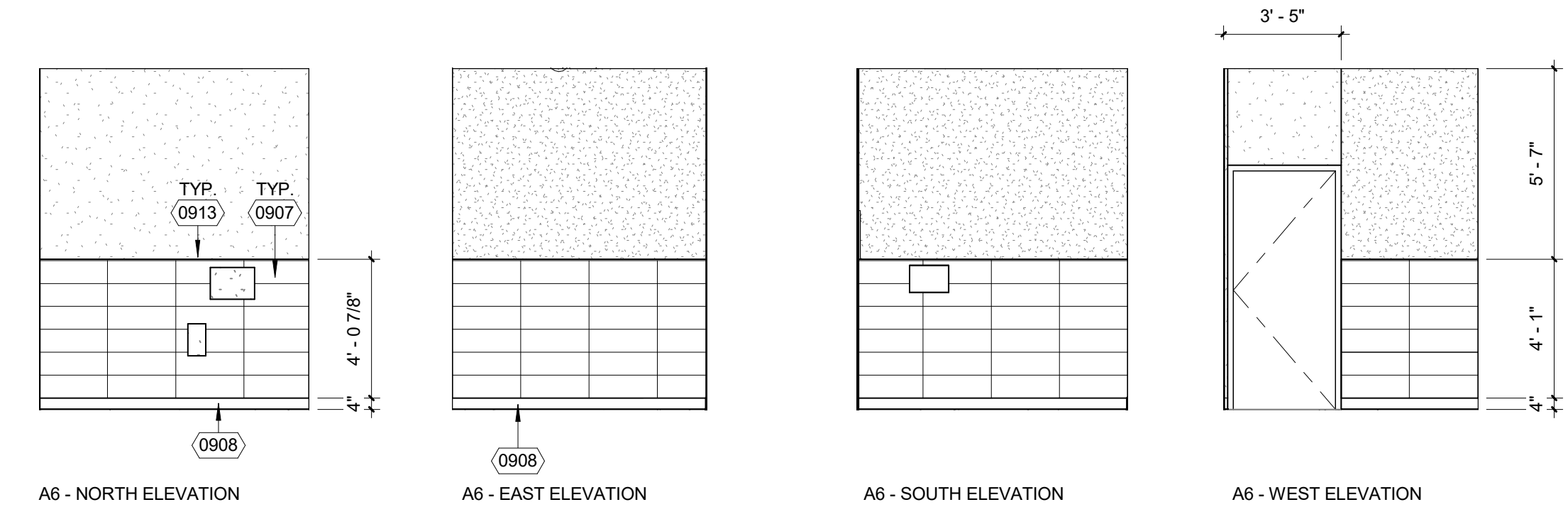
2


$$1/4'' = 1'-0''$$

7

$$1/4'' = 1'-0''$$

3


$$1/4" = 1'-0"$$

8

$$1/4'' = 1'-0''$$

4

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SOUTHERN CALIFORNIA

8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730-0729

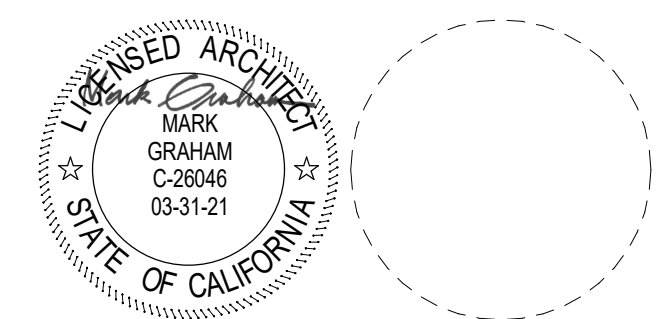
TEL: 909-987-0909

www.wlcarchitects.com


**RIO VISTA ELEMENTARY SCHOOL
MODERNIZATION**

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411



CONSULTANT

1	Date 1		Revision 1
NO	DATE	BY	DESCRIPTION
	REVISIONS		

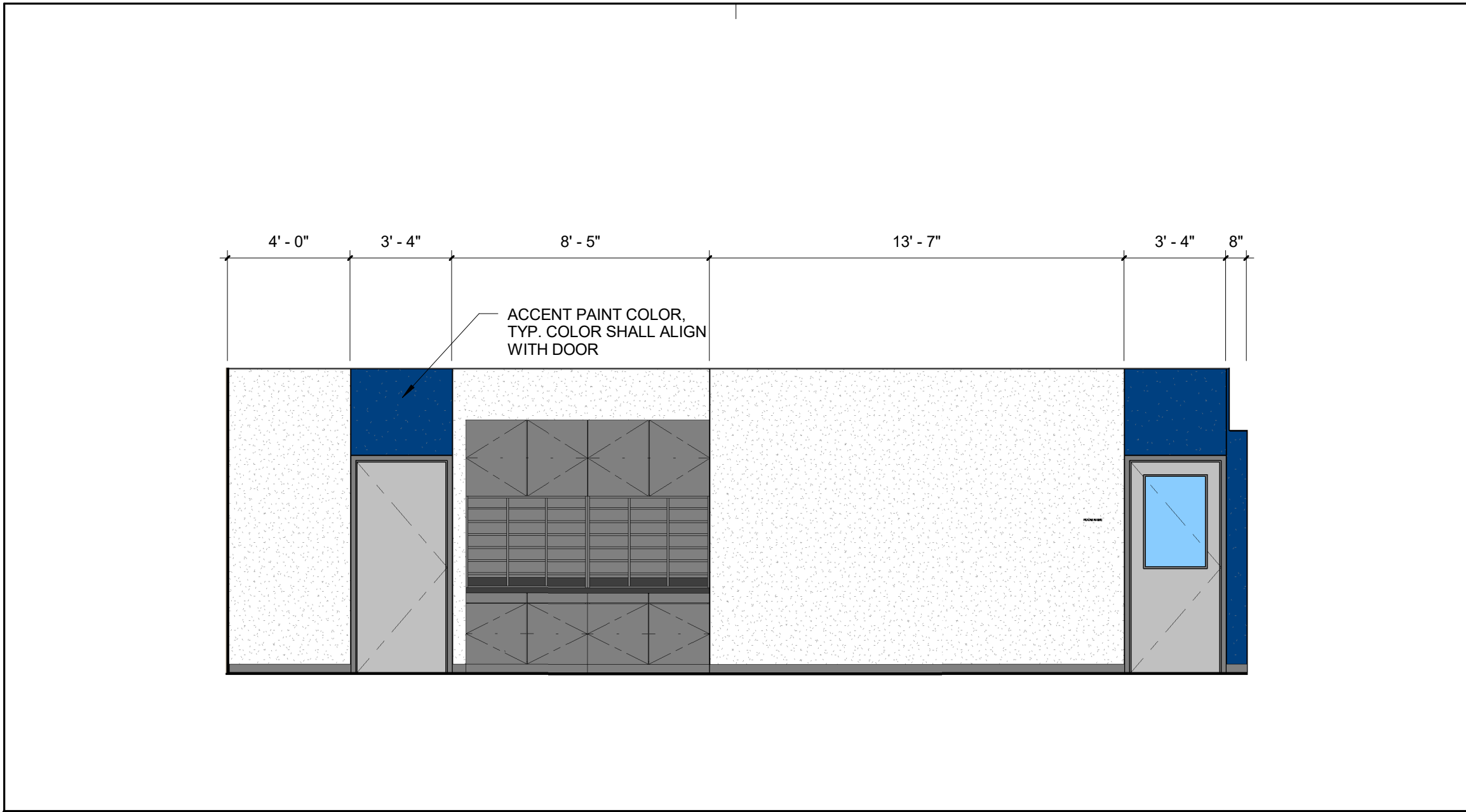
DRAWN: Author	CHECKED: Checker
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DATE: 09/02/2019	SCALE: 1/4" = 1'-0"
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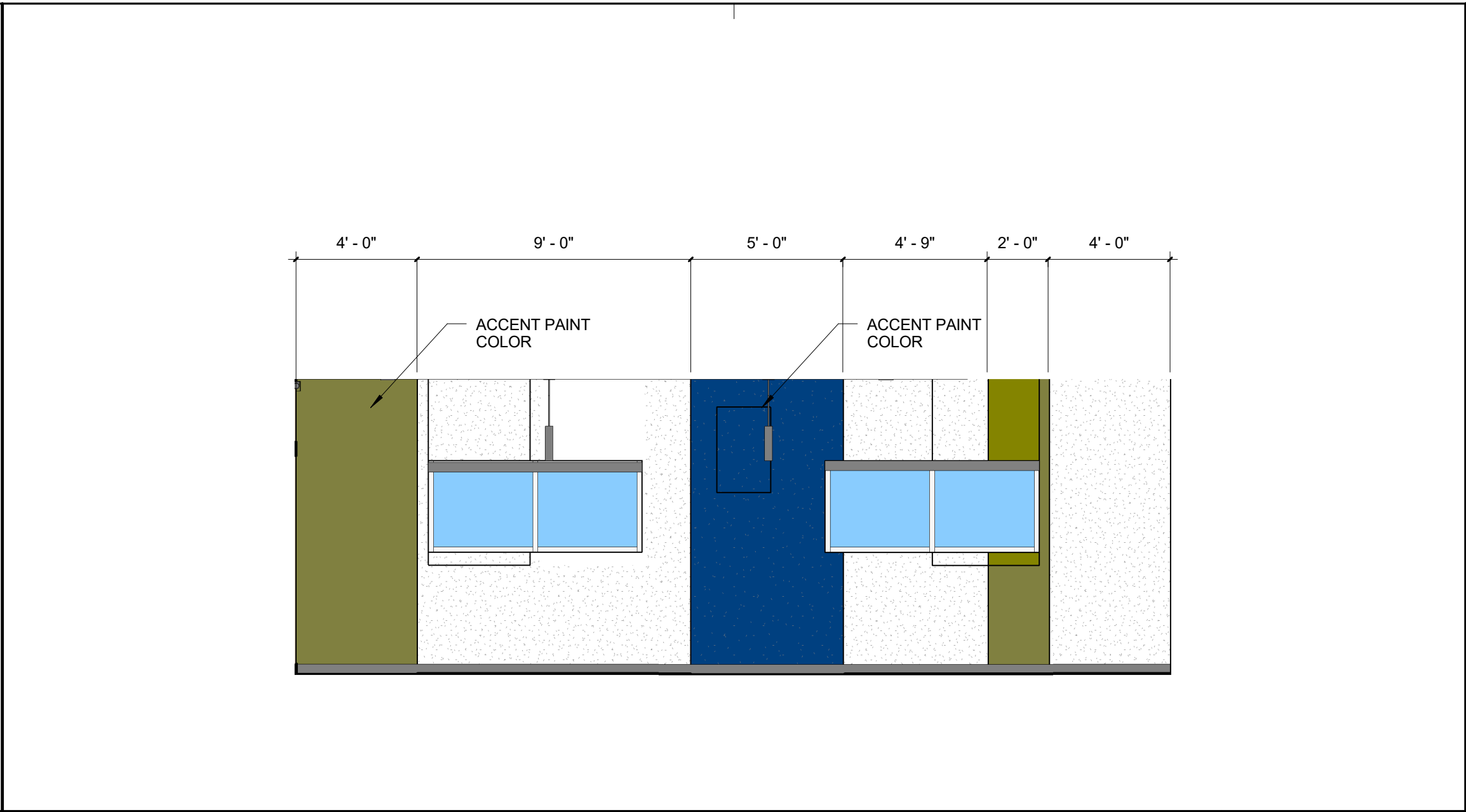
PROJECT NUMBER:	1719800
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INTERIOR ELEVS AND ENLARGED PLANS

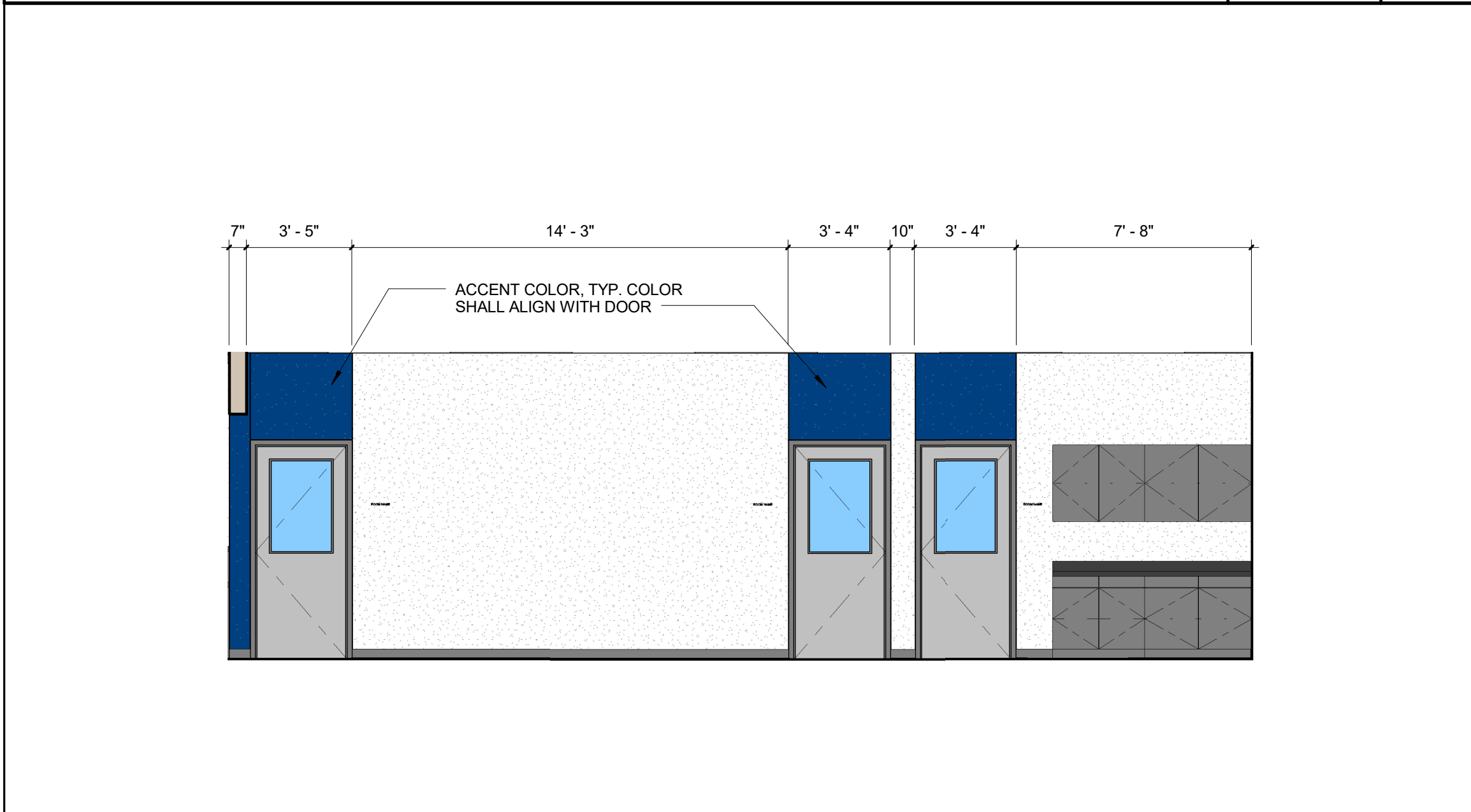
DRAWING NUMBER: **A6.4**



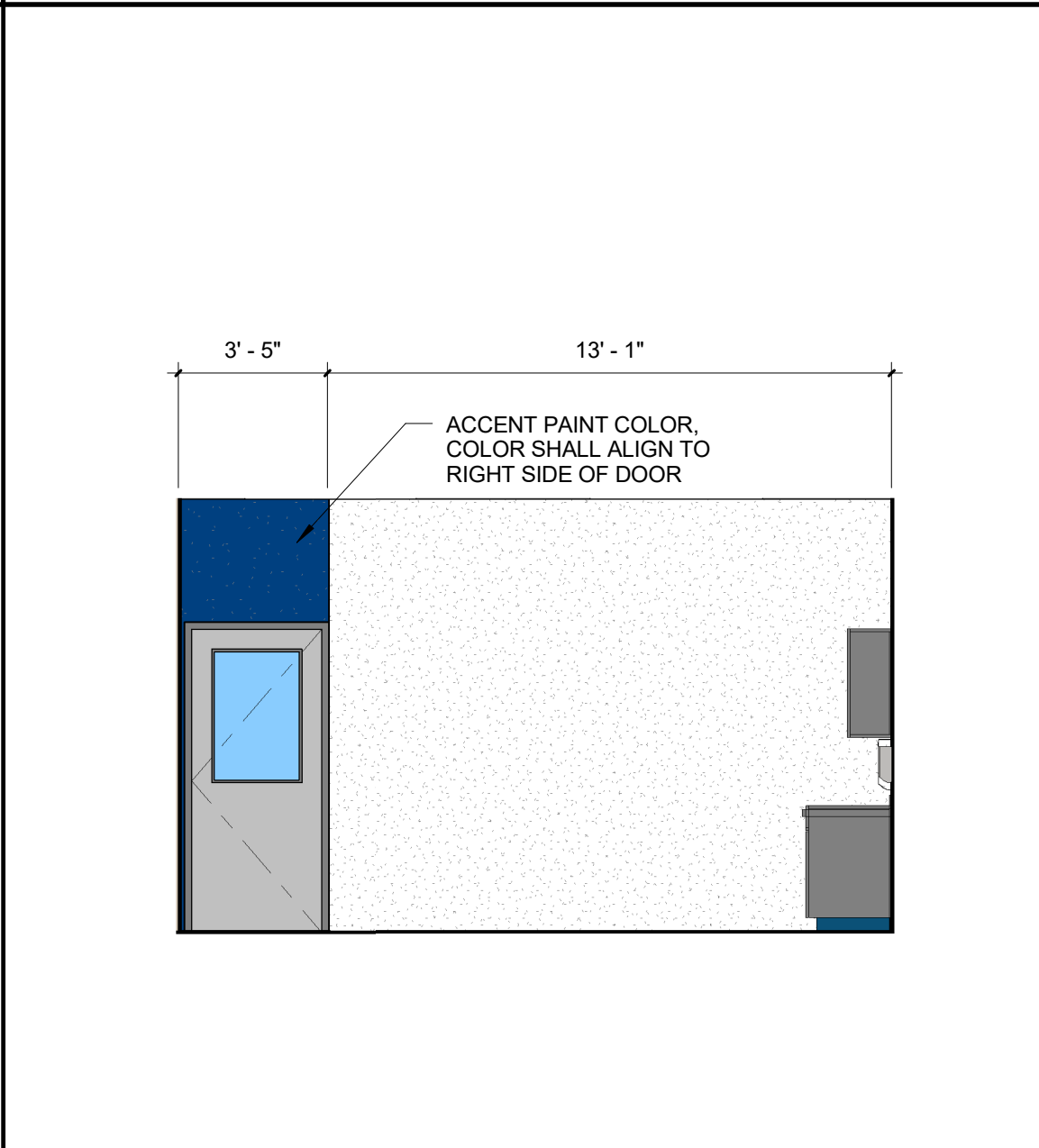
FINISH - HALL WAY - EAST	1/4" = 1'-0"	17
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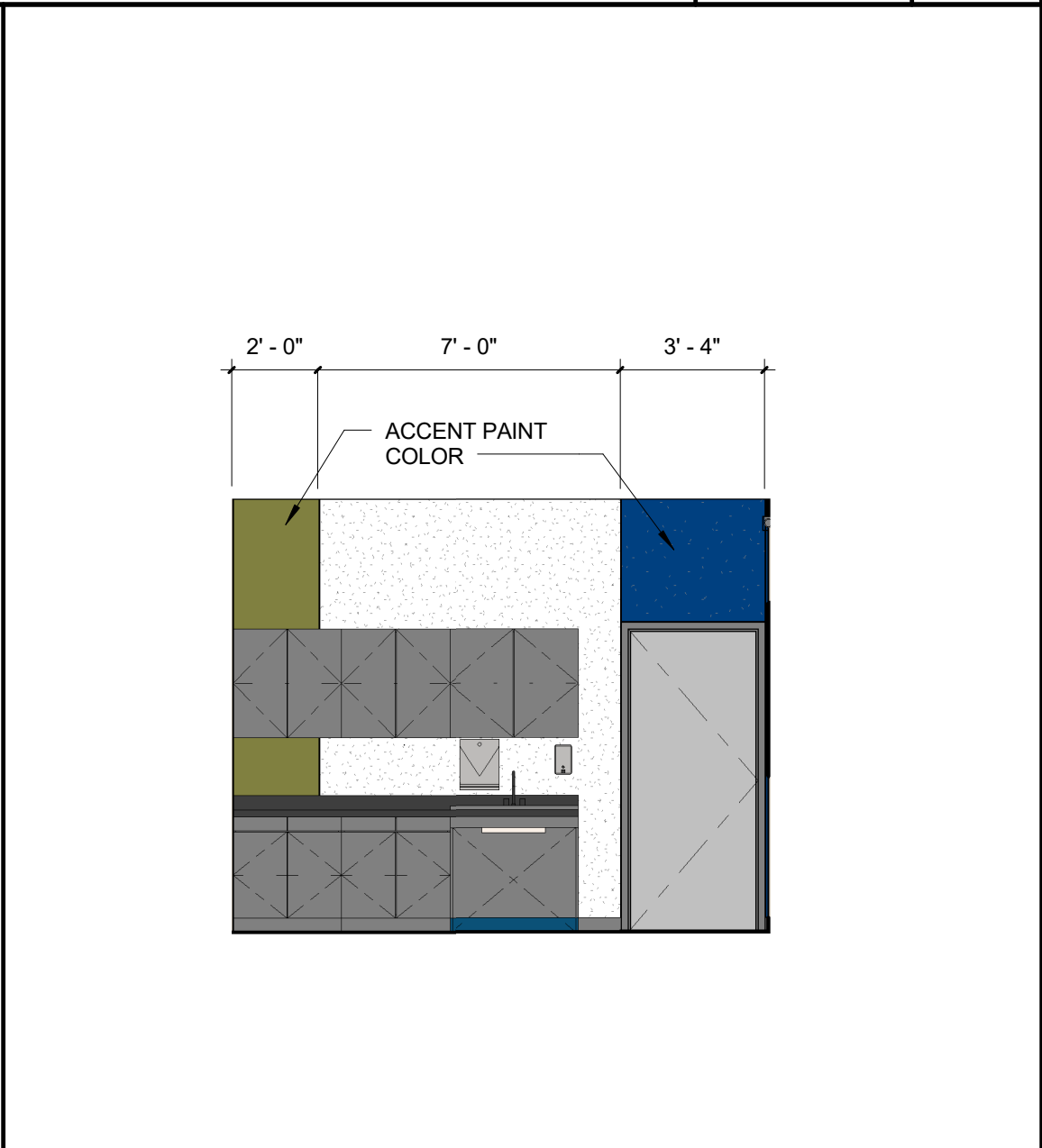
FINISH - RECEPTION - SOUTH	1/4" = 1'-0"	9
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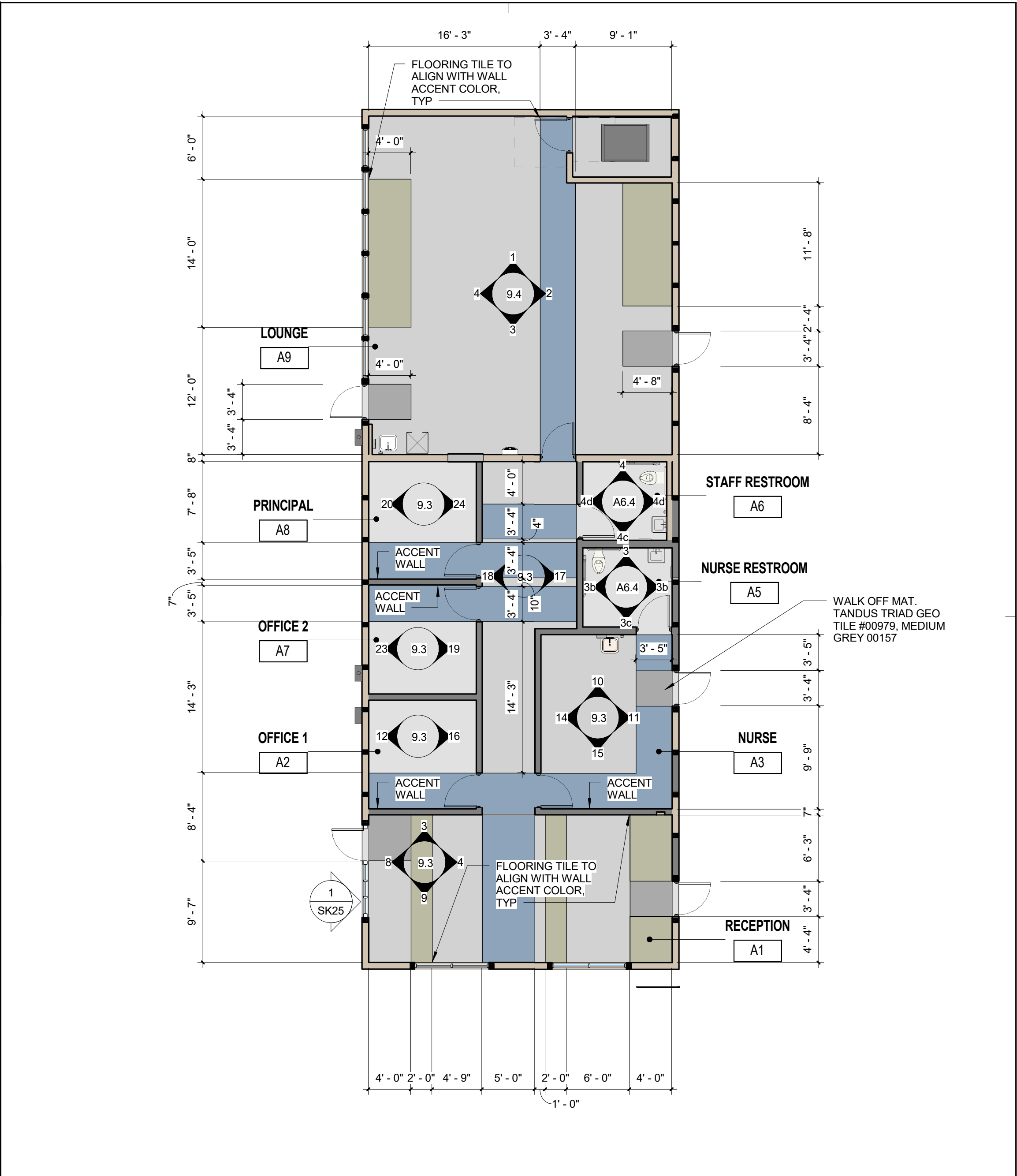
FINISH - HALL WAY - WEST	1/4" = 1'-0"	18
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FINISH - NURSE - WEST	1/4" = 1'-0"	14
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FINISH - NURSE - NORTH	1/4" = 1'-0"	10
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FINISH - NEW FIRST FLOOR PLAN - BLDG A1 Copy 1	1/8" = 1'-0"	2
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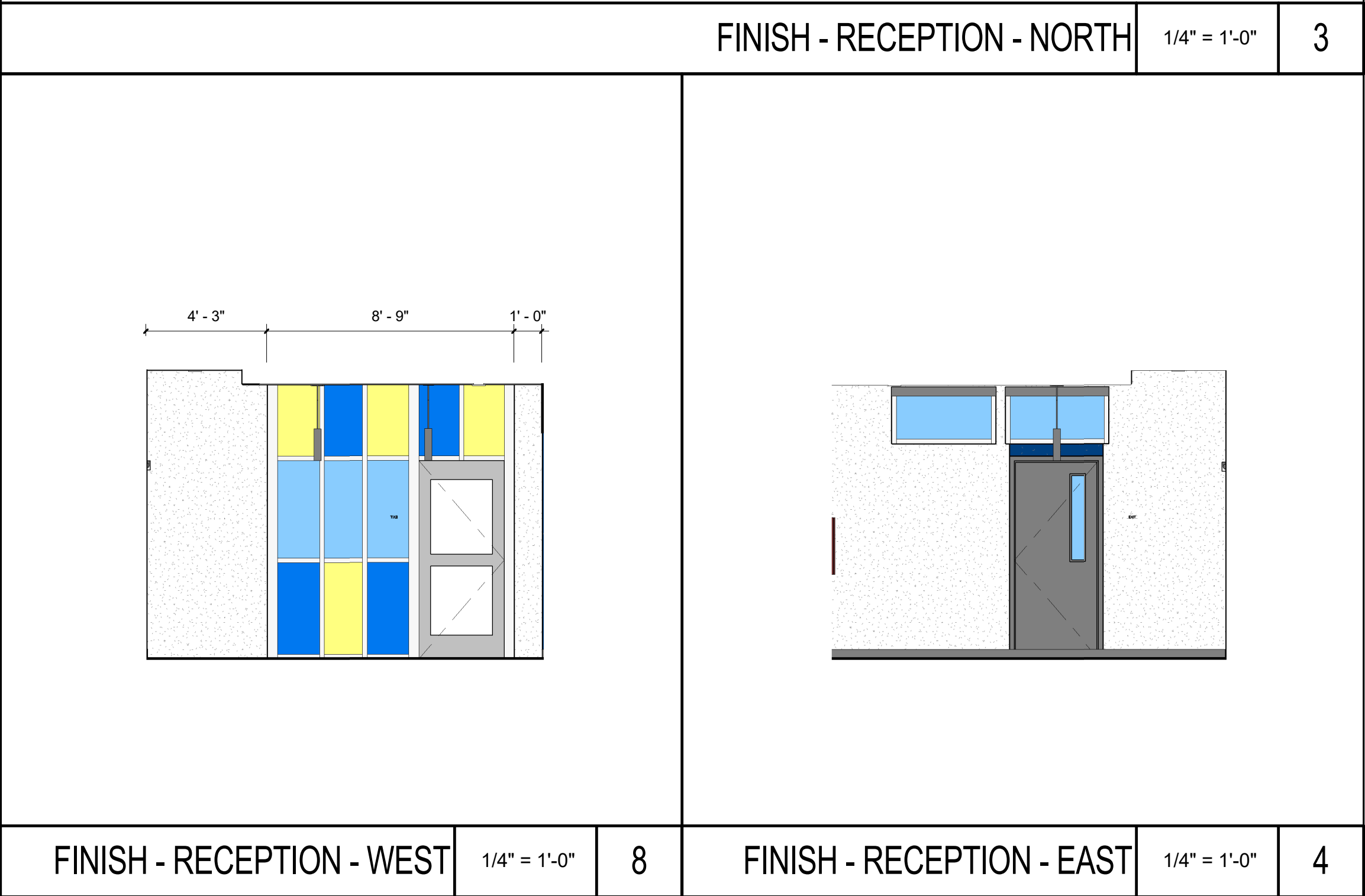
fire bell detail needs to be placed on 9.4

The diagram illustrates a fire bell detail with the following dimensions and specifications:

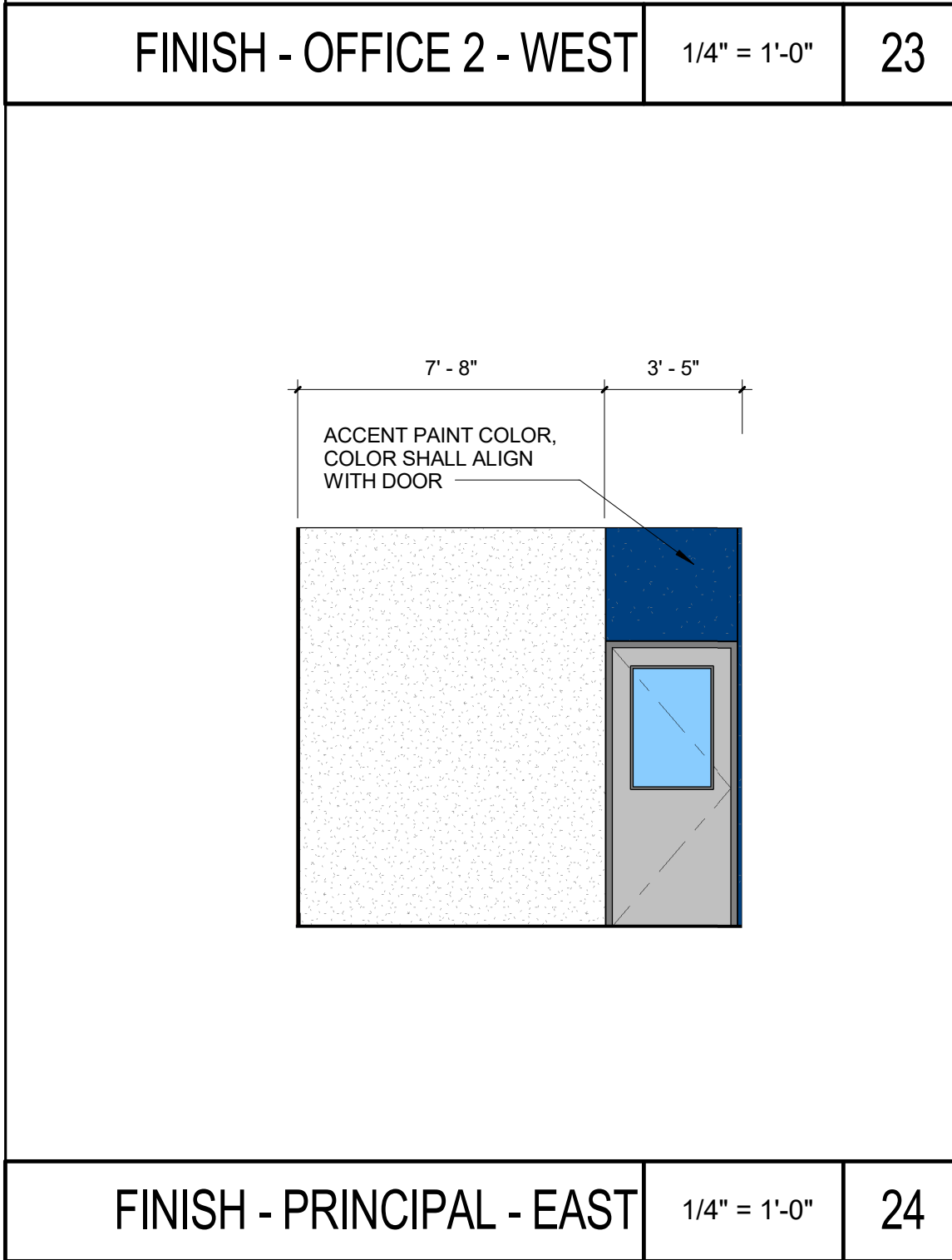
- Overall width: 10' - 8"
- Section 1 width: 5' - 0"
- Section 2 width: 1' - 0"
- Section 3 width: 2' - 0"
- Section 4 width: 10' - 0"

Accent paint color specifications:

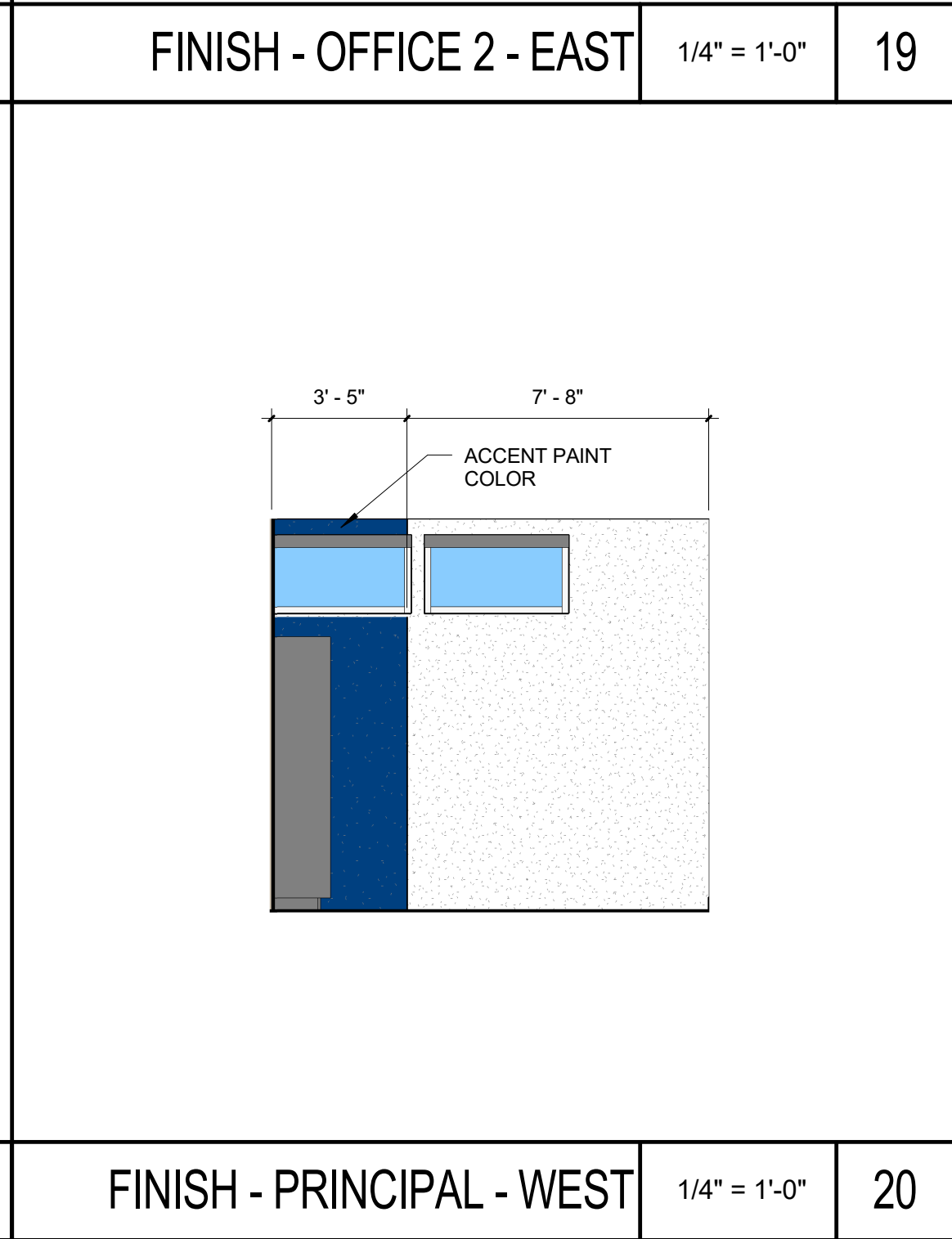
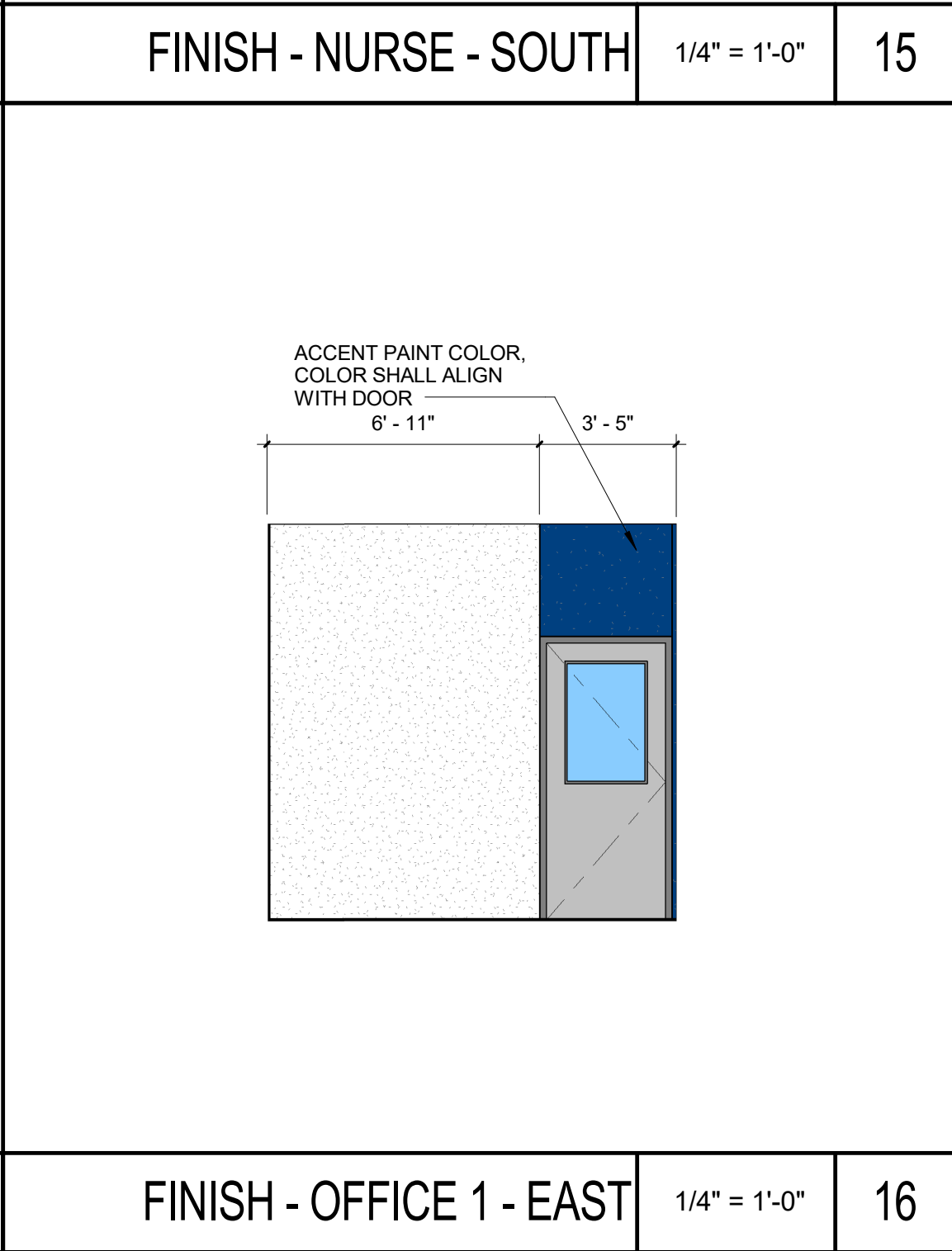
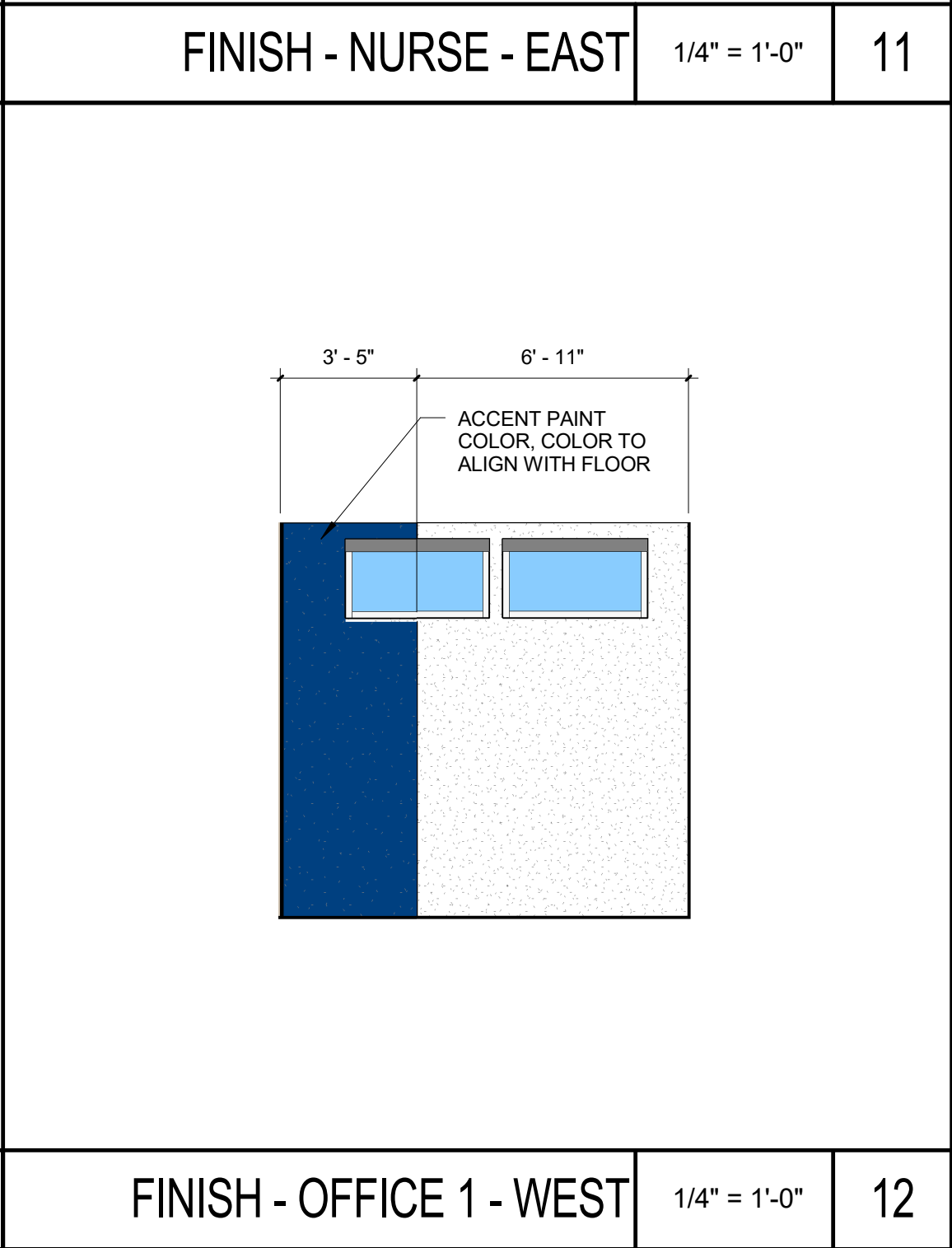
- ACCENT PAINT COLOR (pointing to the blue section)
- ACCENT PAINT COLOR, COLOR SHALL ALIGN WITH FLOOR PATTERN, TYP (pointing to the green section)



FINISH - RECEPTION - NORTH	1/4" = 1'-0"	3
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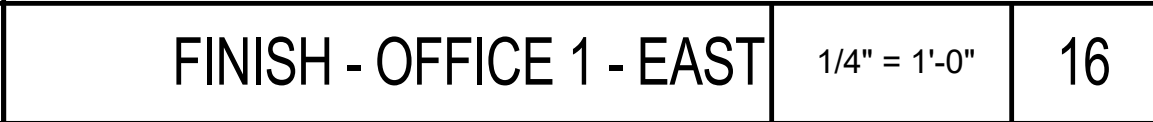
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[illegible][illegible][illegible]

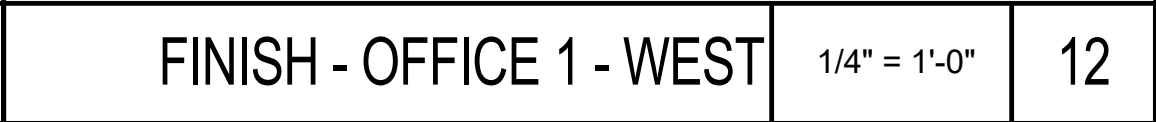
FINISH - PRINCIPAL - EAST	1/4" = 1'-0"	24
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FINISH - PRINCIPAL - WEST	1/4" = 1'-0"	20
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FINISH - OFFICE 1 - EAST	1/4" = 1'-0"	16
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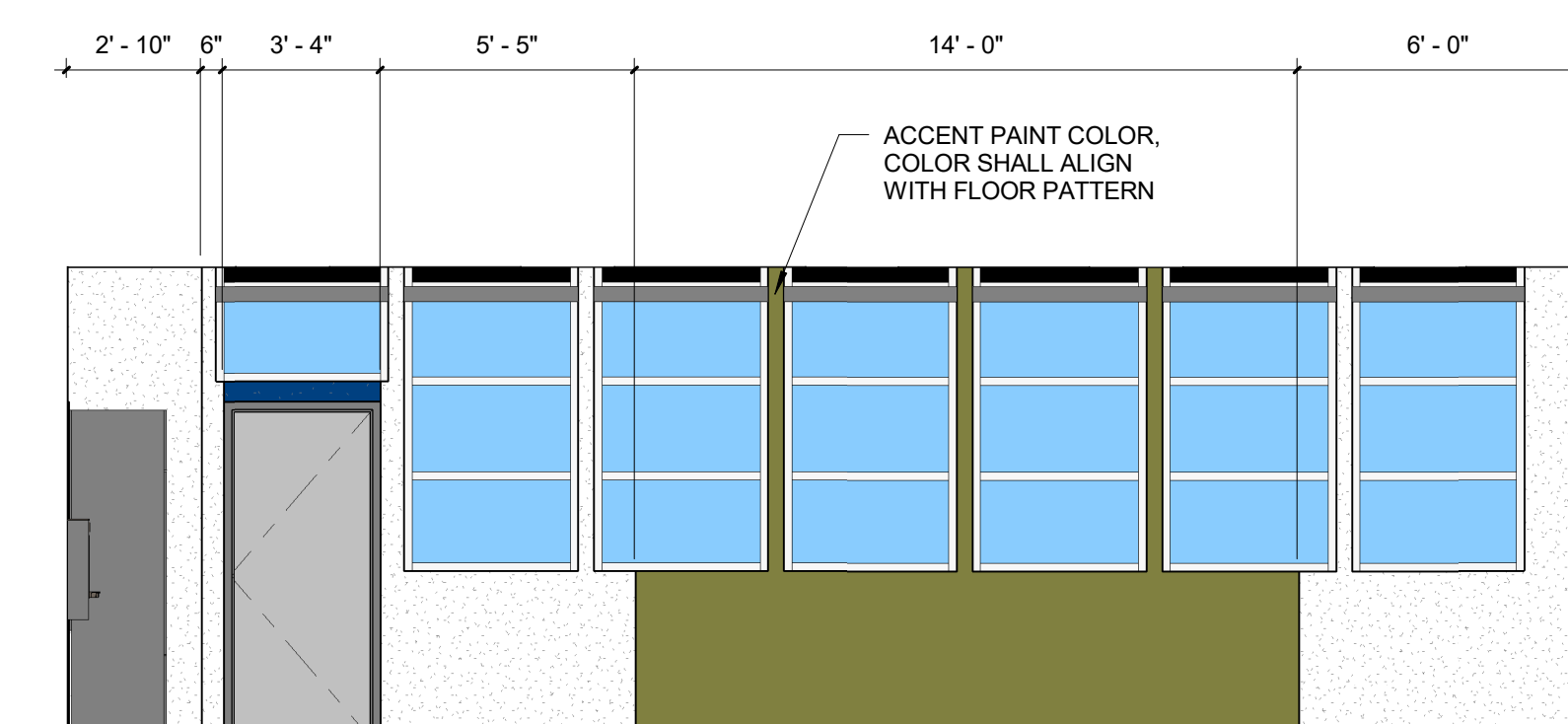
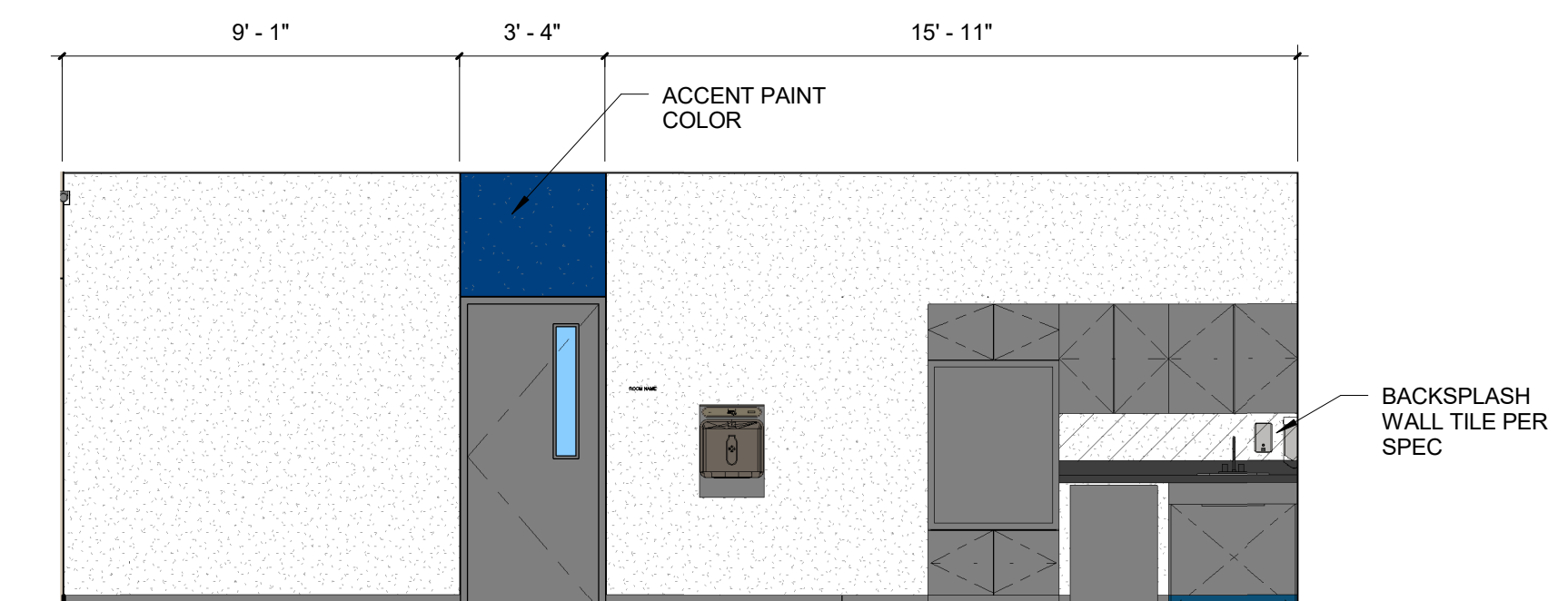
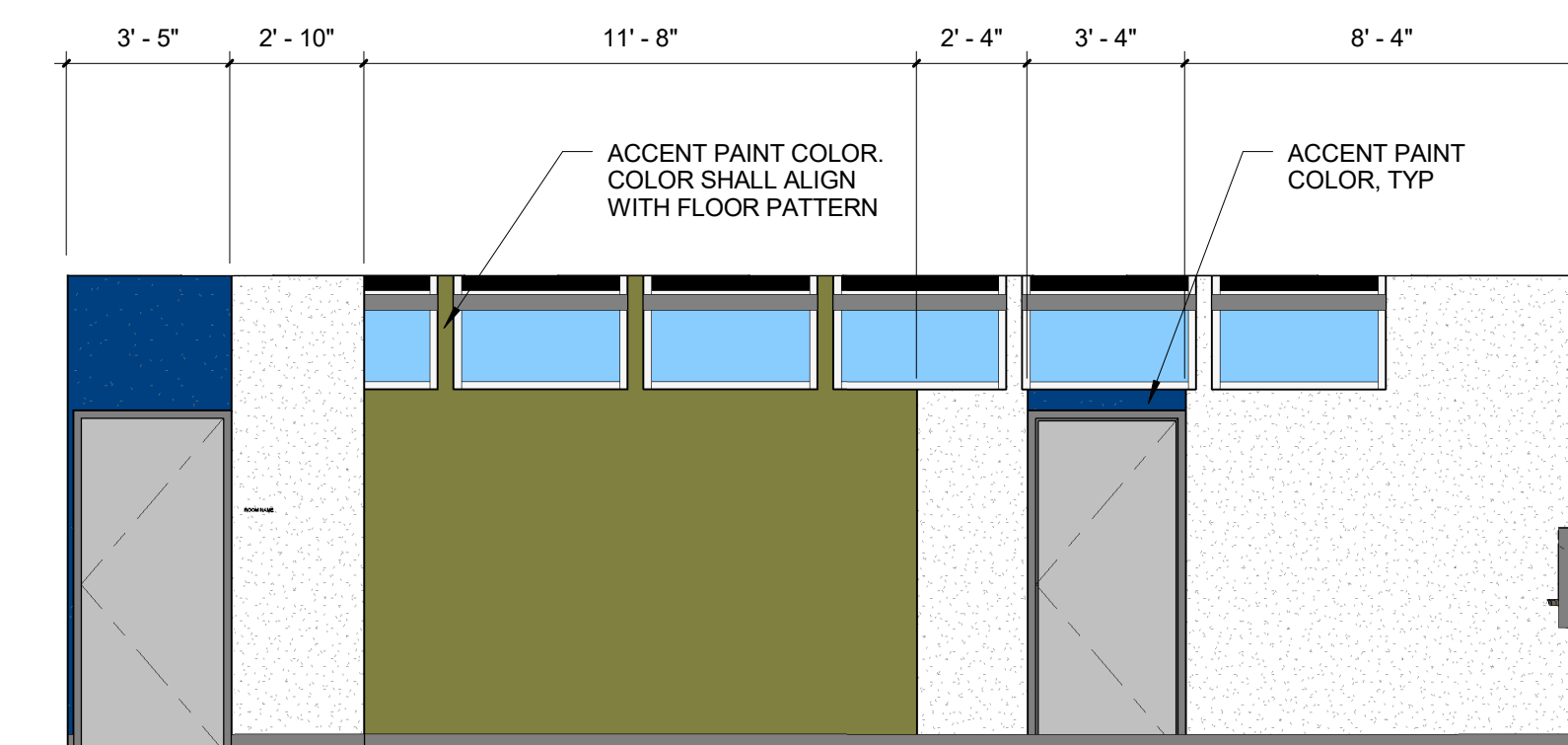
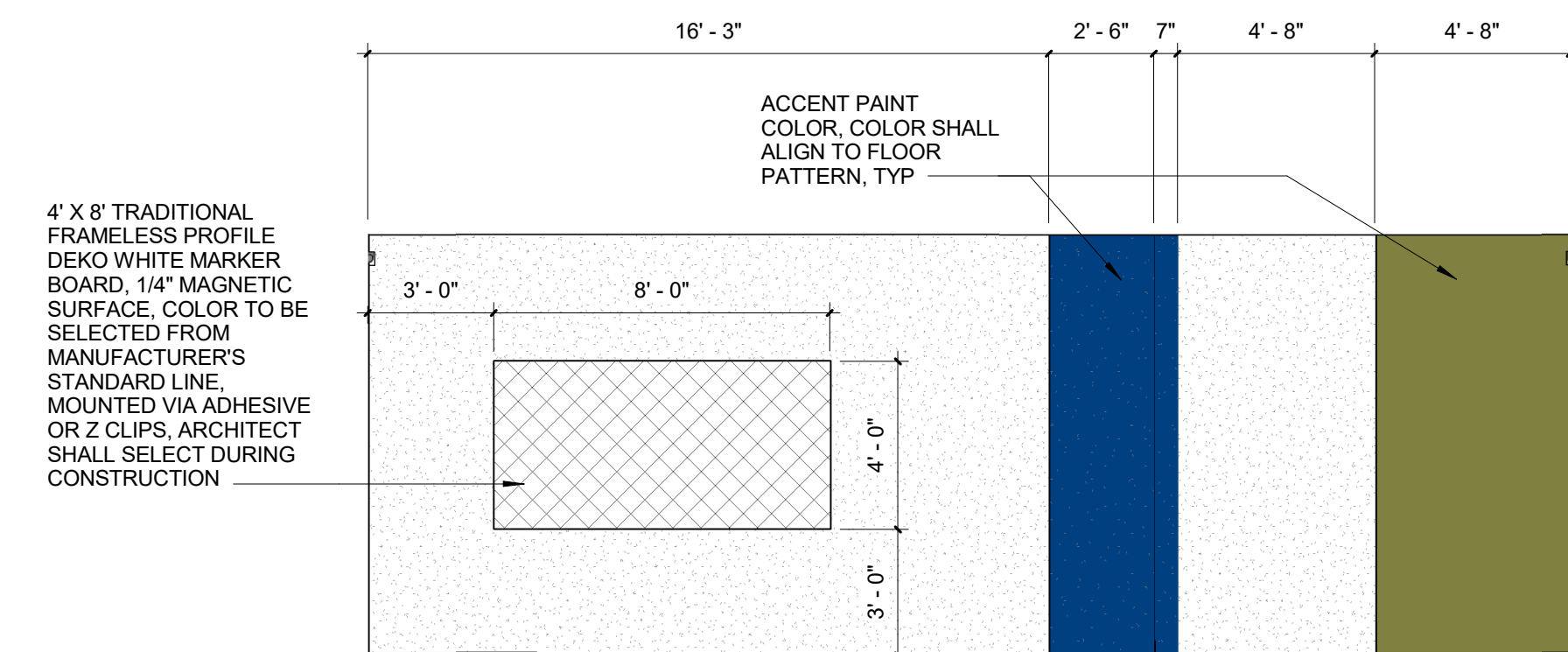
FINISH - OFFICE 1 - WEST	1/4" = 1'-0"	12
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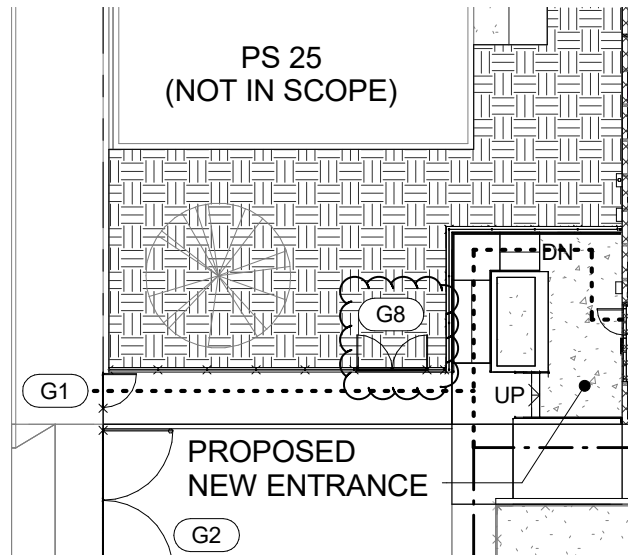


FINISH - RECEPTION - WEST	1/4" = 1'-0"	8
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FINISH - RECEPTION - EAST	1/4" = 1'-0"	4
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ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 1/A1.1



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SAN BERNARDINO CITY UNIFIED
SCHOOL DISTRICT

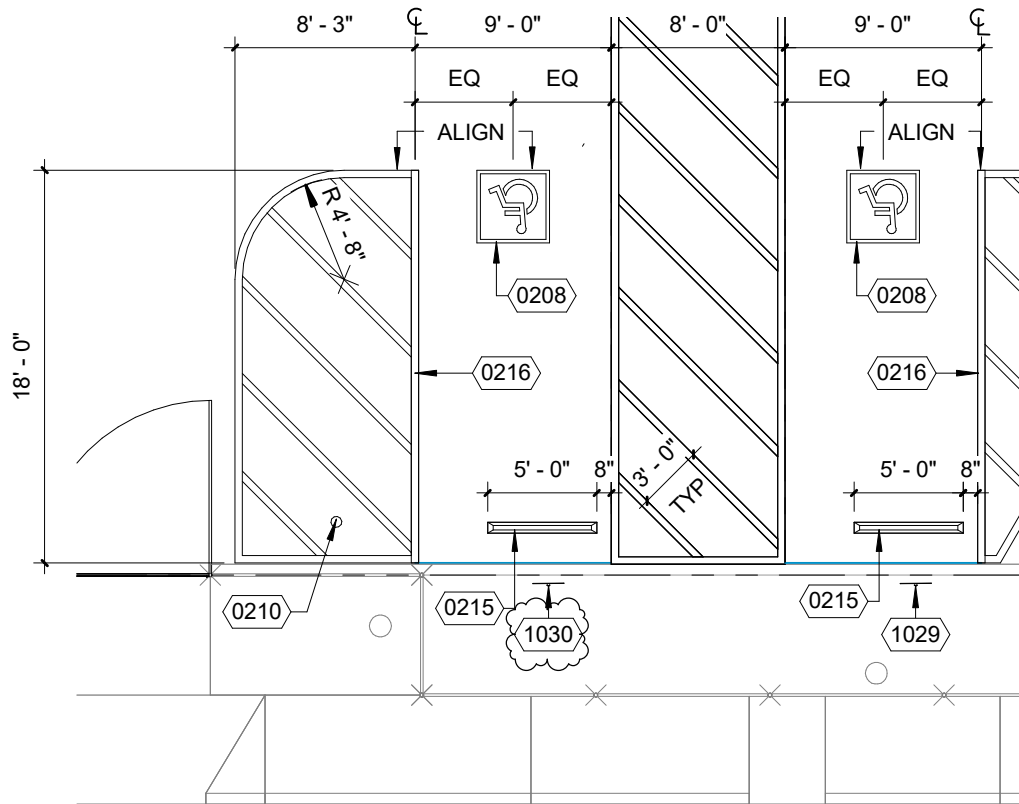
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

NEW OVERALL SITE PLAN

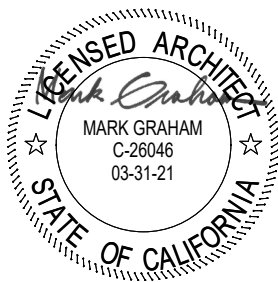
DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1" = 20'-0"
JOB NO:	1719800

ADD-01

SK1



KEYNOTE	DESCRIPTION
0208	(N) PAINTED ACCESS SYMBOL, SEE DTL 8/2.1
0210	(N) POST AND LATCH, REF 9/2.1
0215	(N) BLUE WHEEL STOP, REF 21/2.1
0216	(N) ACCESS AISLE W/ 4" WIDE BLUE BORDER STRIPING AND INTERIOR WHITE HATCHING AT 36" O.C.
1029	(N) VAN ACCESSIBLE PARKING SIGNAGE AND POST, REF DTL 2/10.2
1030	(N) ACCESSIBLE PARKING SIGNAGE AND POST, REF 1/10.2



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 3/A1.2



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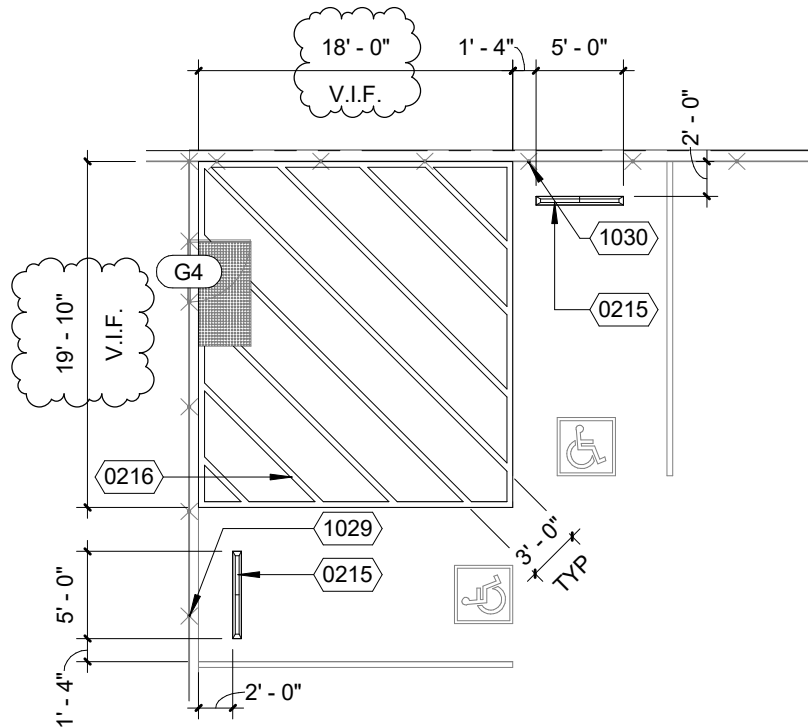
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

NEW ENLARGED PARKING LOT

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01

SK2



KEYNOTE	DESCRIPTION
0215	(N) BLUE WHEEL STOP, REF 21/2.1
0216	(N) ACCESS AISLE W/ 4" WIDE BLUE BORDER STRIPING AND INTERIOR WHITE HATCHING AT 36" O.C.
1029	(N) VAN ACCESSIBLE PARKING SIGNAGE AND POST, REF DTL 2/10.2
1030	(N) ACCESSIBLE PARKING SIGNAGE AND POST, REF 1/10.2



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 6/A2.3



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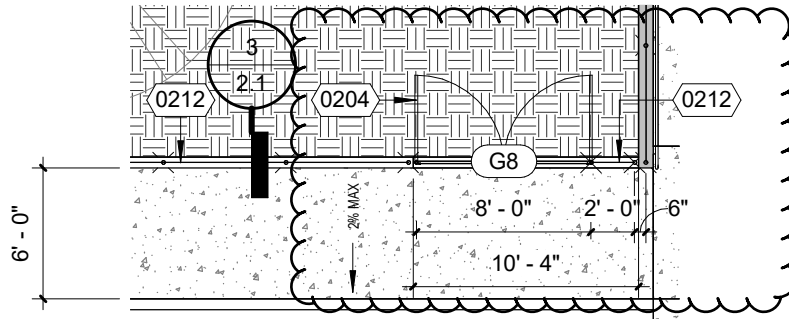
1451 N CALIFORNIA ST, SAN
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NEW PARKING LOT C

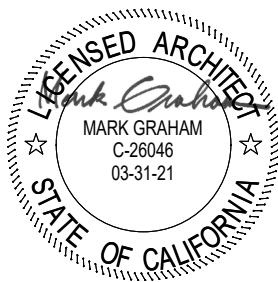
DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	1" = 10'-0"
JOB NO:	1719800

ADD-01

SK3



KEYNOTE	DESCRIPTION
0204	(N) CHAIN LINK GATE, REF GATE SCHEDULE ON SHEET 2.1
0212	(N) 6'- 0" CHAINLINK FENCE WITH PRIVACY SLATS, SEE DTL 18/10.1



ARCHITECT

APPL. 04-118156
REF. DRAWING NO: 1/A2.4



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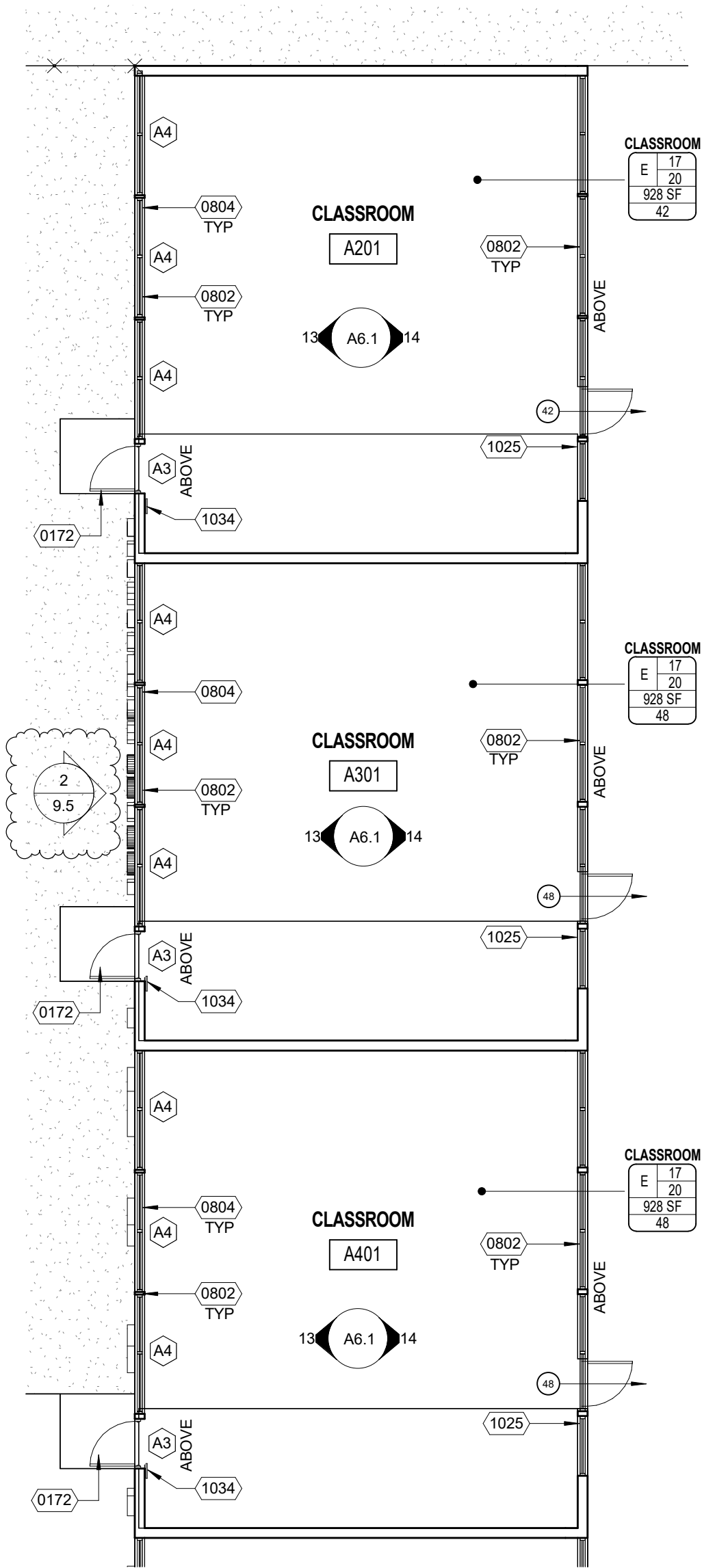
1451 N CALIFORNIA ST, SAN
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NEW FIRST FLOOR PLAN - BLDG A1

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01

SK4



ARCHITECT

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REF. DRAWING NO: 2/A2.4



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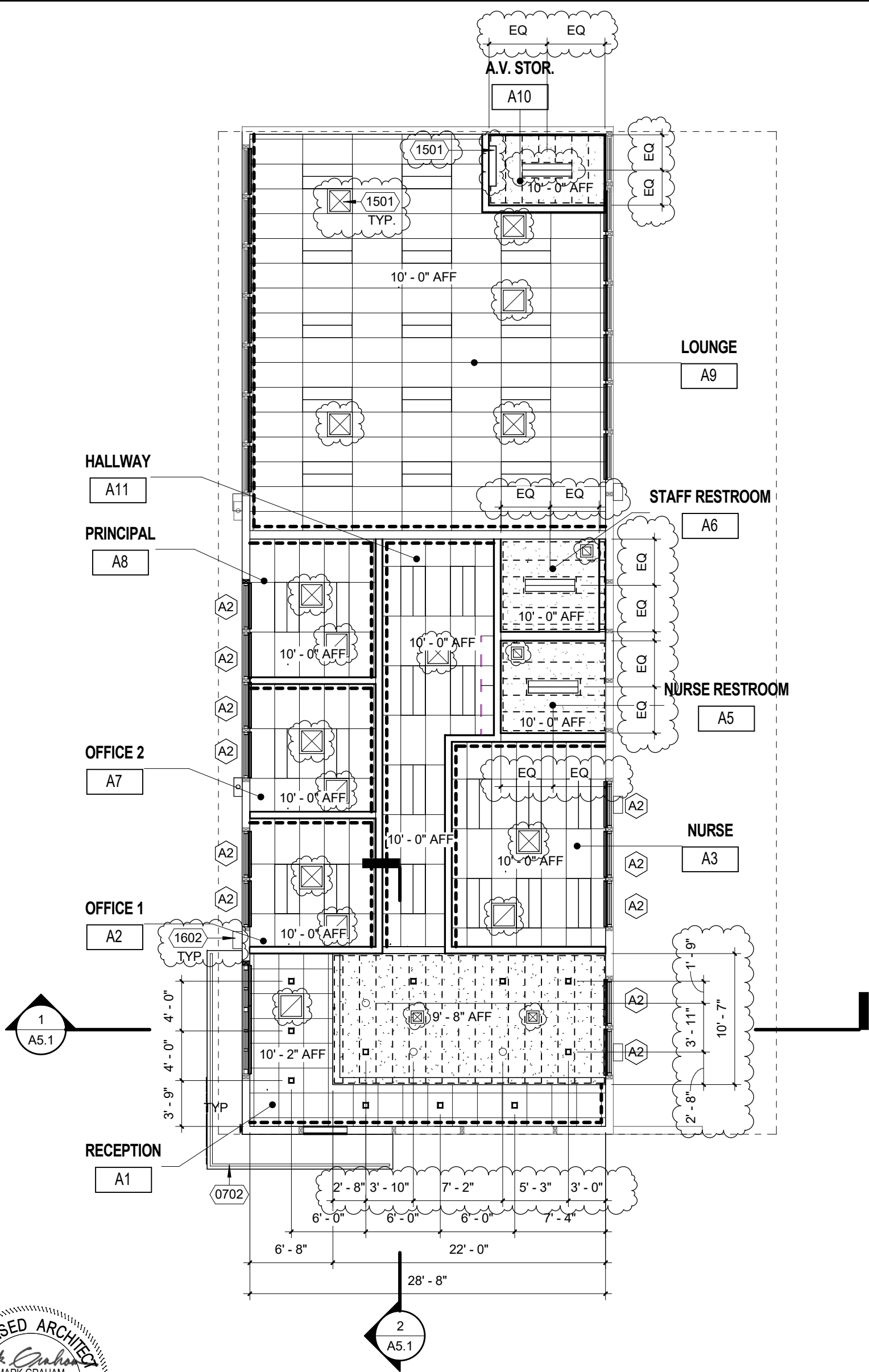
RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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NEW FLOOR PLAN - BLDG A2

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01
SK5



ARCHITECT

APPL. 04-118156
REF. DRAWING NO: 2/A3.1



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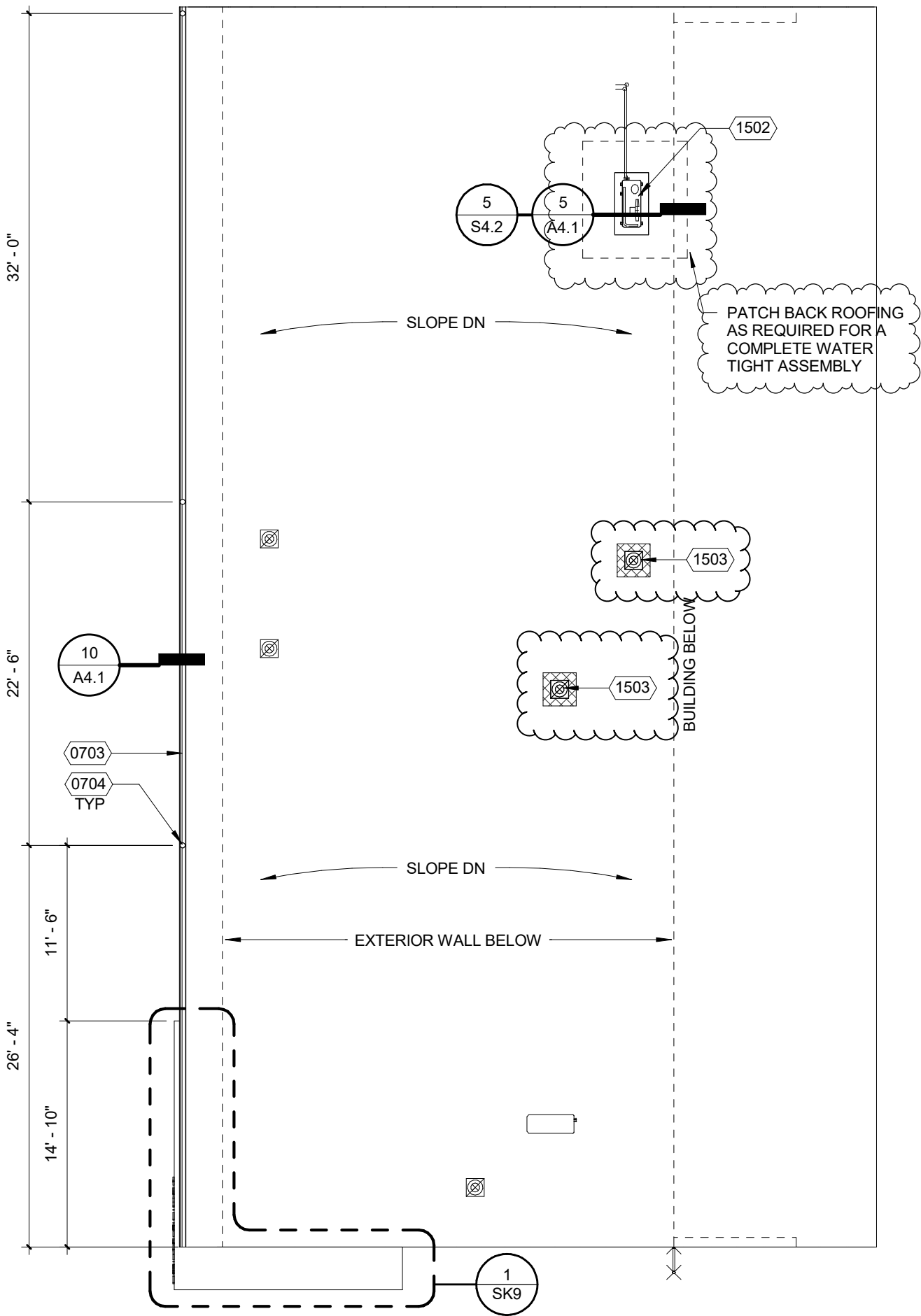
RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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NEW FIRST FLOOR RCP - BLDG A

DRWN:	CL
CHKD:	SJ
DATE:	10/27/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01
SK6



ARCHITECT

KEYNOTE	DESCRIPTION
0703	(N) GUTTER, PER DTL 10/A4.1
0704	(N) DOWNSPOUT
1502	(N) CONDENSING UNIT, REF MECH DWGS
1503	(N) ROOF CAPS, REF MECH DWGS

APPL. 04-118156
REF. DRAWING NO: 2/A4.1

ARCHITECTS

WLC

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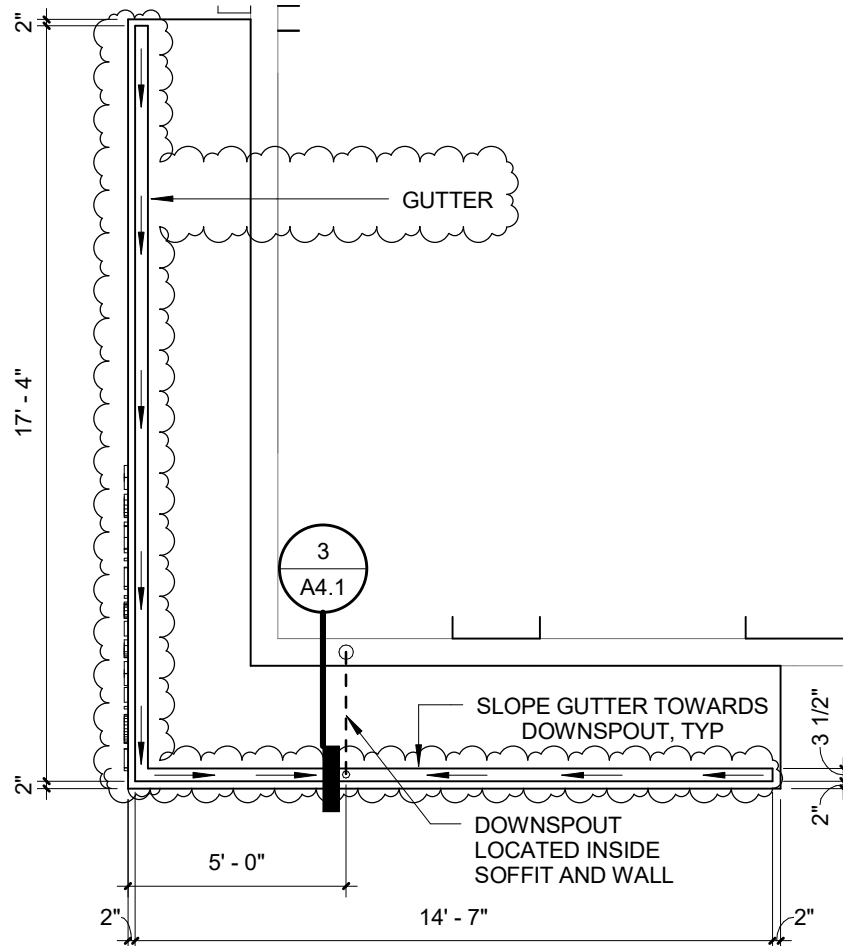
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT
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NEW ENLARGED ROOF PLAN - BLDG A

DRWN:	CL	ADD-01 SK7
CHKD:	SJ	
DATE:	10/27/19	
SCALE:	1/8" = 1'-0"	
JOB NO:	1719800	

1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

DRWN:	CJ
CHKD:	SJ
DATE:	10/28/19
SCALE:	3" = 1'-0"
JOB NO:	1719800



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 6/A4.1



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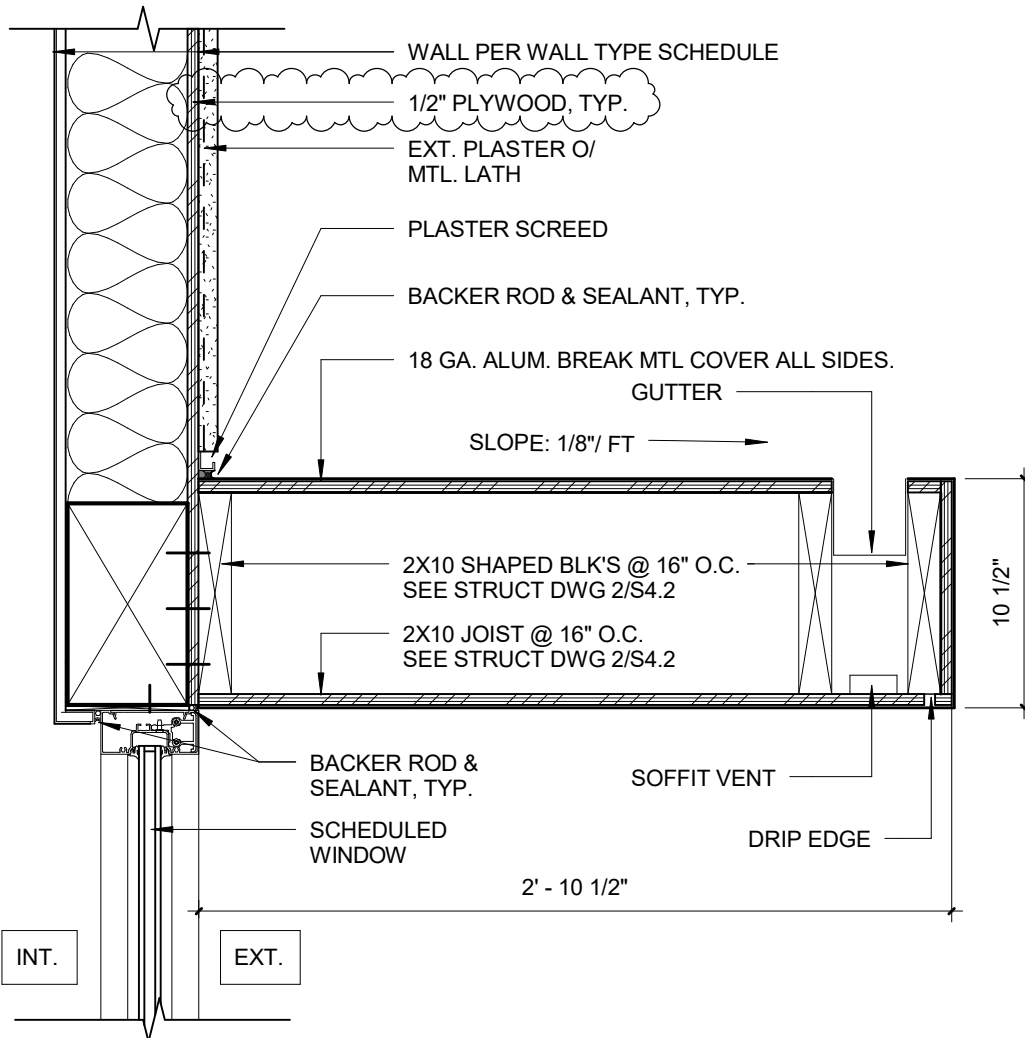
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

CANOPY ROOF DETAIL

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01

SK9



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 7/A4.1



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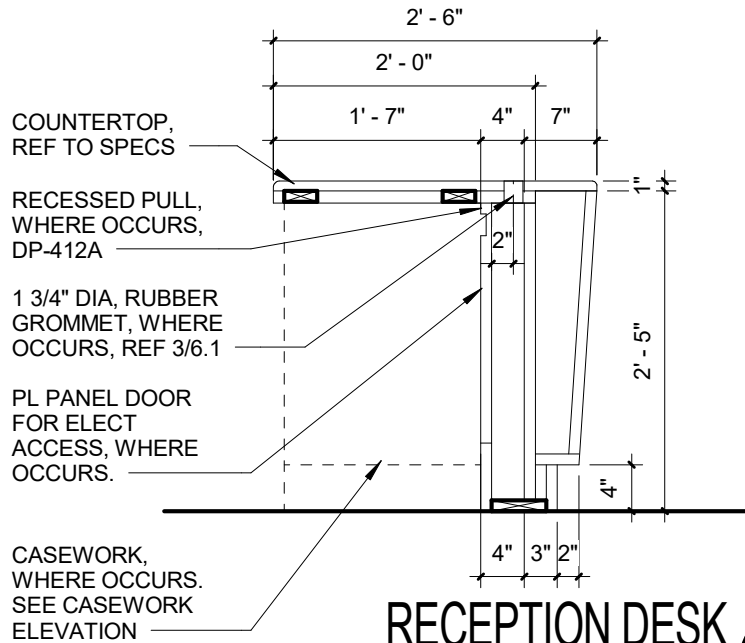
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

BREAK METAL CANOPY

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1 1/2" = 1'-0"
JOB NO:	1719800

ADD-01

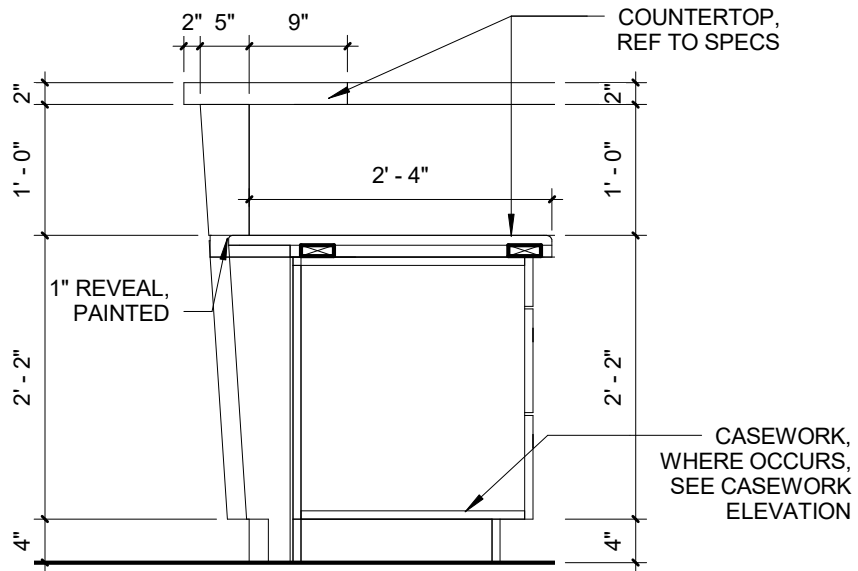
SK10



RECEPTION DESK

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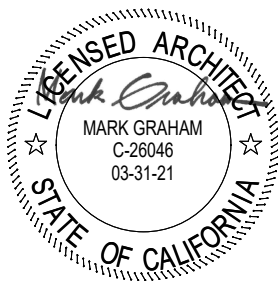
1



RECEPTION DESK

3/4" = 1'-0"

2



ARCHITECT

APRIL 04-118156

REF. DRAWING NO:



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RIO VISTA ELEMENTARY SCHOOL
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SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

CASEWORK DETAIL

DRWN:	Author
CHKD:	Checker
DATE:	11/18/19
SCALE:	3/4" = 1'-0"
JOB NO:	1719800

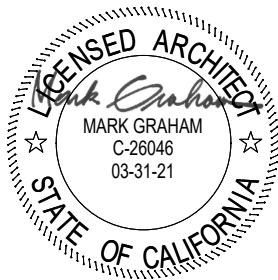
ADD-01

SK11

NOTES:

1. CONTRACTOR SHALL NEATLY REMOVE ALL DAMAGE TILES, (THESE ARE TILES WITHIN AREA OF SCOPE OF WORK, THAT ARE CHIPPED, CRACKED, HAVE HOLES, NICKS, DINGS, DENTS, BROKEN, OR SCRATCHED). PATCH ALL WALL & FLOOR TILES PRIOR TO INSTALLING FIXTURES AT NEW LOCATION, (WHERE POSSIBLE). GROUT TO MATCH EXISTING TILES. PROVIDE MATCH SUBSTRACT FOR TILE INSTALLATIONS.

1. WHEN RELOCATING GRAB BARS, LAVS, URINALS, CONTRACTOR SHALL PROVIDE NEW BLOACKING AT NEW LOACTIONS PER 11/10.2, TYP.



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: A6.2



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RIO VISTA ELEMENTARY SCHOOL
MODERNIZATION

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SCHOOL DISTRICT

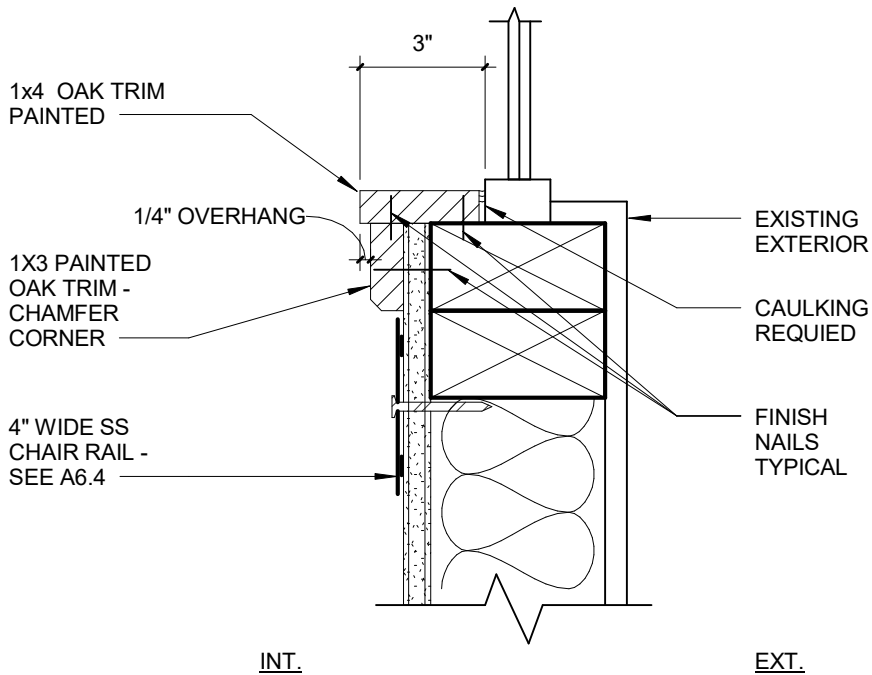
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

INTERIOR ELEVS AND ENLARGED PLANS

DRWN:	Author
CHKD:	Checker
DATE:	10/28/19
SCALE:	
JOB NO:	1719800

ADD-01

SK12



ARCHITECT

APPL. 04-118156

REF. DRAWING NO:



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RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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SCHOOL DISTRICT

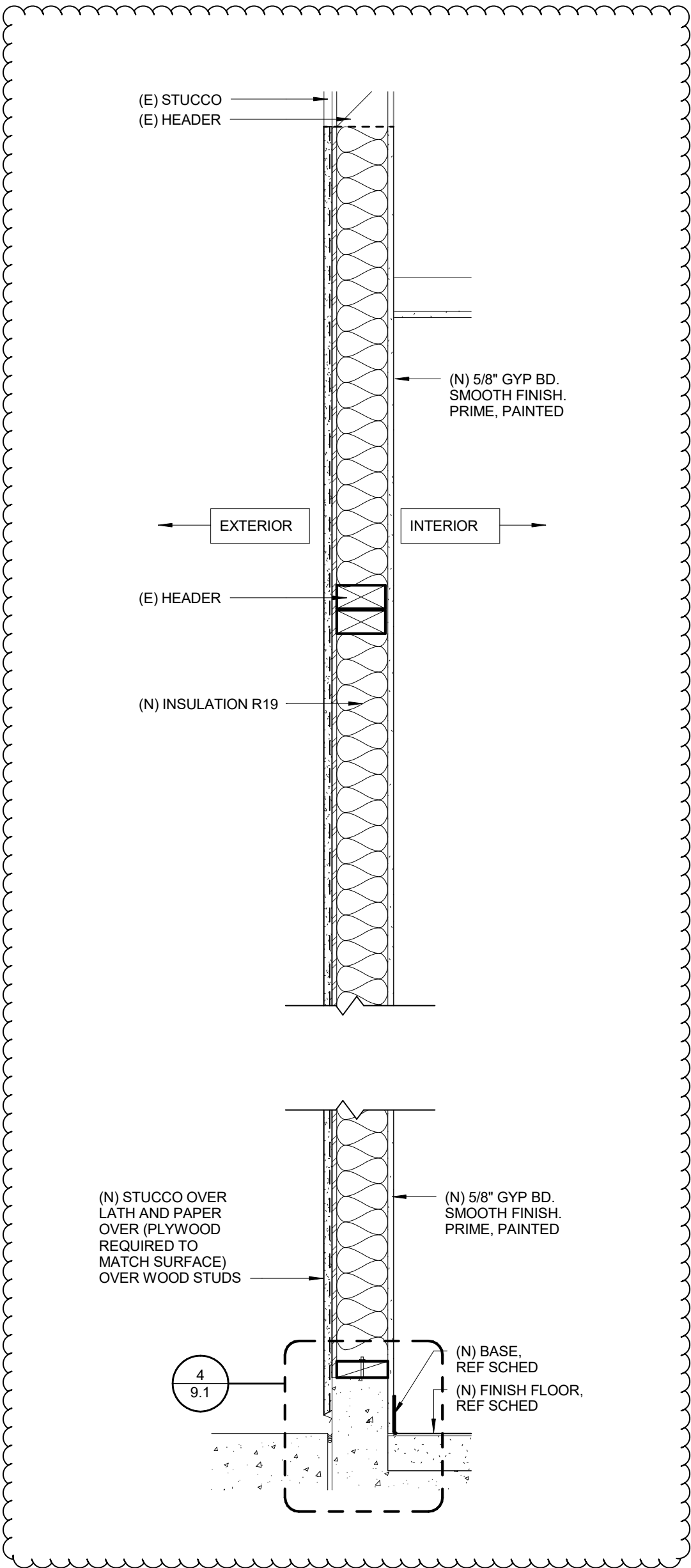
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

WALL SECTION

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	3" = 1'-0"
JOB NO:	1719800

ADD-01

SK13



ARCHITECT

APPL. 04-118156
REF. DRAWING NO: 4/7.1

ARCHITECTS

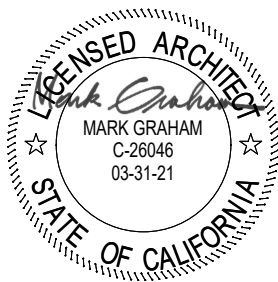
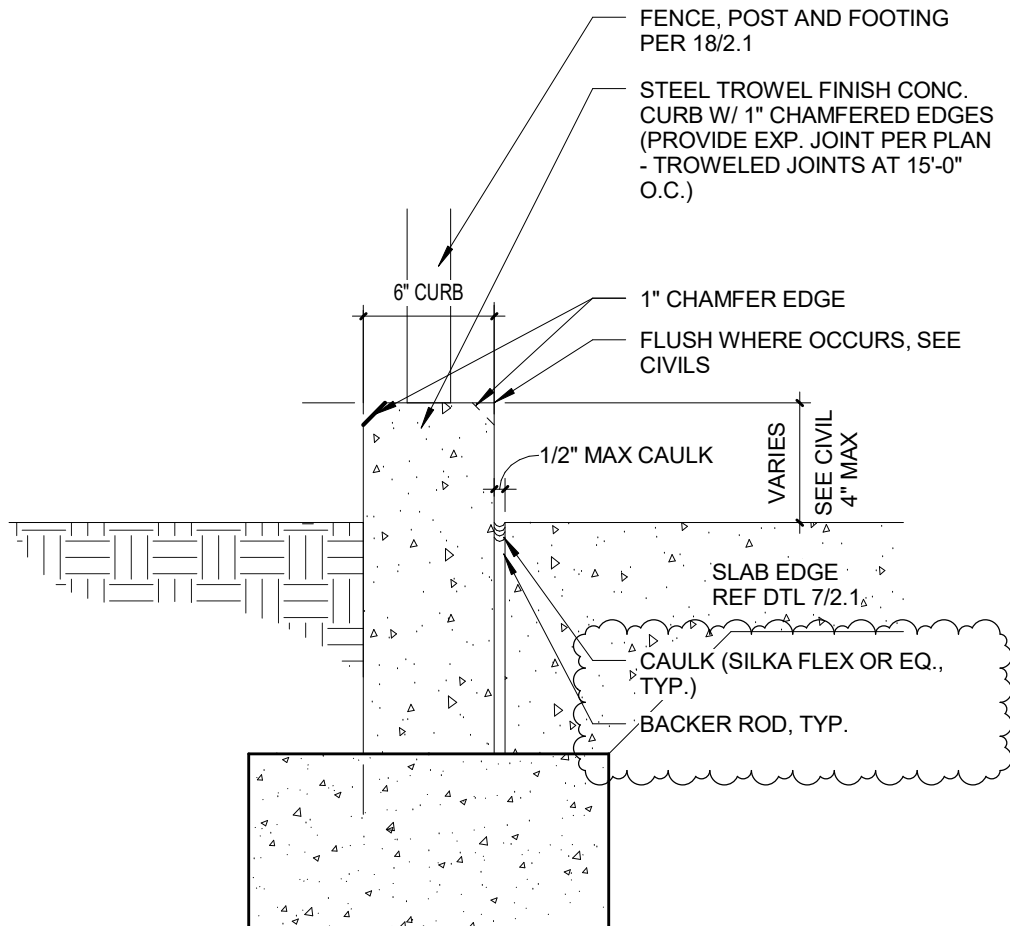
WLC

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RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

WALL INFILL		ADD-01 SK14
DRWN:	Author	
CHKD:	Checker	
DATE:	11/14/19	
SCALE:	1" = 1'-0"	
JOB NO:	1719800	



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 3/2.1



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RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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SCHOOL DISTRICT

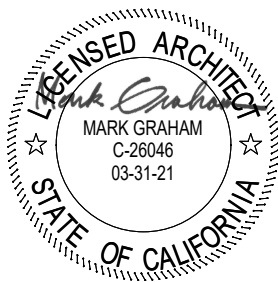
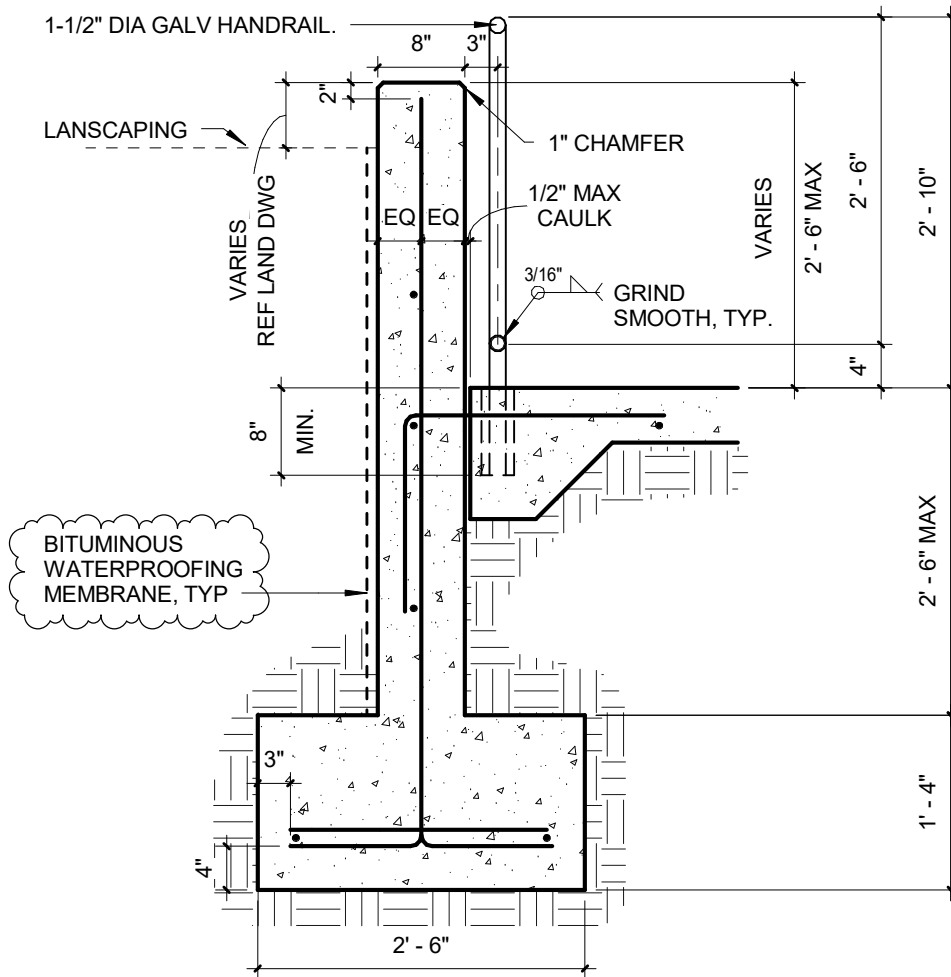
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

VARIED HEIGHT CURB

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	1 1/2" = 1'-0"
JOB NO:	1719800

ADD-01

SK15



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 6/2.1



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SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED
SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

CONC WALL @ RAMP

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	3/4" = 1'-0"
JOB NO:	1719800

ADD-01

SK16

SCHEDULE GATE							
DOOR MARK	DOOR		TYPE	DOOR		HDWE GROUP	REMARKS
	NOMINAL SIZE						
	WIDTH PER LEAF	HT		FINISH	DETAILS		

G1	4' - 0"	7' - 2"	CL		19/2.1	HW-SG	3
G2	8' - 0"	6' - 4"	CL		19/2.1		2,3
G3	4' - 0"	6' - 4"	CL		19/2.1	HW-SG	1
G4	3' - 6"	6' - 4"	CL		19/2.1	HW-SG	1
G5	4' - 0"	6' - 4"	CL		19/2.1	HW-SG	1
G6	3' - 0"	6' - 4"	CL		19/2.1	HW-SG	3
G7	4' - 0"	6' - 4"	CL		19/2.1	HW-SG	1
G8	3' - 0"	6' - 4"	CL		19/2.1		3, 4, 5, 6

NOTE:


1. EXISTING GATE AS REQUIRED TO COMPLY WITH 5LBS. MAX OPERATING PRESSURE, AND SWING SPEED OF 90 DEGREES OPENED POSITION TO 12 DEGREES OF 5 SEC. MIN.
2. NO PANIC HARDWARE OR KICKPLATE ON VEHICLE GATE
3. SEE SHEET A2.1 FOR GATE LOCATION
4. PER LEAF
5. PRIVACY SLATS TO BE PROVIDED PER SPEC
6. BUTTERFLY LATCH TO BE PROVIDE PER 23/2.1

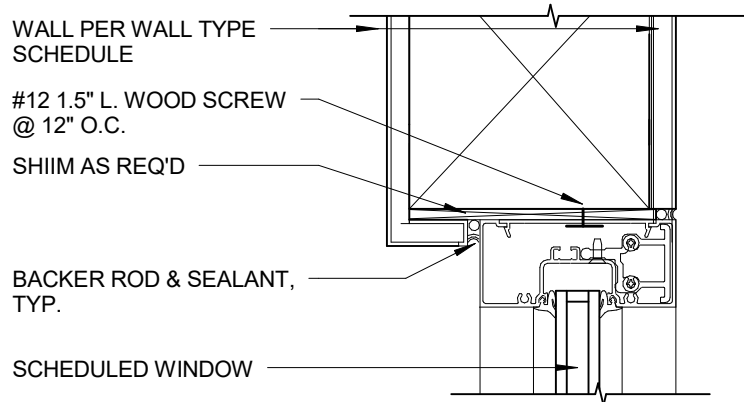


ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 22/2.1

<div></div> <div>8163 ROCHESTER AVE. SUITE 100 RANCHO CUCAMONGA CALIFORNIA 91730</div>	<div>RIO VISTA ELEMENTARY SCHOOL MODERNIZATION</div> <div>SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT</div> <div>1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411</div>	GATE SCHEDULE		<div>ADD-01</div> <div>SK17</div>
		DRWN:	Author	
		CHKD:	Checker	
		DATE:	11/15/19	
		SCALE:	3" = 1'-0"	
		JOB NO:	1719800	



NOTES:
COPY NOTES FROM
APPROVE



ARCHITECT

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REF. DRAWING NO: 5/8.1



8163 ROCHESTER AVE.
SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED
SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

STOREFRONT HEAD/JAMB/SILL

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	3" = 1'-0"
JOB NO:	1719800

ADD-01

SK18

SCHEDULE DOOR																
WT	DOOR						FRAME			DETAILS				HDWE GROUP	FIRE RATING	REMARKS
	NOMINAL SIZE			MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH	JAMB	HEAD	SILL	OTHER			
	WIDTH PER LEAF	HT	THK													
A1A	3' - 0"	7' - 0"	1 3/4"	AL	A	PC	AL	3	PC	6/-	5/-	15/-		1		1,2
A1B	3' - 0"	7' - 0"	1 3/4"	HM	C	P	HM	1	P	9/-	9/-	15/-		2		1
A1C	3' - 0"	3' - 0"	2"	SC	E	PL	HM	2	P		-	-		-		
A2A	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	HM	1	P	13/-	13/-	3/-		4		
A3A	3' - 0"	7' - 0"	1 3/4"	HM	C	P	HM	1	P	9/-	9/-	15/-		2		1
A3B	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	HM	1	P	13/-	13/-	3/-		4		
A5A	3' - 0"	7' - 0"	1 3/4"	SC	B	PL	HM	1	P	13/-	13/-	3/-		5		
A6A	3' - 0"	7' - 0"	1 3/4"	SC	B	PL	HM	1	P	13/-	13/-	3/-		5		
A7A	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	HM	1	P	13/-	13/-	3/-		4		
A8A	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	HM	1	P	13/-	13/-	3/-		4		
A10A	3' - 0"	7' - 0"	1 3/4"	SC	B	PL	HM	1	P	13/-	13/-	3/-		6		
A11B	3' - 0"	7' - 0"	1 3/4"	SC	C	PL	HM	1	P	13/-	13/-	3/-		8		

AL = ALUMINUM
ANO = ANODIZED
FF = FACTORY PREFINISHED
HM = HOLLOW METAL (STEEL)
LG = LAMINATED GLASS
P = PAINT
PC = POWDER COATING

PL = PLASTIC LAMINATE
SC = SOLID CORE WOOD
SIG = SEALED INSULATED GLASS
SS = STAINLESS STEEL
ST = STAIN
STL = GALVANIZED STEEL
WD = WOOD

REMARKS

1.
- (N) PANIC HARDWARE, REF SPECS
2.
- REF SK25 FOR COLORED GLASS LOCATION, REF SPECS



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REF. DRAWING NO:

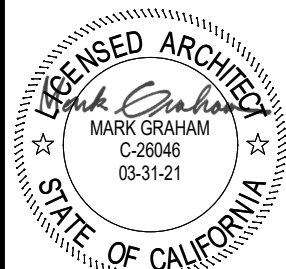
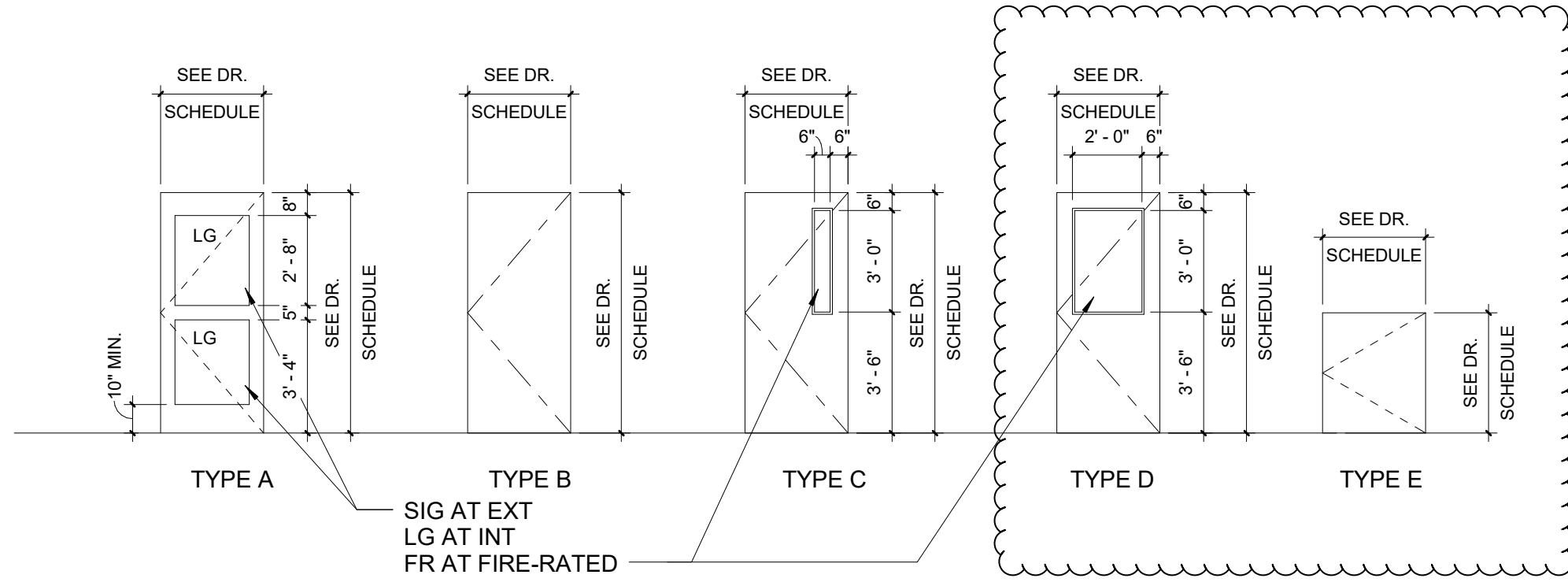


SOUTHERN CALIFORNIA
8163 ROCHESTER AVE.
SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT
1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

DOOR SCHEDULE		
DRWN:	Author	ADD-01 SK19
CHKD:	Checker	
DATE:	11/17/19	
SCALE:	1/4" = 1'-0"	
JOB NO:	1719800	



ARCHITECT

APPL. 04-118156
REF. DRAWING NO:



**SOUTHERN
CALIFORNIA**

8163 ROCHESTER AVE.
SUITE 100

RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

DOOR TYPE LEGEND

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01

SK20

WINDOW SCHEDULE											
SYMBOL MARK	SIZE		MATERIAL	GLASS	DETAILS				FIRE RATING		REMARKS
	WIDTH	HEIGHT			JAMB	HEAD	SILL	SPECIAL DETAIL	LBL	HR	
A1	7' - 0"	3' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 1/ A2.4
A2	3' - 8"	2' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 2/ A3.1
A3	3' - 8"	4' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 2/ A2.4
A4	8' - 0"	6' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 2/ A2.4



APPL. 04-118156
REF. DRAWING NO: 8.1



**SOUTHERN
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8163 ROCHESTER AVE.
SUITE 100
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RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT
1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

WINDOW SCHEDULE		
DRWN:	Author	ADD-01 SK21
CHKD:	Checker	
DATE:	11/14/19	
SCALE:		
JOB NO:	1719800	

ABBREVIATIONS

ACT = ACOUSTIC CEILING TILE
C = SEALED CONCRETE
CB = COVED BASE
CPT = CARPET
EC = EPOXY CHIP
FRP = FIBER REINFORCED PANEL OVER
MOISTURE RESISTANT GYPSUM BOARD
GBP = GYPSUM BOARD PAINTED
PT = PAINTED
RB = RUBBER BASE
SV = SHEET VINYL
TB = TACKBOARD
VCT = VINYL COMPOSITION TILE FLOORING
MRG = MOISTURE RESISTANT GYPSUM
BOARD
(E) = EXISTING

REMARKS :

- 1. REF 3 & 4/A6.4 FOR WALL TILE FINISH
PATTERN, REF SPECS
- 2. REF 6/A6.1 FOR WALL GRAPHIC FINISH,
REF SPECS
- 3. PT (PAINT) COLOR TO BE SELECTED BY
ARCHITECT, REF ROOM FINISH SCHEDULE

ROOM FINISH										
ROOM		FLOOR MTL	BASE MTL	WALL MATERIAL				CEILING		REMARKS
NUMBER	NAME			N	E	S	W	MTL	HT	
A1	RECEPTION	LVT	RB	PT	PT	PT	PT	ACT/GYP	9' - 8"	2,3
A2	OFFICE 1	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A3	NURSE	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A5	NURSE RESTROOM	EC	EC	PT/TL	PT/TL	PT/TL	PT/TL	GBP	10' - 0"	1,3
A6	STAFF RESTROOM	EC	EC	PT/TL	PT/TL	PT/TL	PT/TL	GBP	10' - 0"	1,3
A7	OFFICE 2	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A8	PRINCIPAL	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A9	LOUNGE	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A10	A.V. STOR.	LVT	RB	PT	PT	PT	PT	GBP	10' - 0"	3
A11	HALLWAY	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
MU101	M.U. ROOM	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3



ARCHITECT

APPL. 04-118156
REF. DRAWING NO: 9/9.1



SOUTHERN
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CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

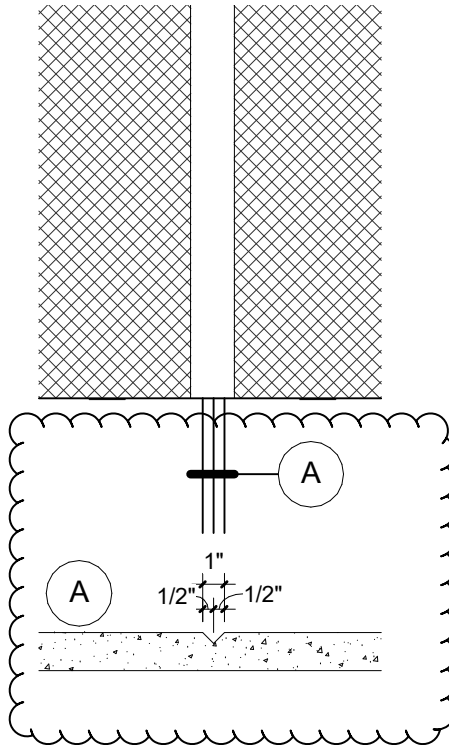
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT
1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

ROOM FINISH SCHEDULE

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01

SK22



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 4/10.2



8163 ROCHESTER AVE.
SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED
SCHOOL DISTRICT

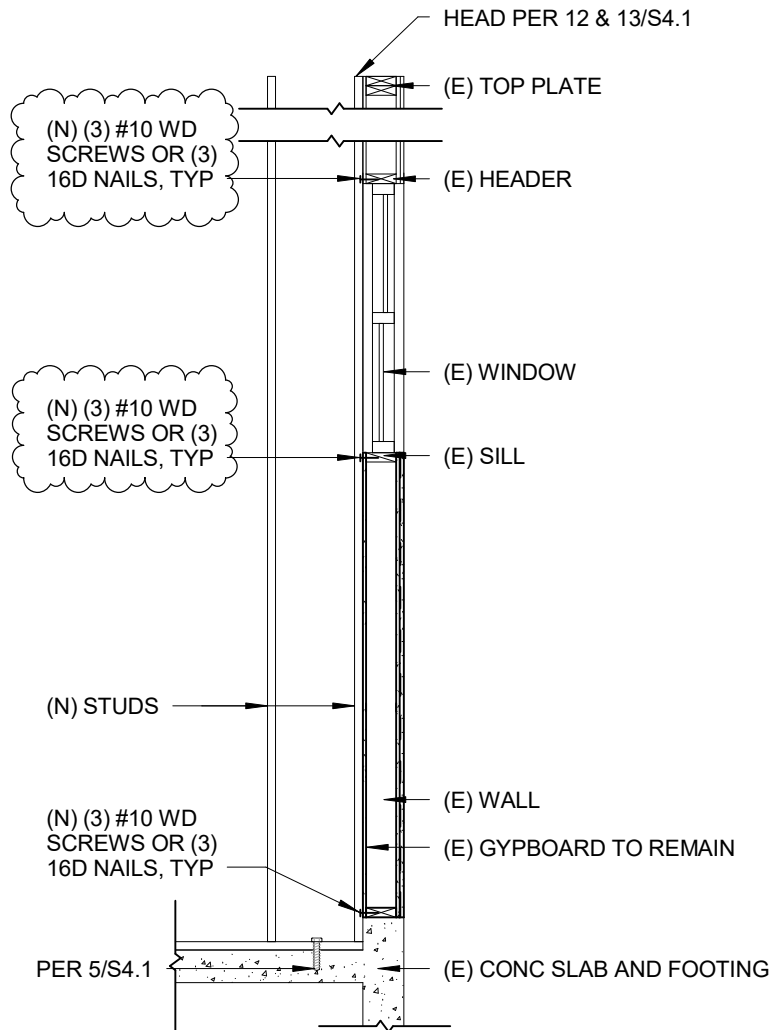
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

CAST IN PLACE CHAMFER

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1 1/2" = 1'-0"
JOB NO:	1719800

ADD-01

SK23



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 5/10.2



8163 ROCHESTER AVE.
SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED
SCHOOL DISTRICT

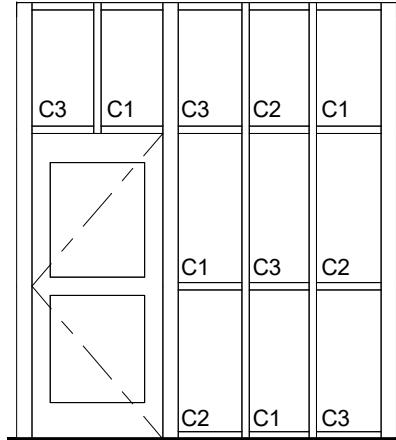
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

WALL DETAIL

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	3/8" = 1'-0"
JOB NO:	1719800

ADD-01

SK24

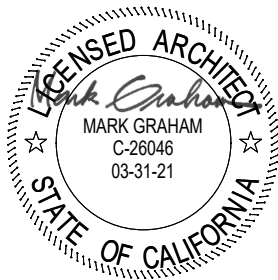


NOTES:

COLOR TO BE SELECTED BY ARCHITECT
ORDER MAY CHANGE

ABBREVIATIONS:

C1- COLOR #1 VANCEVA
C2- COLOR #2 VANCEVA
C3- COLOR #3 VANCEVA



ARCHITECT

APPL. 04-118156

REF. DRAWING NO: 9/10.2



8163 ROCHESTER AVE.
SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

**RIO VISTA ELEMENTARY SCHOOL
MODERNIZATION**

SAN BERNARDINO CITY UNIFIED
SCHOOL DISTRICT

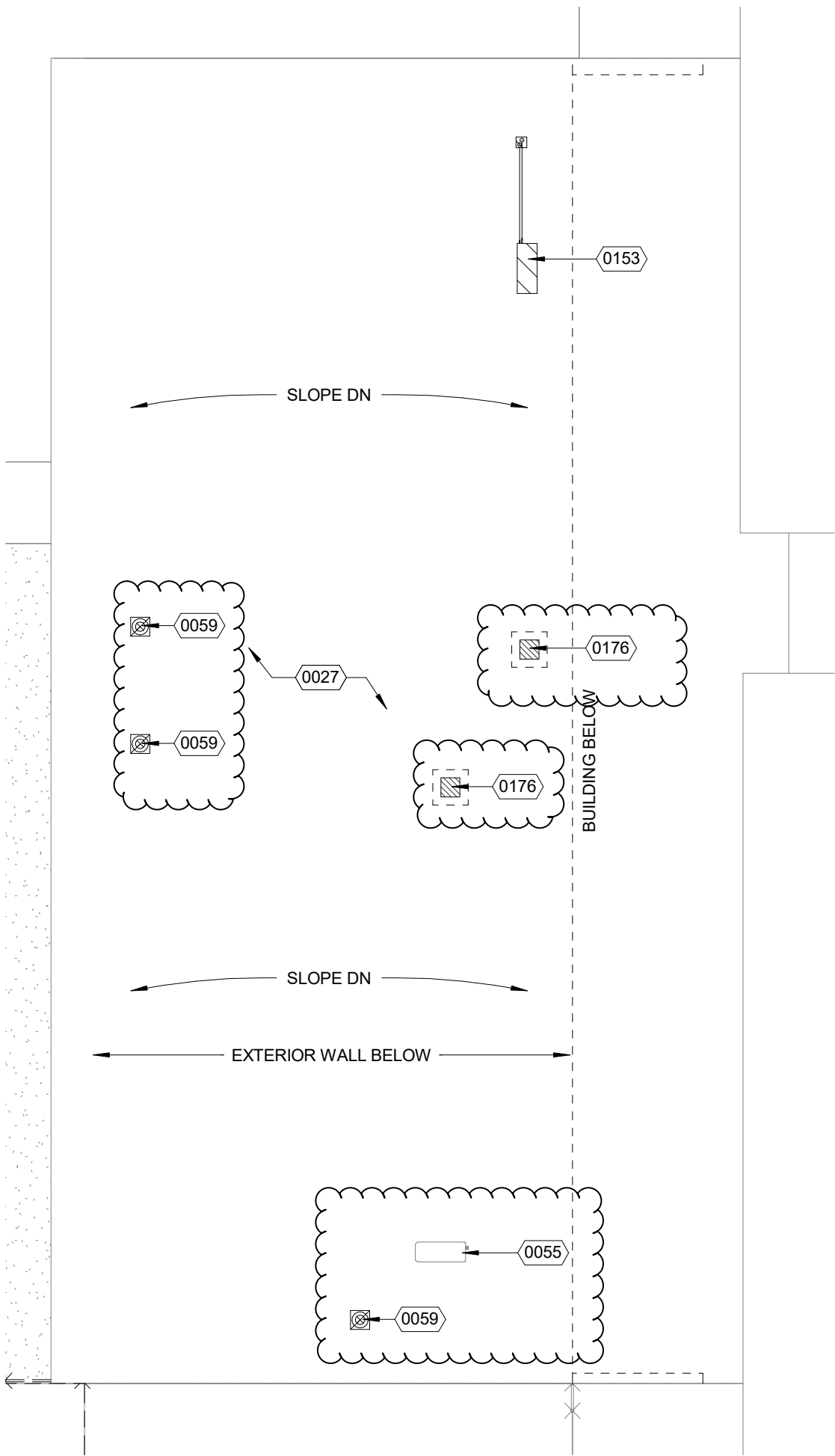
1451 N CALIFORNIA ST, SAN
BERNARDINO, CA 92411

STOREFRONT ELEVATION

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01

SK25



NOTE:
CLASS B ROOFING



ARCHITECT

KEYNOTE	DESCRIPTION
0027	(E) ROOF TO REMAIN, PROTECT IN PLACE
0055	(E) MECHANICAL UNIT
0059	ABONDON (E) VENT CAP, REF MECH DWGS
0153	DEMO (E) ROOF AND PREPARE FOR NEW ROOF UNIT, REF TO MECH DWGS
0176	DEMOLISH (E) ROOF FOR NEW OPENING

APPL. 04-118156
REF. DRAWING NO: 1/A4.1

ARCHITECTS

WLC

8163 ROCHESTER AVE.
SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730

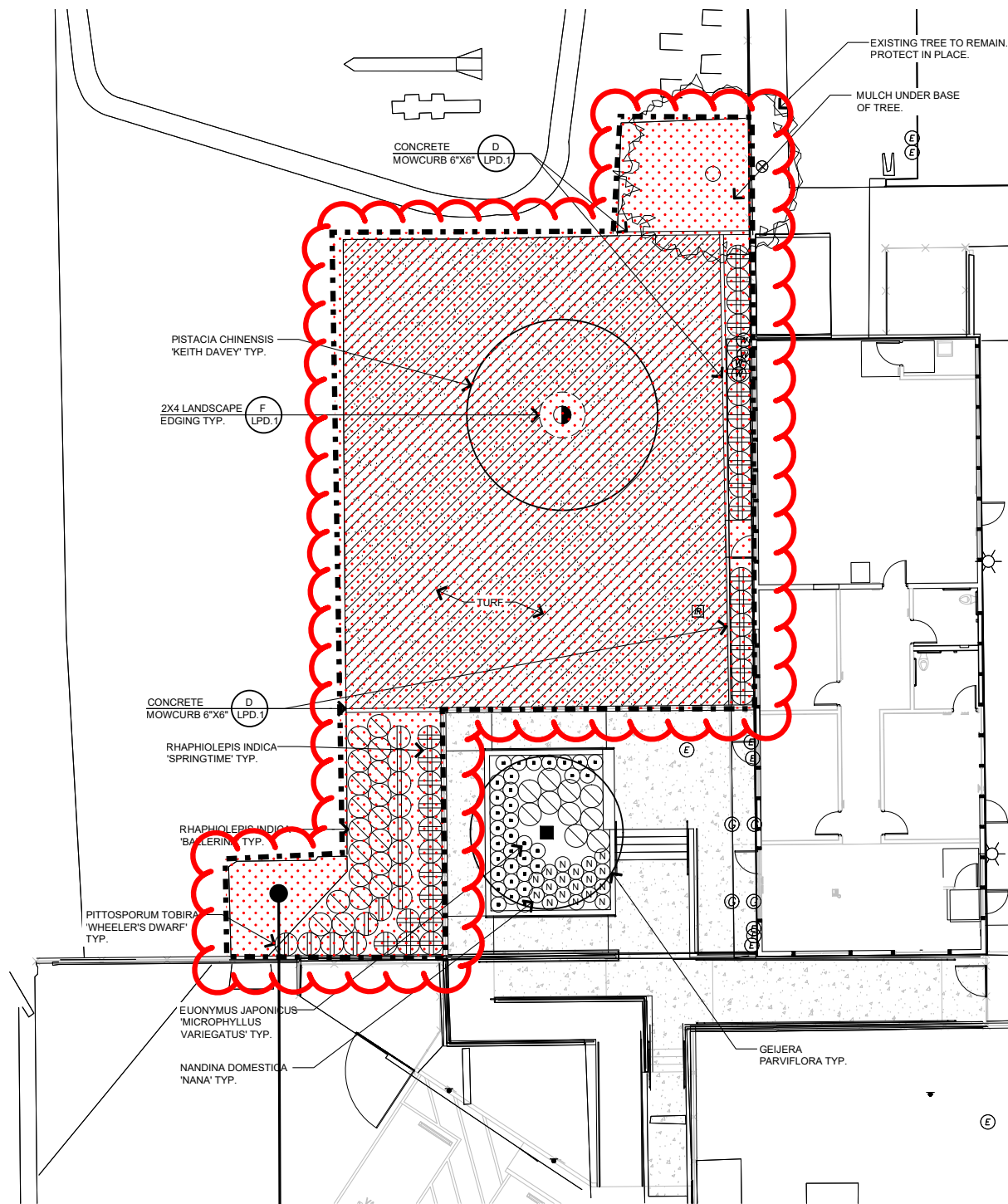
RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT
1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

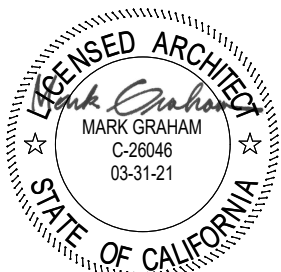
DEMO ENLARGED ROOF PLAN - BLDG A

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01
SK26




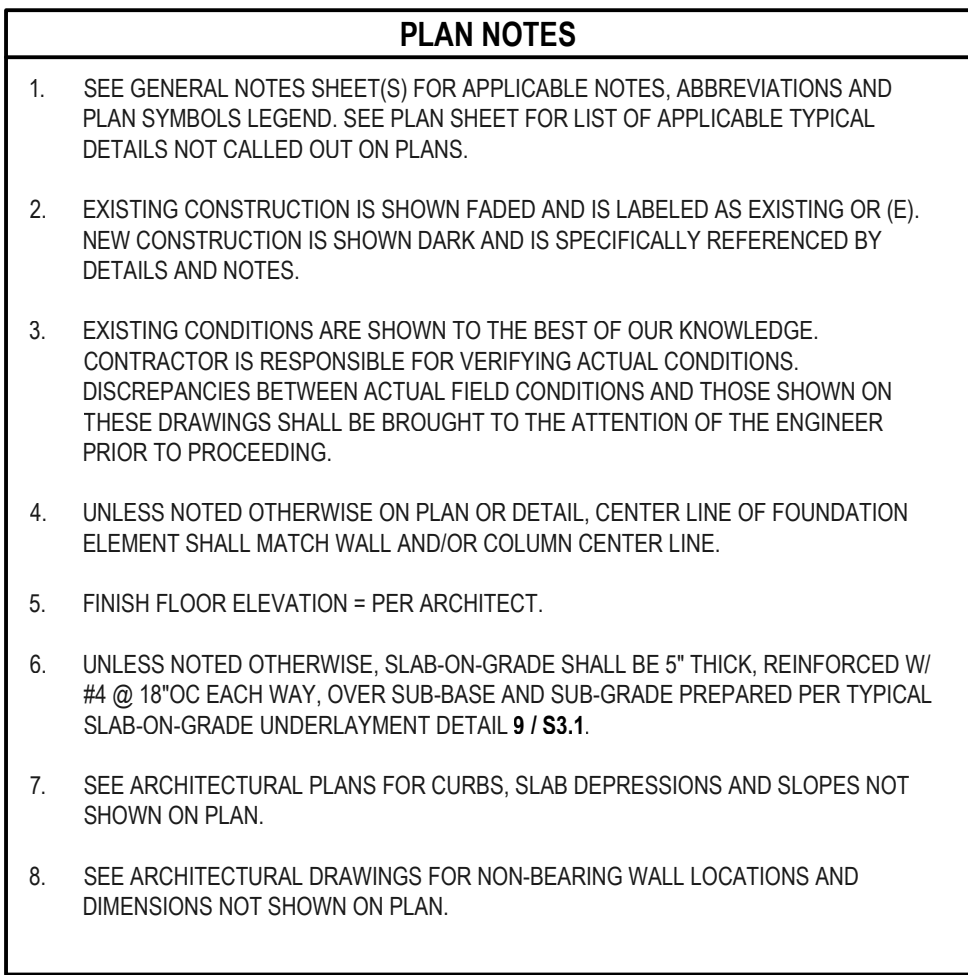
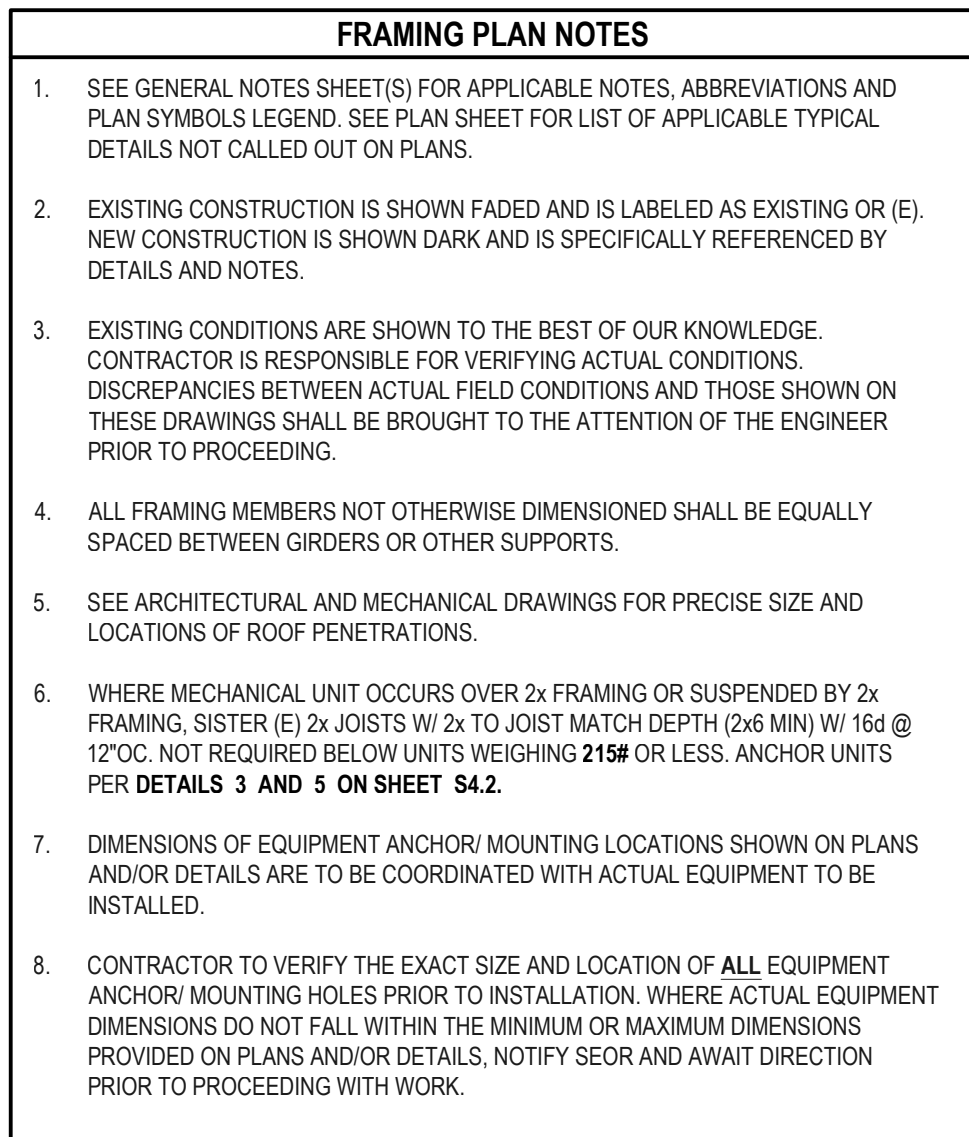
THE ABOVE HATCH INDICATES THE
EXTENT OF ADD ALTERNATE NUMBER 2.
SEE DESCRIPTION IN ADDENDUM 1 TEXT
FOR SCOPE OF WORK.



ARCHITECT

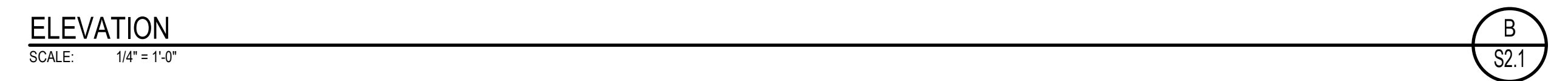
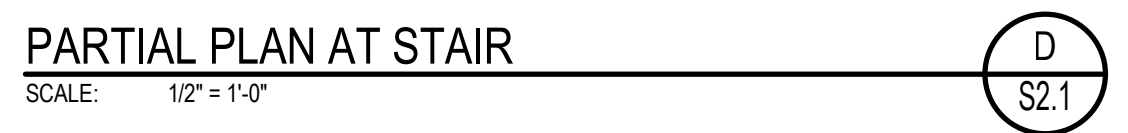


APPL. 04-118156
REF. DRAWING NO:

 8163 ROCHESTER AVE. SUITE 100 RANCHO CUCAMONGA CALIFORNIA 91730	RIO VISTA ELEMENTARY SCHOOL MODERNIZATION SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT 1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411	ADD ALTERNATE - LANDSCAPE	
		DRWN: Author CHKD: Checker DATE: 11/18/19 SCALE: 1/16" = 1'-0" JOB NO: 1719800	ADD-01 SK27



LIST OF APPLICABLE TYPICAL CONCRETE DETAILS			
DESCRIPTION		DETAIL	SHEET
TYPICAL OVER-EXCAVATION AND COMPACTED FILL REQUIREMENTS	1	S.31	
TYPICAL EXCAVATION ADJACENT TO FOOTING	2	S.31	
TYPICAL FOOTING POURED AGAINST EARTH	3	S.31	
TYPICAL REINFORCING HOOKS	4	S.31	
TYPICAL REINFORCING BAR DEVELOPMENT AND LAP SPACE SCHED	5	S.31	
WALL AND FOOTING REINFORCING AT CORNER AND INTERSECTION	6	S.31	
TYPICAL STEPPED FOOTING	7	S.31	
TYPICAL PIPE / CONDUIT SLEEVES ACROSS FOOTINGS	8	S.31	
TYPICAL SLAB ON-GRADE UNDERLAYMENT	9	S.31	
TYPICAL SLAB-ON-GRADE CONTROL AND CONSTRUCTION JOINTS	10	S.31	
TYPICAL SLAB EDGE	11	S.31	
TYPICAL DEPRESSION IN SLAB-ON-GRADE	12	S.31	
TYPICAL CONCRETE CURBS	13	S.31	
TYPICAL CONCRETE CURB TO EXISTING CONCRETE SLAB	14	S.31	
TYPICAL NEW SLAB TO EXISTING SLAB OR WALL	15	S.31	
TYPICAL NEW SLAB STRIP TO EXISTING SLAB OR WALL	16	S.31	

LIST OF APPLICABLE TYPICAL WOOD FRAMING DETAILS		
DESCRIPTION	DETAIL	SHEET
TYPICAL SHEAR WALL ELEVATION, SCHEDULE AND NOTES	A	S4.1
TYPICAL SHEAR TRANSFER OPTIONS	1	S4.1
TYPICAL DOUBLE TOP PLATE SPICE SCHEDULE	2	S4.1
TYPICAL DOUBLE TOP PLATE SPICE AT STEEL COLUMN	3	S4.1
WOOD BEAM TO WOOD POST	4	S4.1
WOOD STUD WALL TO CONCRETE	5	S4.1
TYPICAL HOLES AND NOTCHES IN WOOD DETAIL	6	S4.1



ARCHITECTS

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CALIFORNIA 91730-0729

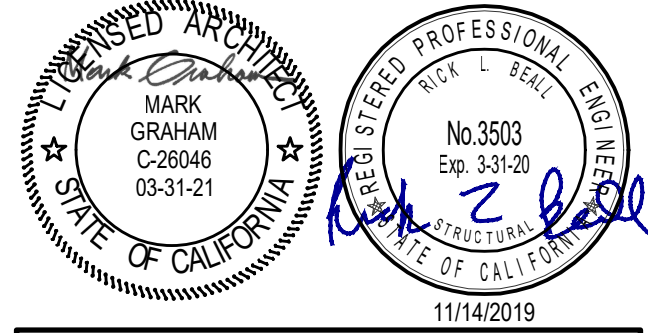
TEL: 909-987-0909

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**RIO VISTA ELEMENTARY SCHOOL
MODERNIZATION**

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411



CONSULTANT

MHP

3900 Cover Street
Long Beach, CA 90808
562.985.3200 P
562.985.1011 F

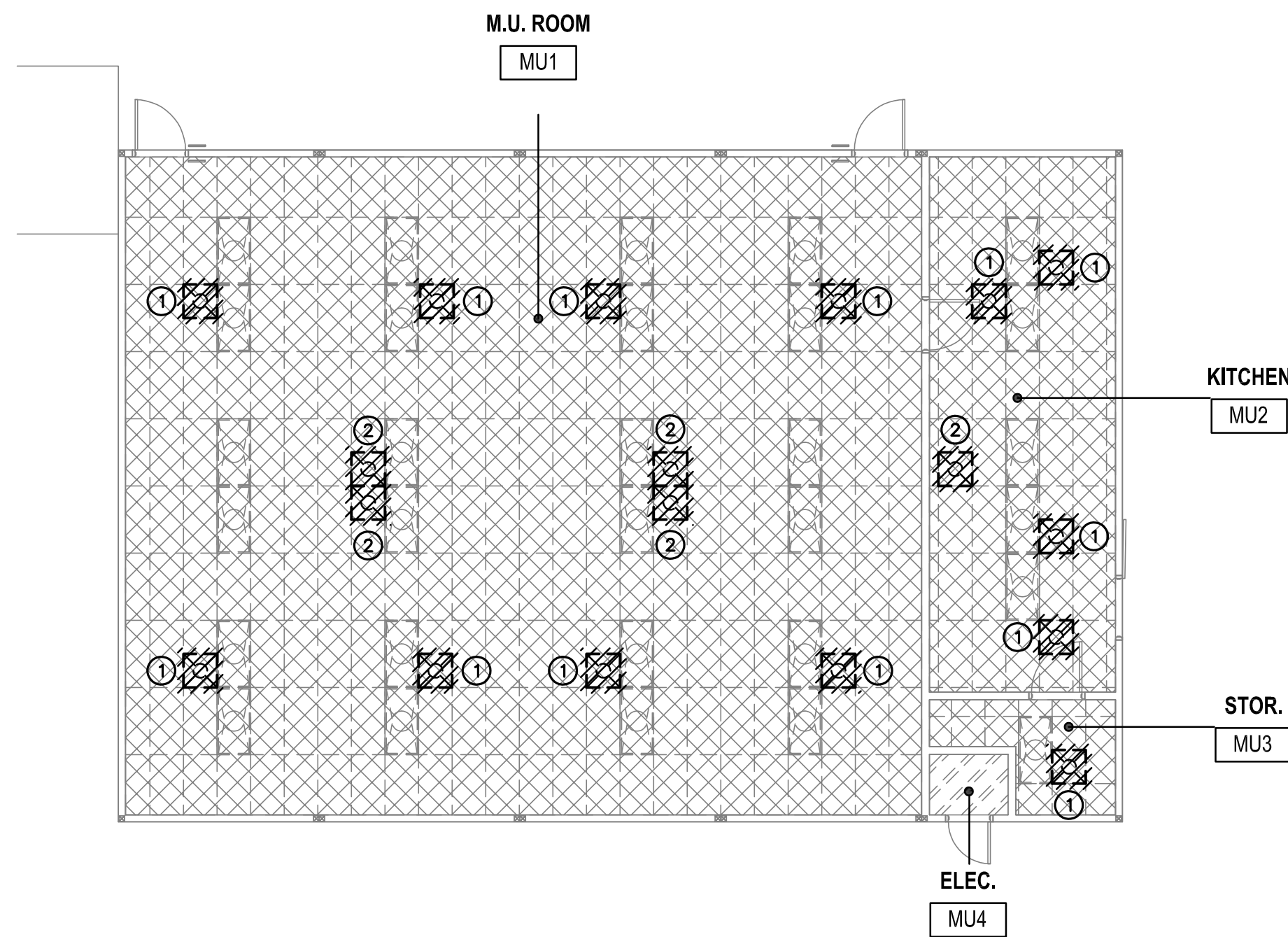
STRUCTURAL ENGINEERS MHP JN 18-0622-00

1	11/14/19	MHP	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
	REVISIONS		

DRAWN: SMA	CHECKED: MW / AY
DATE: 08/19/2019	SCALE: AS NOTED
PROJECT NUMBER: 1719800	

BUILDING A1 - PLANS AND ELEVATION

DRAWING NUMBER: **S2.1**

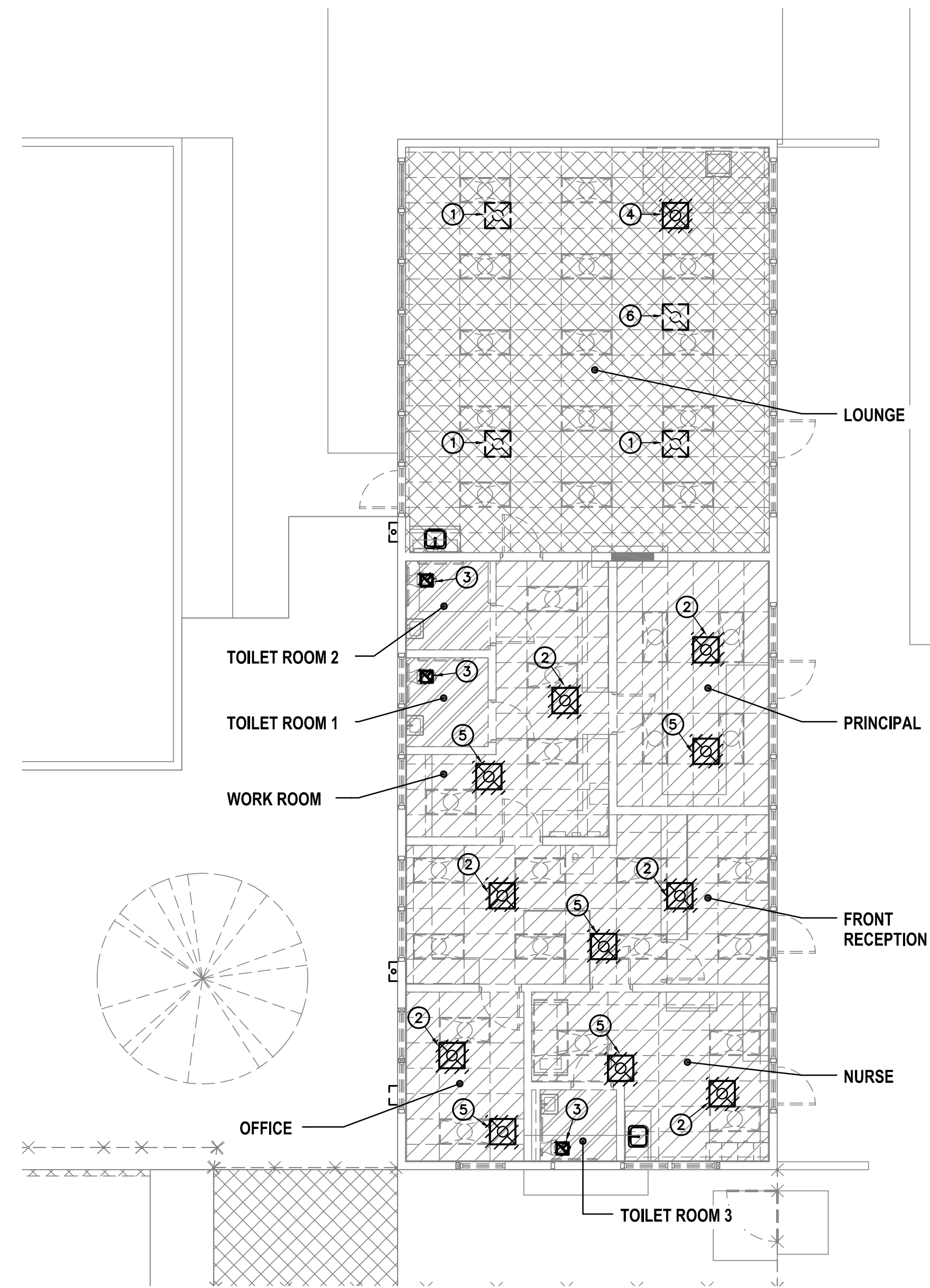


- DEMOLITION NOTES:**
- DISTRICT SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL ITEMS TO BE REMOVED. CONTRACTOR SHALL VERIFY ALL SUCH ITEMS WITH DISTRICT PRIOR TO REMOVAL. ALL ITEMS NOT REFUSED BY DISTRICT SHALL BE REMOVED INTACT AND FULLY FUNCTIONAL BY CONTRACTOR AND RETURNED TO DISTRICT. ALL ITEMS REFUSED BY DISTRICT SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR.
 - ELECTRICAL CONTRACTOR SHALL DISCONNECT POWER FROM MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED, RE-USED AND/OR REPLACED AS REQUIRED.
 - PLUMBING CONTRACTOR SHALL DISCONNECT EXISTING GAS PIPES FROM MECHANICAL EQUIPMENT TO BE REMOVED AND/OR REPLACED - AS REQUIRED.
 - CONTRACTOR SHALL RE-USE EXISTING OPENINGS IN WALLS AND ROOF WHEREVER POSSIBLE. COORDINATE WITH OTHER TRADES AS NECESSARY. GENERAL CONTRACTOR SHALL MODIFY OPENING AS REQUIRED TO ACCOMMODATE NEW MECHANICAL DEVICE.
 - GENERAL CONTRACTOR SHALL PATCH ALL OPENINGS IN WALLS, ROOF, ETC. THAT WILL NOT BE REUSED FOR FUTURE WORK. COORDINATE AS NECESSARY WITH OTHER TRADES.
 - PRIOR TO ANY WORK BEING DONE CONTRACTOR SHALL MAKE A CAREFUL EVALUATION OF THE EXISTING CONDITIONS AND VERIFY ALL METHODS OF REMOVAL AND INSTALLATION OF MECHANICAL EQUIPMENT.
 - CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE WORK OF ALL OTHER TRADES.
 - EXISTING ABANDONED OR DEFUNCT PIPING, FLUES, DUCT, VENTS, & ETC. SHALL BE REMOVED. PATCH AND REPAIR WALLS/ROOF AS NECESSARY.
 - ALL DUCTWORK AND DIFFUSER INDICATED AS DASHED LINES ARE EXISTING TO REMAIN.
- DEMOLITION KEY NOTES:**
- DEMO AND REMOVE EXISTING CEILING DIFFUSER.
 - DEMO AND REMOVE EXISTING RETURN REGISTER.

MECHANICAL DEMOLITION FLOOR PLAN - M.U. ROOM & KITCHEN

SCALE
1/8"=1'-0"

3

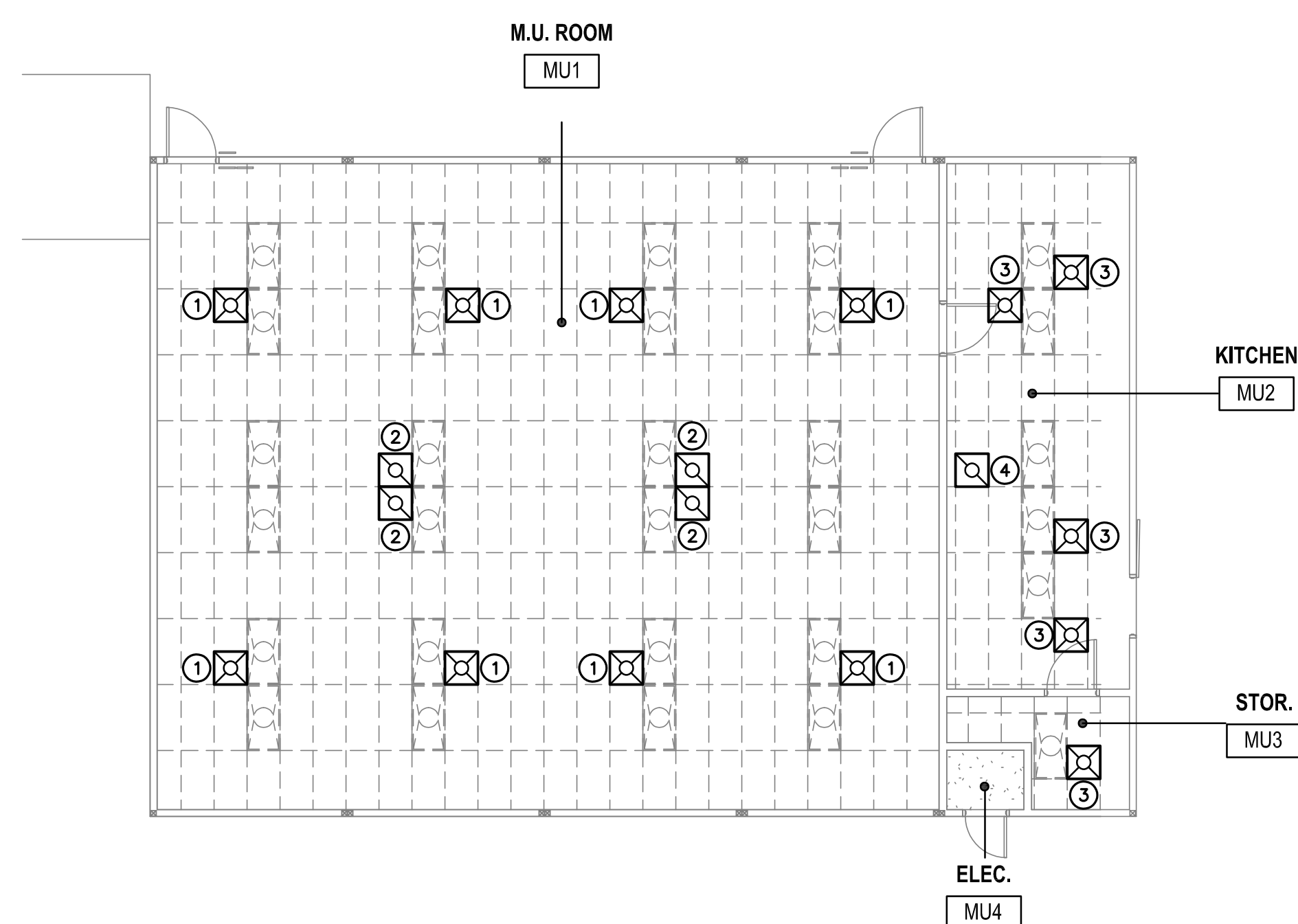


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 - PRIOR TO ANY WORK BEING DONE CONTRACTOR SHALL MAKE A CAREFUL EVALUATION OF THE EXISTING CONDITIONS AND VERIFY ALL METHODS OF REMOVAL AND INSTALLATION OF MECHANICAL EQUIPMENT.
 - CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE WORK OF ALL OTHER TRADES.
 - EXISTING ABANDONED OR DEFUNCT PIPING, FLUES, DUCT, VENTS, & ETC. SHALL BE REMOVED. PATCH AND REPAIR WALLS/ROOF AS NECESSARY.
 - ALL DUCTWORK AND DIFFUSER INDICATED AS DASHED LINES ARE EXISTING TO REMAIN.
- DEMOLITION KEY NOTES:**
- EXISTING CEILING DIFFUSER TO BE REMOVED, CLEANED, AND REINSTALLED.
 - DEMO AND REMOVE EXISTING CEILING DIFFUSER AND DUCTWORK BACK TO UNIT DROP.
 - DEMO AND REMOVE EXISTING CEILING EXHAUST FAN.
 - EXISTING CEILING DIFFUSER TO BE REMOVED, CLEANED, AND RELOCATED PER RENOVATION PLAN.
 - DEMO AND REMOVE EXISTING RETURN REGISTER.
 - EXISTING RETURN REGISTER TO BE REMOVED, CLEANED, AND REINSTALLED.

MECHANICAL DEMOLITION FLOOR PLAN - BUILDING A

SCALE
1/8"=1'-0"

1

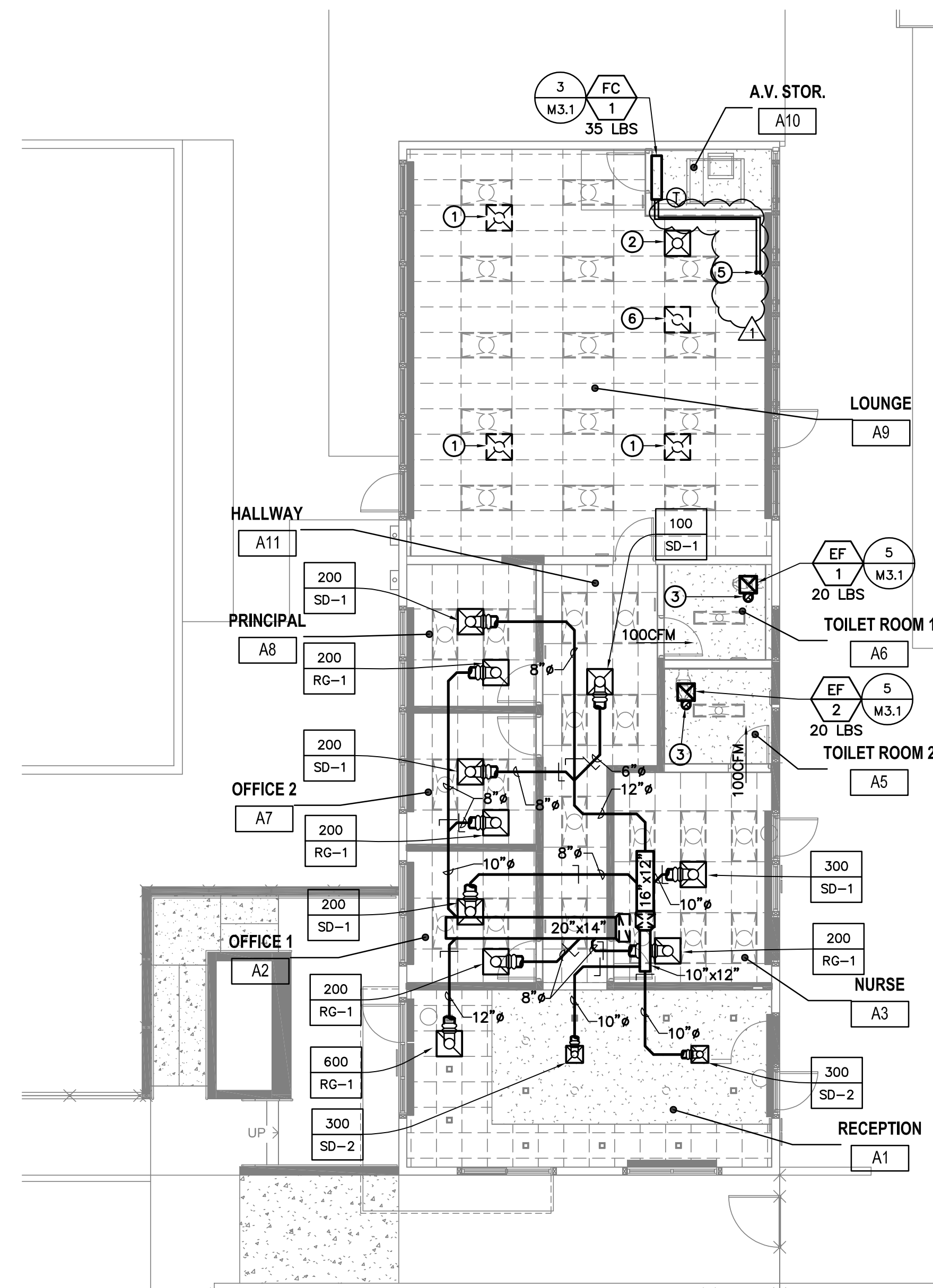


- CONSTRUCTION NOTES:**
- FIELD VERIFY ALL EXISTING DUCT DIMENSIONS INDICATED PRIOR TO FABRICATION. PROVIDE ALL TRANSITIONS AS REQUIRED TO CONNECT NEW DUCTWORK TO EXISTING.
 - COORDINATE ENTIRE INSTALLATION OF THE HVAC SYSTEM WITH THE WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
 - COORDINATE THE LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES WITH THE ARCHITECTURAL REFLECTIVE CEILING PLAN, ELECTRICAL LIGHTING LAYOUT AND ARCHITECTURAL ROOM ELEVATIONS.
 - CONTRACTOR SHALL VERIFY THE CONDITION OF EXISTING EQUIPMENT, DUCTWORK, ASSOCIATED CONTROLS, AND T-STATS. SHOULD ANY OF THESE ITEMS NOT BE PERFORMING SATISFACTORILY OR MALFUNCTIONING, CONTRACTOR SHALL NOTIFY THE DISTRICT AND PROVIDE PRICE TO ENSURE PROPER OPERATION PRIOR TO COMPLETION OF WORK.
 - BEFORE COMMENCEMENT OF WORK, THE MECHANICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS AND DIMENSIONS OF ALL EXISTING EQUIPMENT AND ELECTRICAL SERVICES IN THE AREA OF NEW CONSTRUCTION AND NOTIFY THE DISTRICT OF ANY DISCREPANCIES.
 - ALL EXISTING DUCTWORK TO BE REUSED SHALL BE THOROUGHLY CLEANED. REFER TO SPECIFICATION 233113.
- CONSTRUCTION KEYNOTES:**
- NEW SUPPLY DIFFUSER W/ 16"Ø NECK. POC TO EXISTING DUCT. EXTEND & TRANSITION AS REQ.
 - NEW RETURN GRILLE W/ 18"x18" NECK. POC TO EXISTING DUCT. EXTEND & TRANSITION AS REQ.
 - NEW SUPPLY DIFFUSER W/ 10"Ø NECK. POC TO EXISTING DUCT. EXTEND & TRANSITION AS REQ.
 - NEW RETURN GRILLE W/ 14"Ø NECK. POC TO EXISTING DUCT. EXTEND & TRANSITION AS REQ.

MECHANICAL NEW FLOOR PLAN - M.U. ROOM & KITCHEN

SCALE
1/8"=1'-0"

4



- CONSTRUCTION NOTES:**
- FIELD VERIFY ALL EXISTING DUCT DIMENSIONS INDICATED PRIOR TO FABRICATION. PROVIDE ALL TRANSITIONS AS REQUIRED TO CONNECT NEW DUCTWORK TO EXISTING.
 - COORDINATE ENTIRE INSTALLATION OF THE HVAC SYSTEM WITH THE WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
 - COORDINATE THE LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES WITH THE ARCHITECTURAL REFLECTIVE CEILING PLAN, ELECTRICAL LIGHTING LAYOUT AND ARCHITECTURAL ROOM ELEVATIONS.
 - CONTRACTOR SHALL VERIFY THE CONDITION OF EXISTING EQUIPMENT, DUCTWORK, ASSOCIATED CONTROLS, AND T-STATS. SHOULD ANY OF THESE ITEMS NOT BE PERFORMING SATISFACTORILY OR MALFUNCTIONING, CONTRACTOR SHALL NOTIFY THE DISTRICT AND PROVIDE PRICE TO ENSURE PROPER OPERATION PRIOR TO COMPLETION OF WORK.
 - BEFORE COMMENCEMENT OF WORK, THE MECHANICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS AND DIMENSIONS OF ALL EXISTING EQUIPMENT AND ELECTRICAL SERVICES IN THE AREA OF NEW CONSTRUCTION AND NOTIFY THE DISTRICT OF ANY DISCREPANCIES.
 - ALL EXISTING DUCTWORK TO BE REUSED SHALL BE THOROUGHLY CLEANED. REFER TO SPECIFICATION 233113.
- CONSTRUCTION KEYNOTES:**
- EXISTING CEILING DIFFUSER TO BE REMOVED, CLEANED, AND REINSTALLED.
 - EXISTING RELOCATED CEILING DIFFUSER. EXTEND AND CONNECT EXISTING DUCTWORK AS REQUIRED.
 - 8"Ø EX DUCT UP THRU ROOF AND CONNECT TO ROOF CAP WITH CURB.
 - NOT USED.
 - REFRIGERANT PIPING UP THRU ROOF. SEE 7/M3.1 FOR PENETRATION DETAIL.
 - EXISTING RETURN REGISTER TO BE REMOVED, CLEANED AND REINSTALLED.

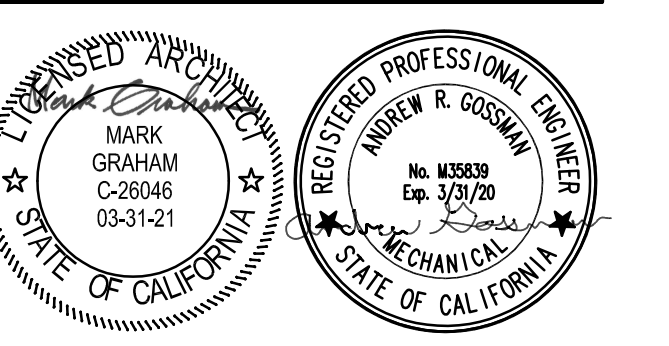
MECHANICAL NEW FLOOR PLAN - BUILDING A

SCALE
1/8"=1'-0"

2

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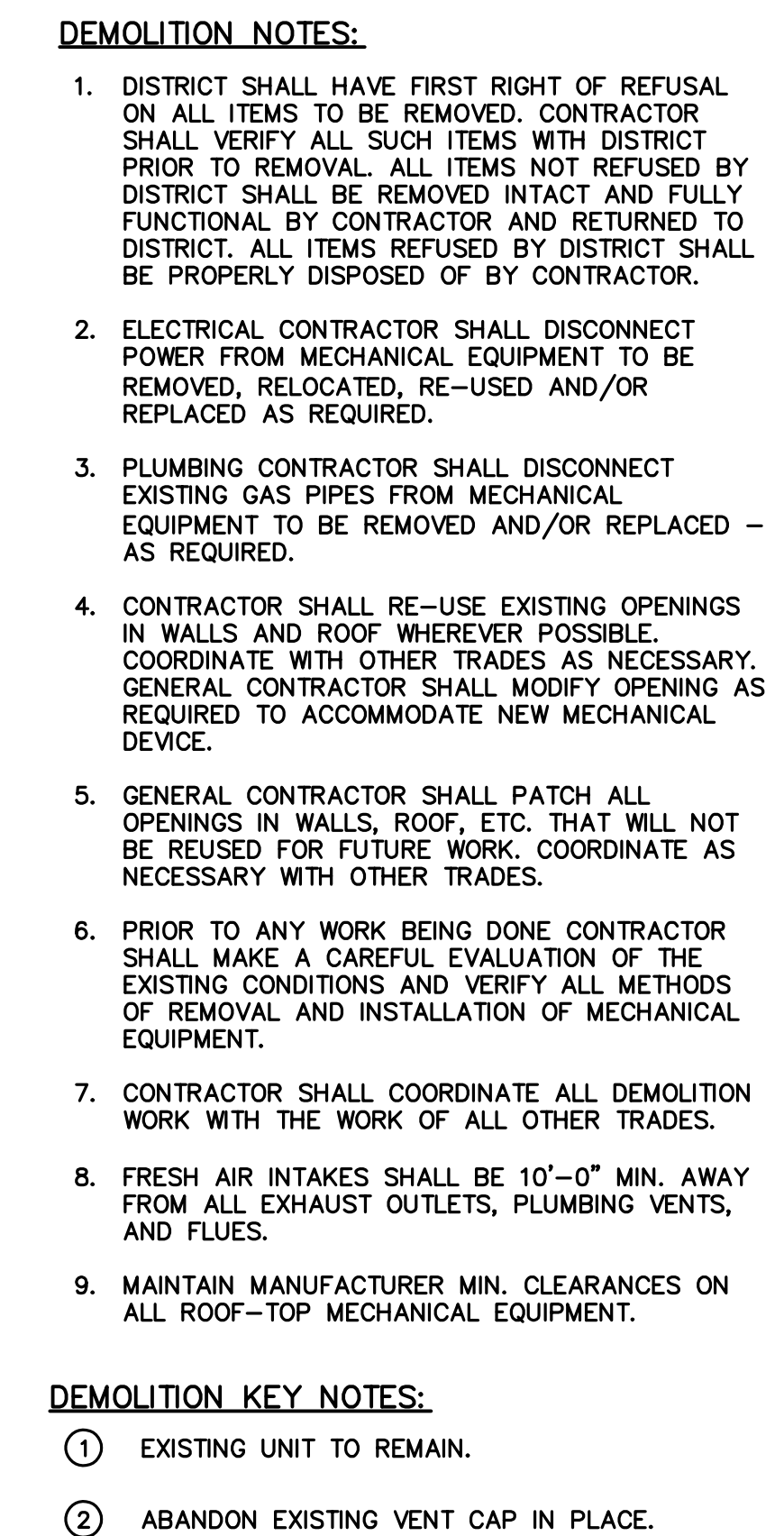
CONSULTANT
PDS
PocockDesignSolutions Inc.

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**MECH. NEW AND
DEMO FLOOR
PLANS**
DRAWING NUMBER: **M2.1**



SCALE	1
1/8"=1'-0"	



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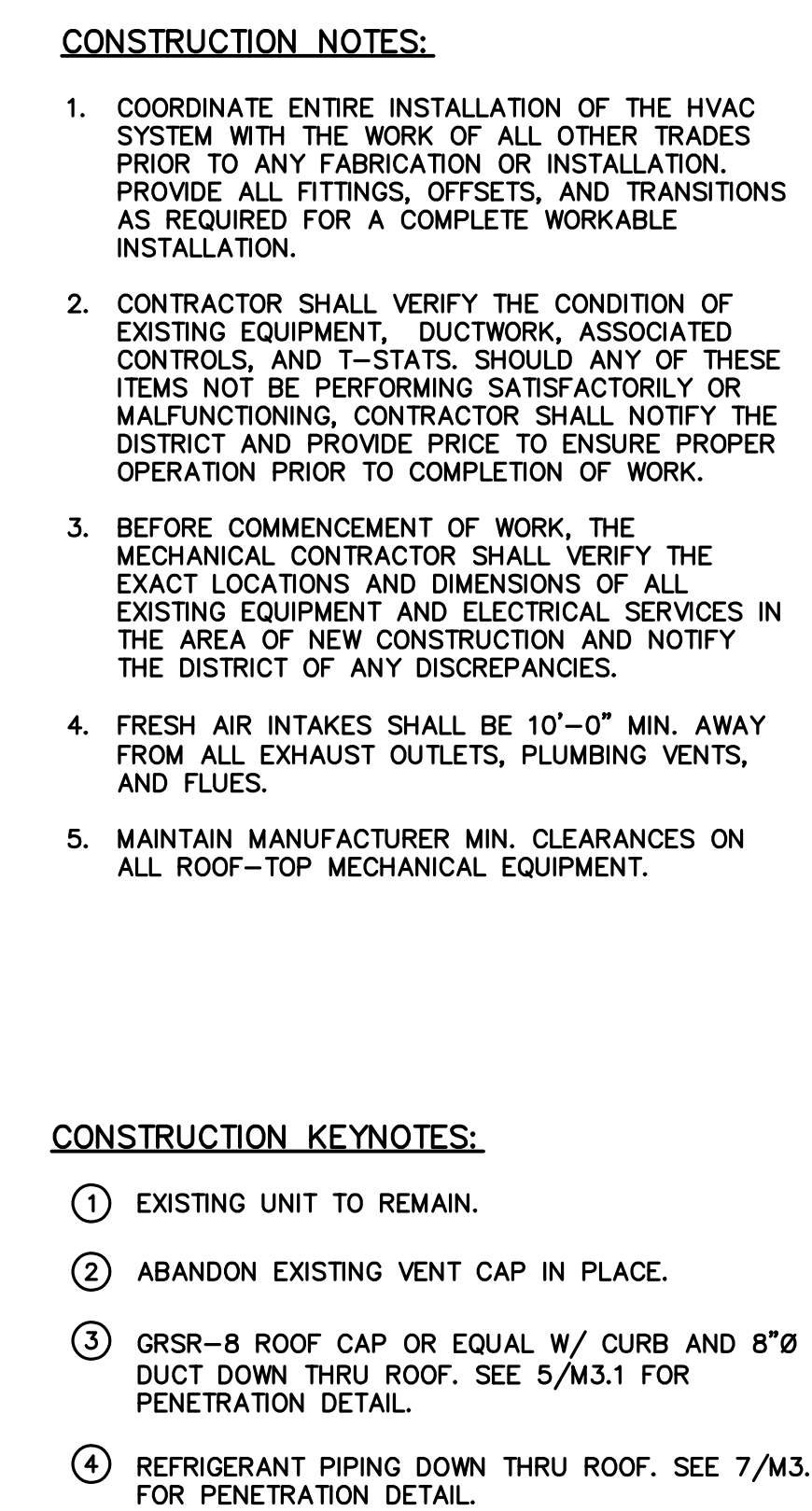
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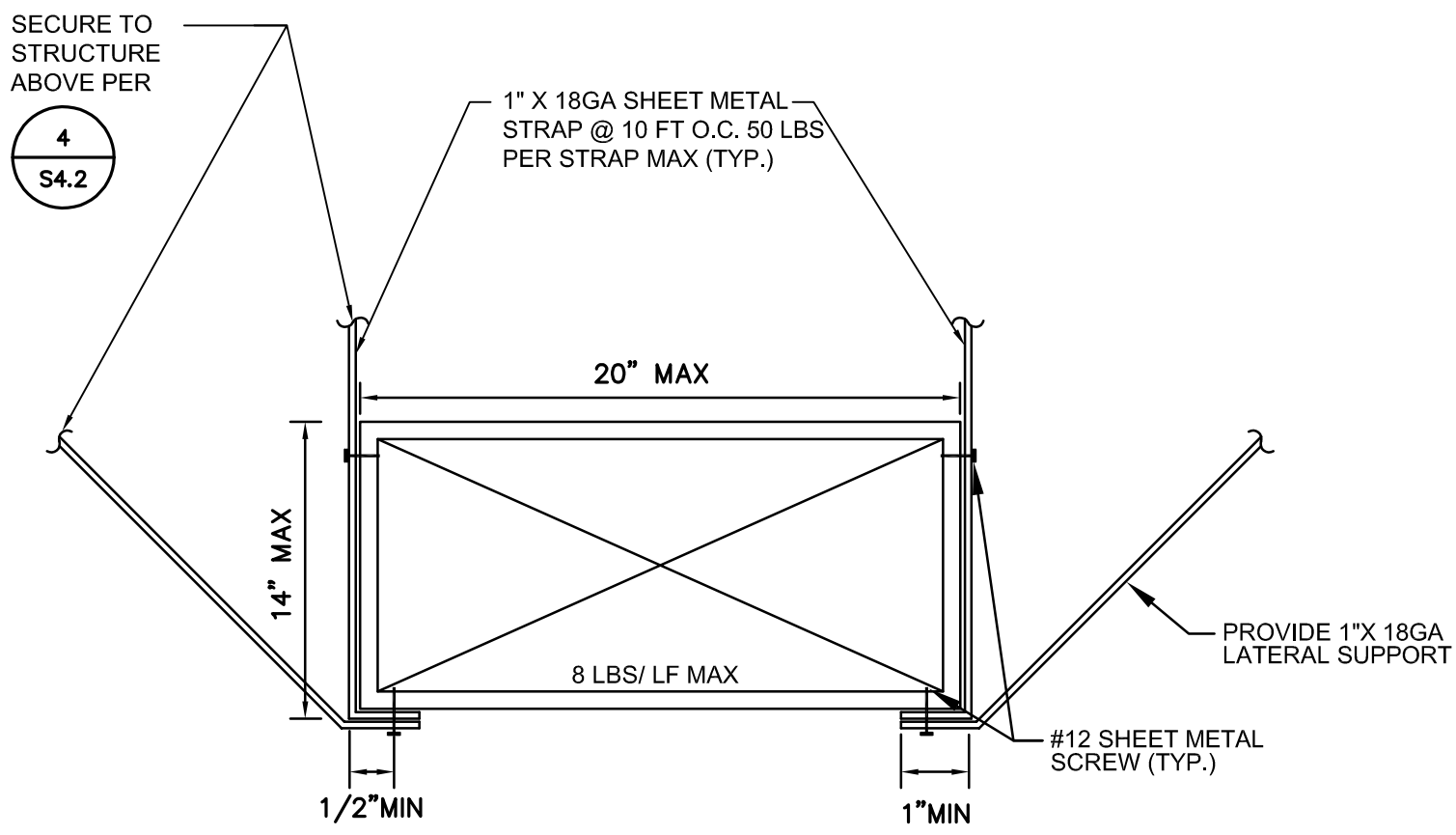


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PROJECT NUMBER: 1719800	

DRAWING NUMBER: **M2.2**



SCALE	2
1/8"=1'-0"	

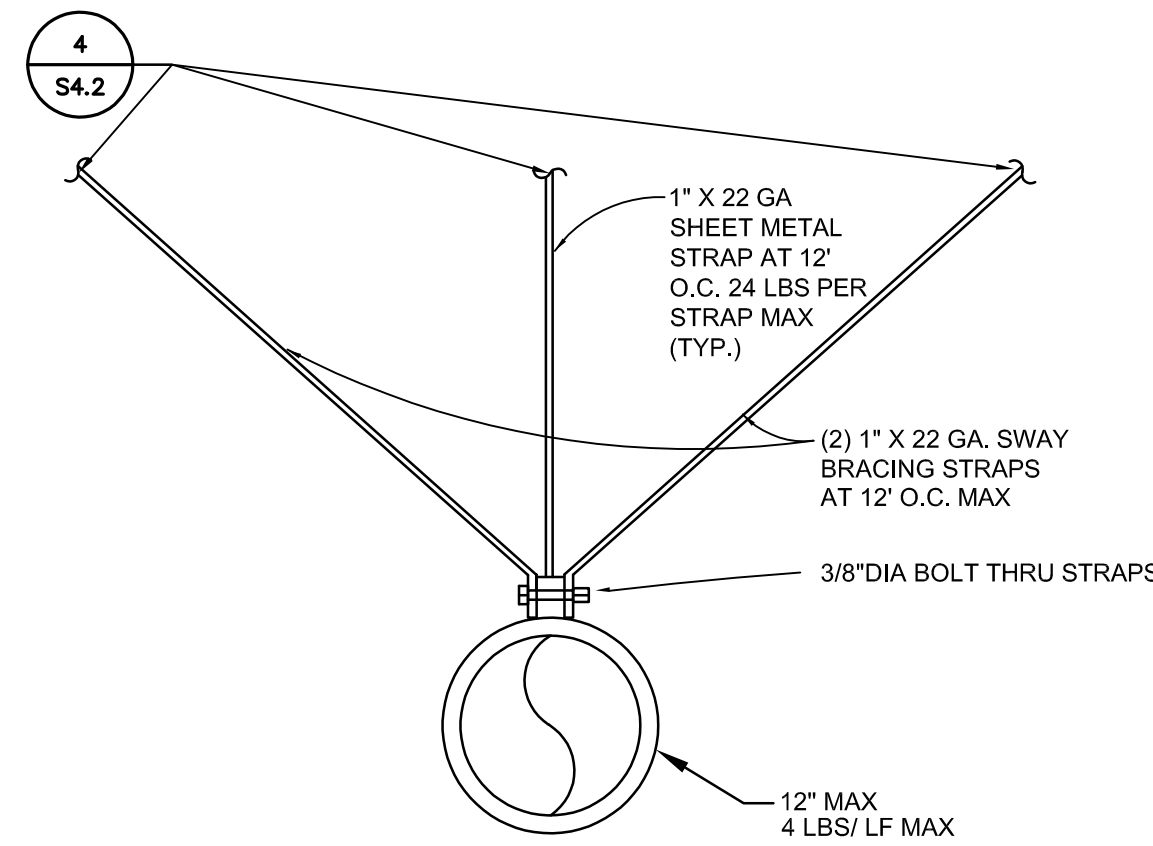


NOTE: INSTALLATION SHALL COMPLY W/ LATEST SMACNA STANDARDS.

TYPICAL RECTANGULAR DUCT ANCHORAGE DETAIL

SCALE
NONE

10

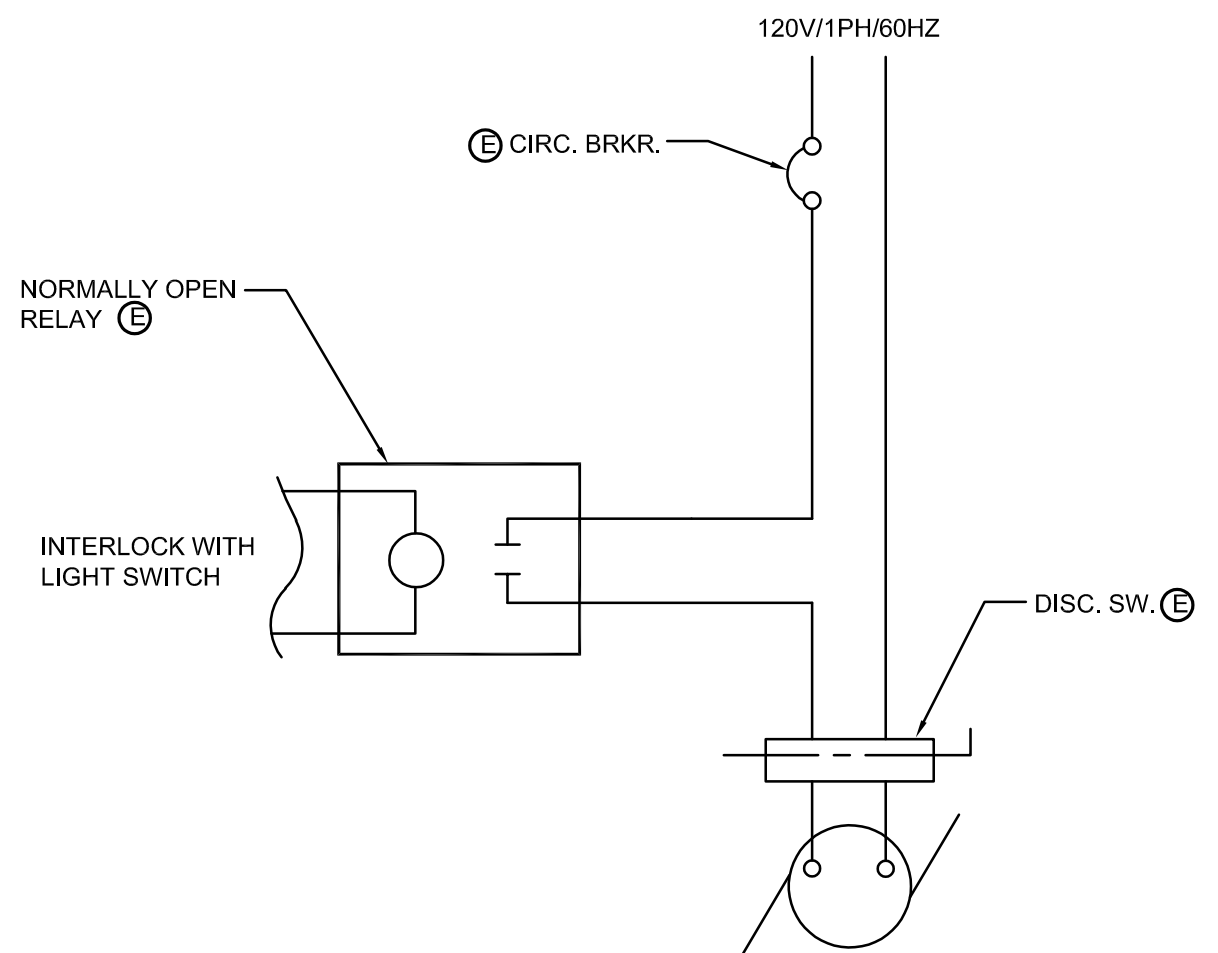


NOTE: INSTALLATION SHALL COMPLY W/ LATEST SMACNA STANDARDS.

TYPICAL ROUND DUCT ANCHORAGE DETAIL

SCALE
NONE

9



LEGEND:

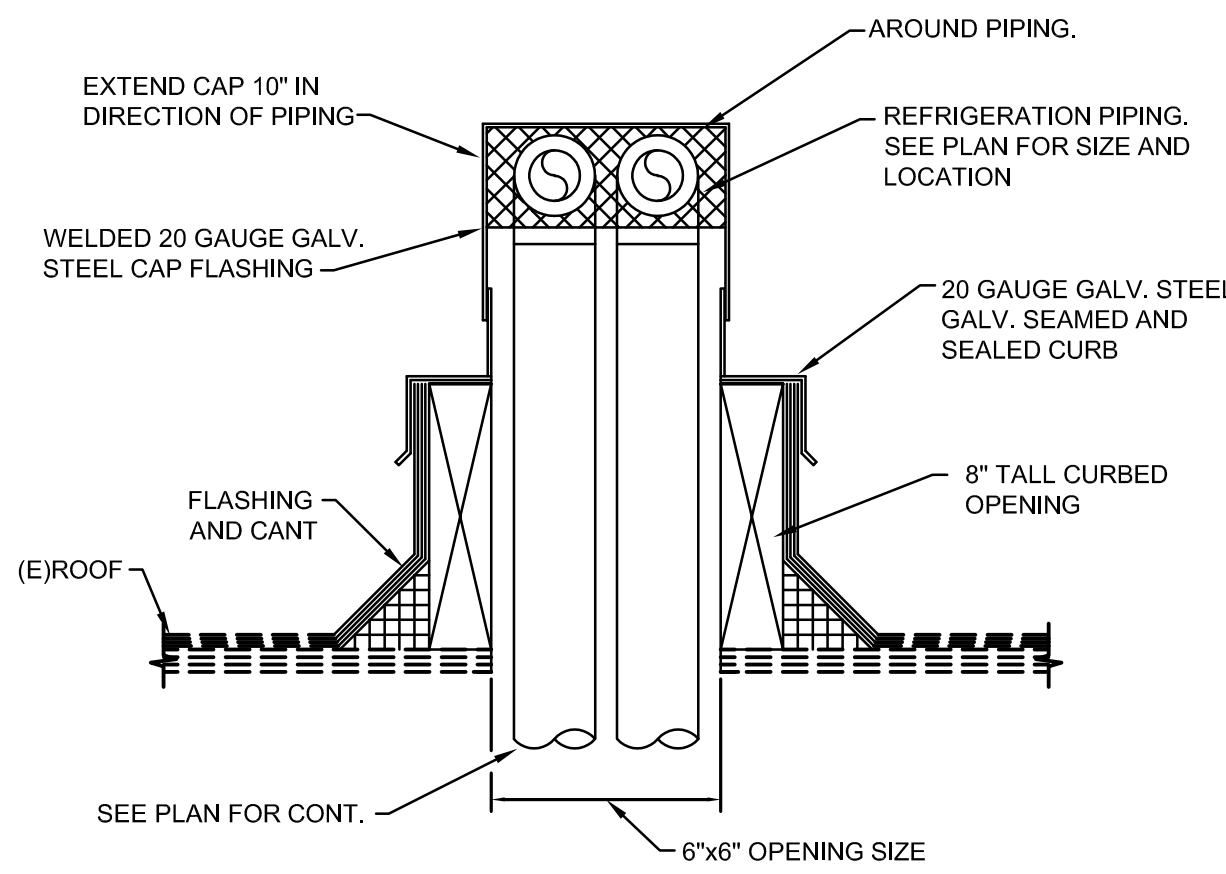
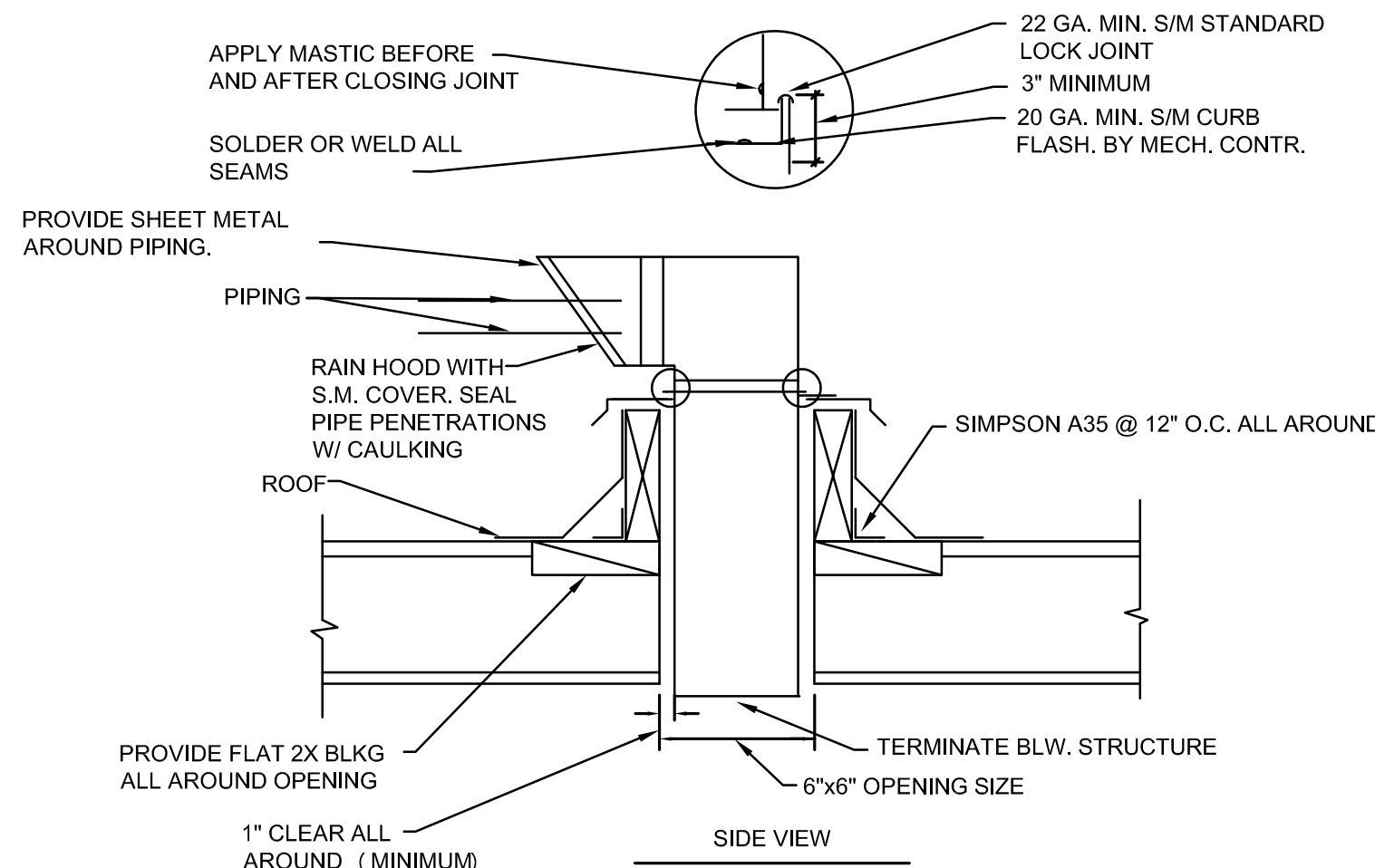
Ⓢ PROVIDED BY ELEC.

Ⓜ PROVIDED BY MECH.

TYPICAL TOILET EXHAUST FAN WIRING DIAGRAM DETAIL

SCALE
NONE

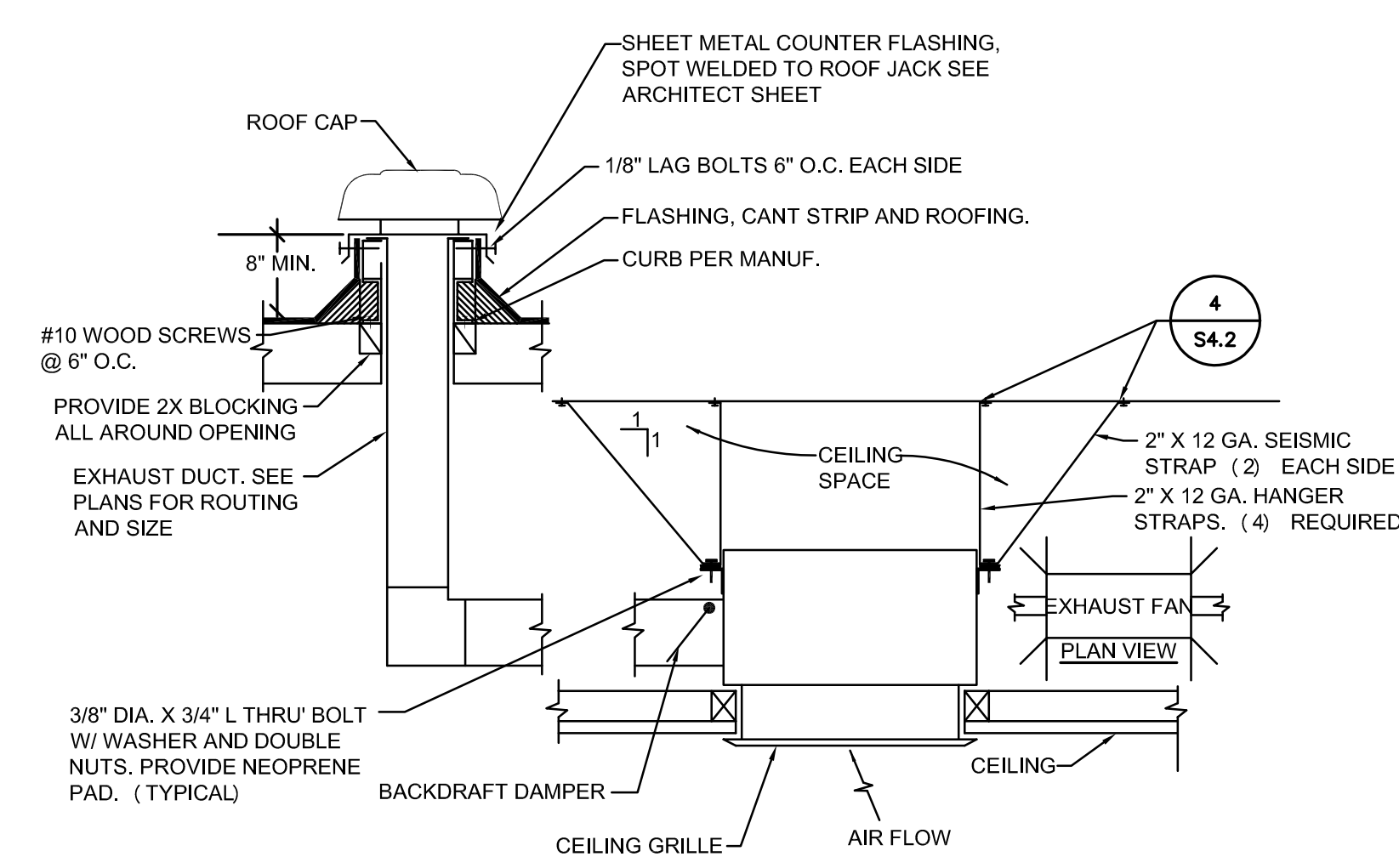
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TYPICAL REFRIGERANT PIPE PENETRATION DETAIL

SCALE
NONE

6

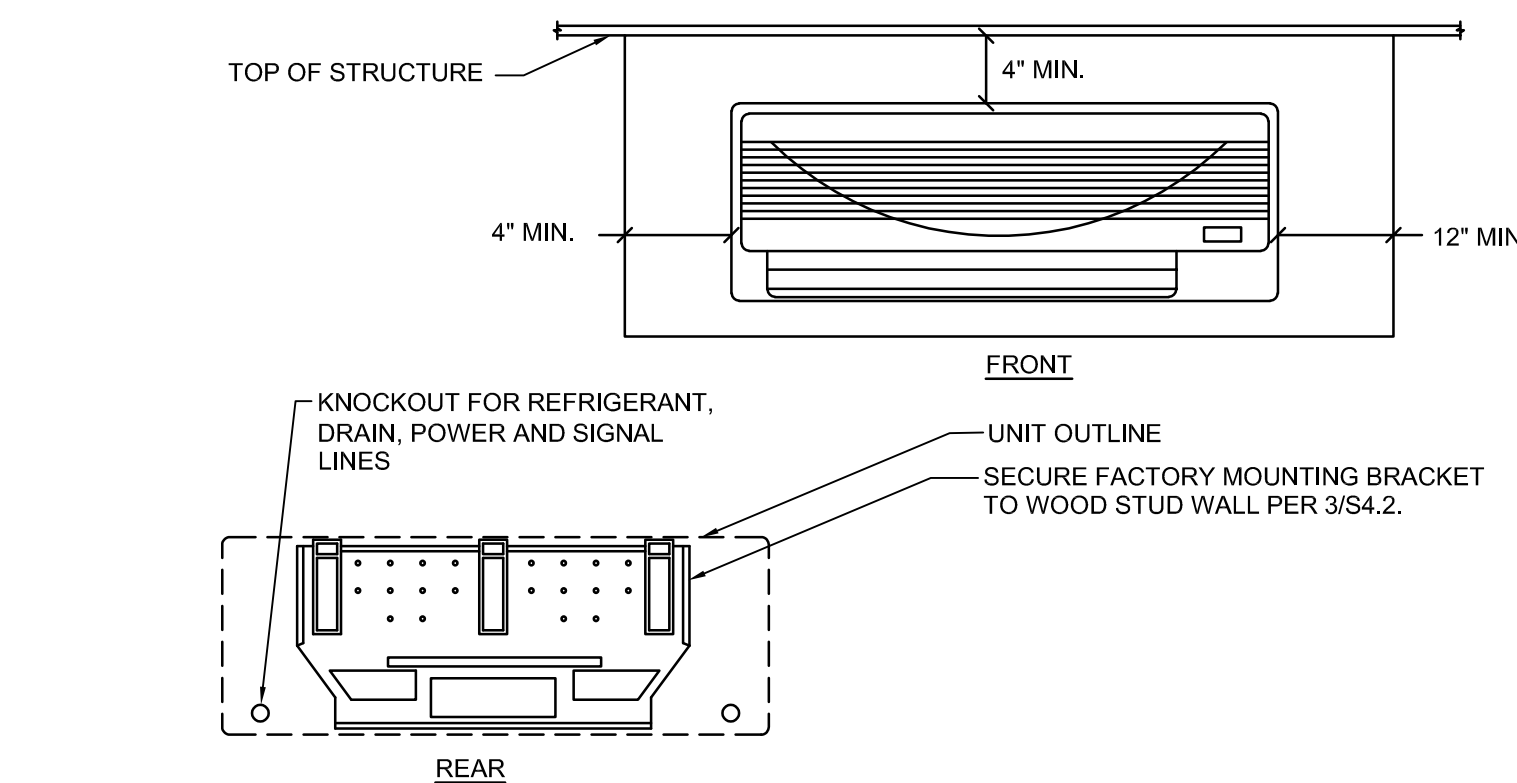


MAX WEIGHT: 20 LBS

TYPICAL CEILING EXHAUST FAN ANCHORAGE DETAIL

SCALE
NONE

5



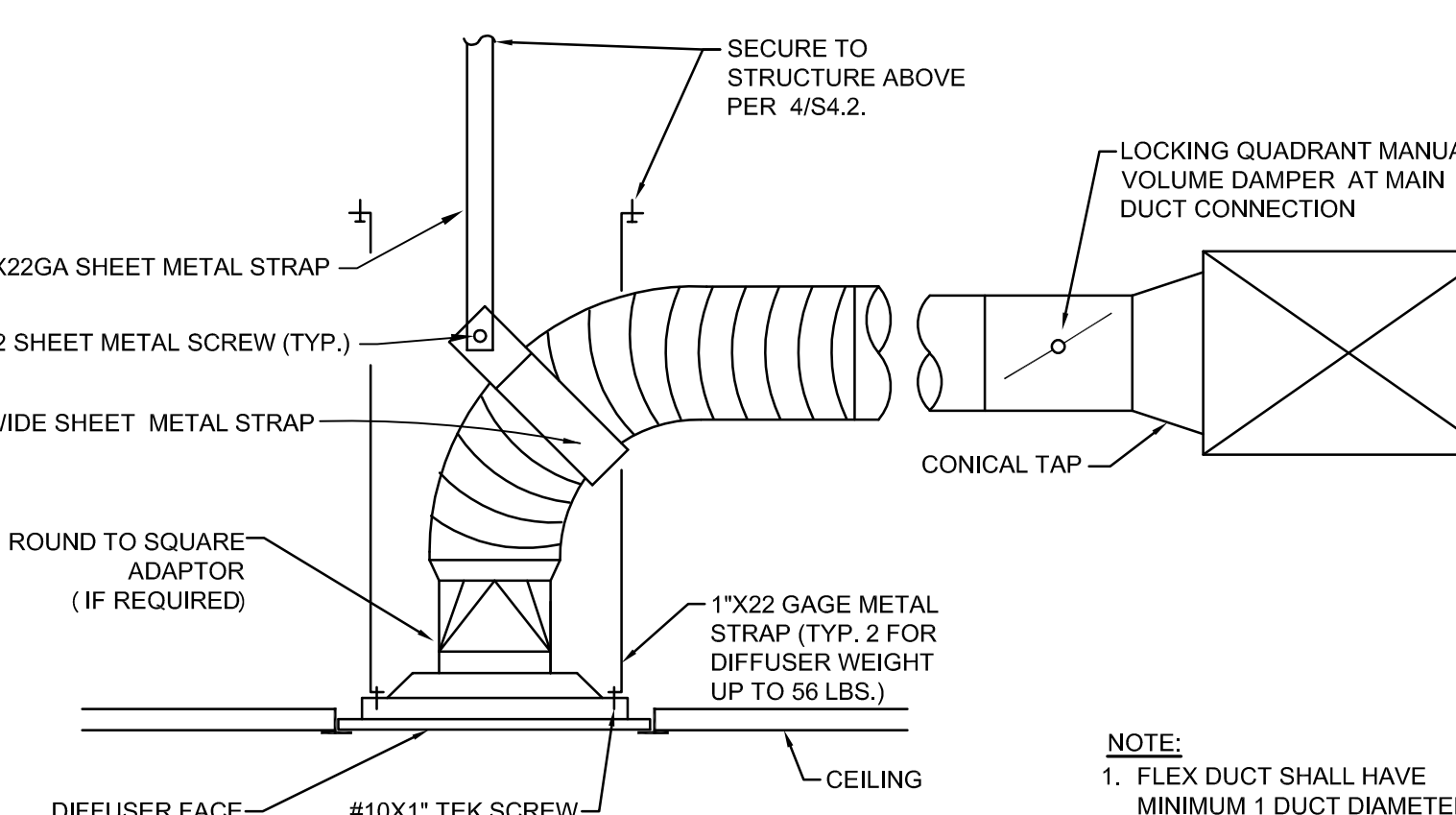
NOTES:

1. CLEARANCES OF 4" ON TOP OF AND TO THE LEFT OF THE FAN COIL UNIT ARE ABSOLUTE MIN. CLEARANCES OF 10" ARE RECOMMENDED.
2. REFRIGERANT IS METERED BY CAPILLARY TUBES IN THE OUTDOOR UNIT. INSULATE BOTH REFRIGERANT LINES.
3. REFRIGERANT, DRAIN, AND POWER CONNECTIONS MAY BE MADE IN UNIT REAR, BOTTOM, LEFT SIDE OR RIGHT SIDE.

SCALE
NONE

3

TYP. FAN COIL ANCHORAGE DETAIL



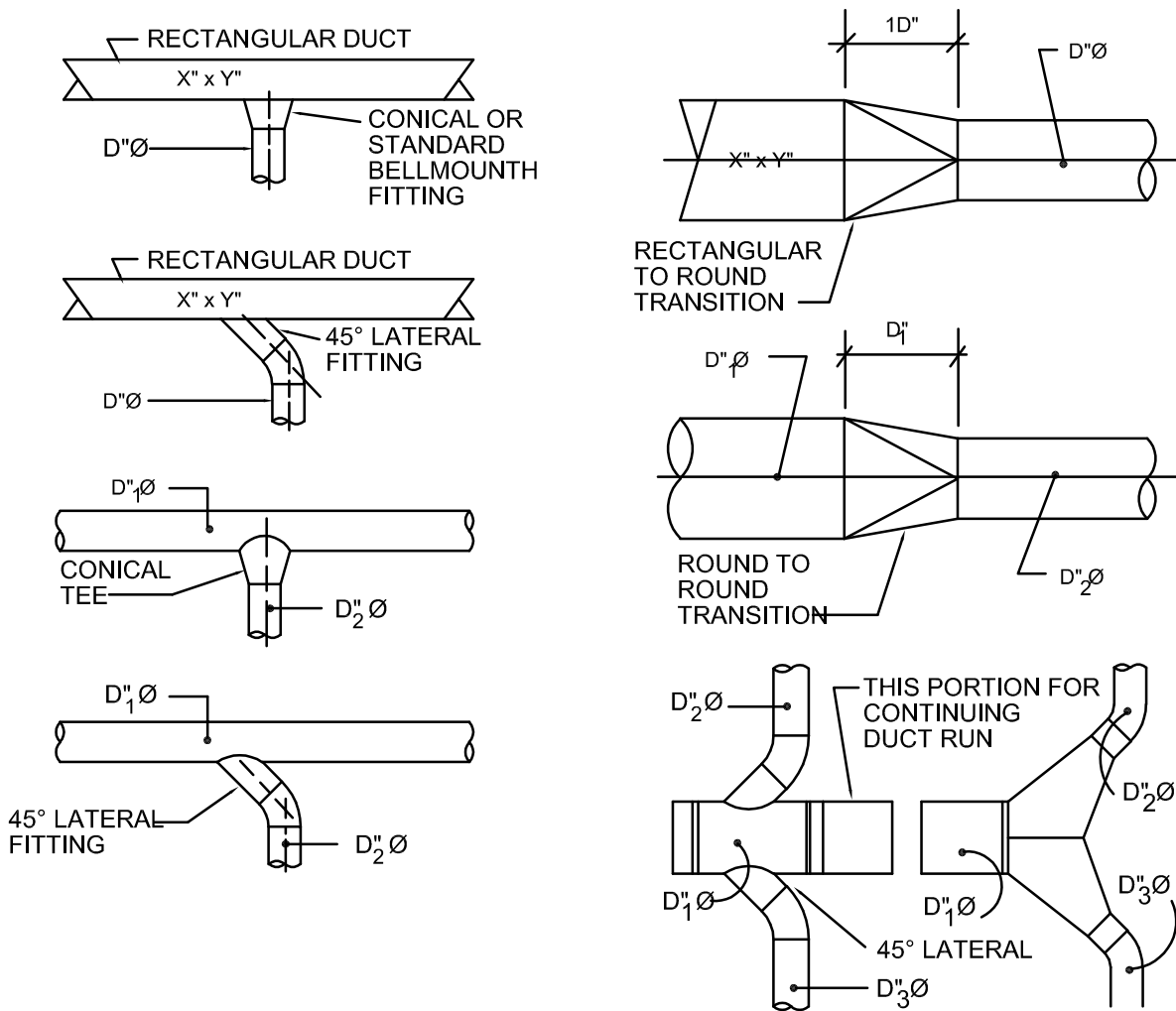
NOTE:

1. FLEX DUCT SHALL HAVE MINIMUM 1 DUCT DIAMETER BEND RADIUS.
2. ALL DUCTWORK EXTENDING THROUGH RATED PARTITIONS AND/OR FULL HEIGHT WALLS SHALL BE CONSTRUCTED FROM SHEET METAL.
3. ALL DUCTWORK CONNECTING TO DIFFUSERS/REGISTERS LOCATED IN GYP. CEILINGS SHALL BE CONSTRUCTED FROM SHEET METAL.
4. FLEXIBLE DUCT SHALL NOT EXCEED 5'-0" IN LENGTH AND SHALL NOT BE USED IN LIEU OF A RIGID ELBOW OR TRANSITION PER CMC REQUIREMENTS.

TYPICAL CEILING DIFFUSER DETAIL

SCALE
NONE

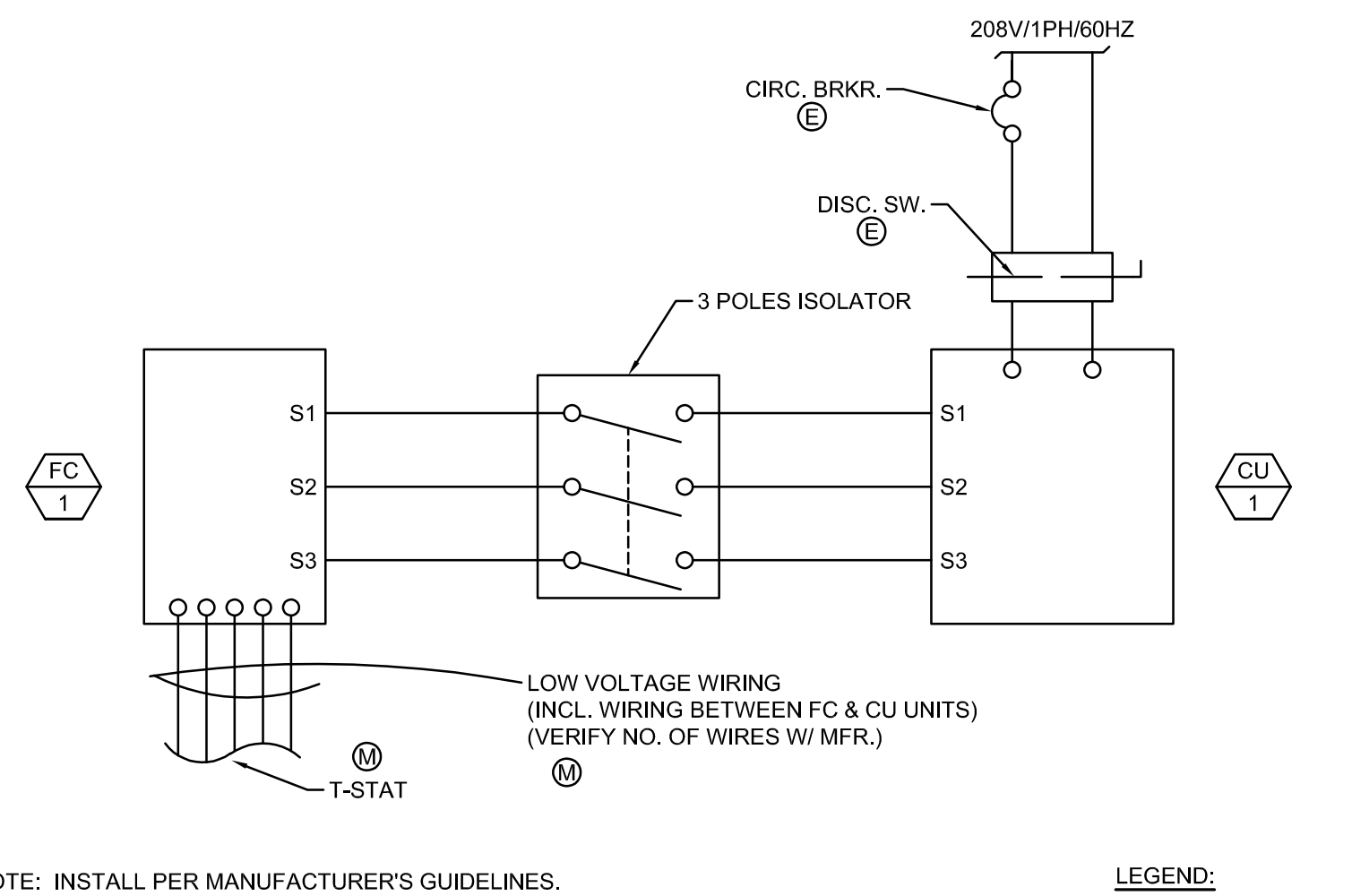
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DUCT TRANSITION REQUIREMENTS

SCALE
NONE

11



LEGEND:

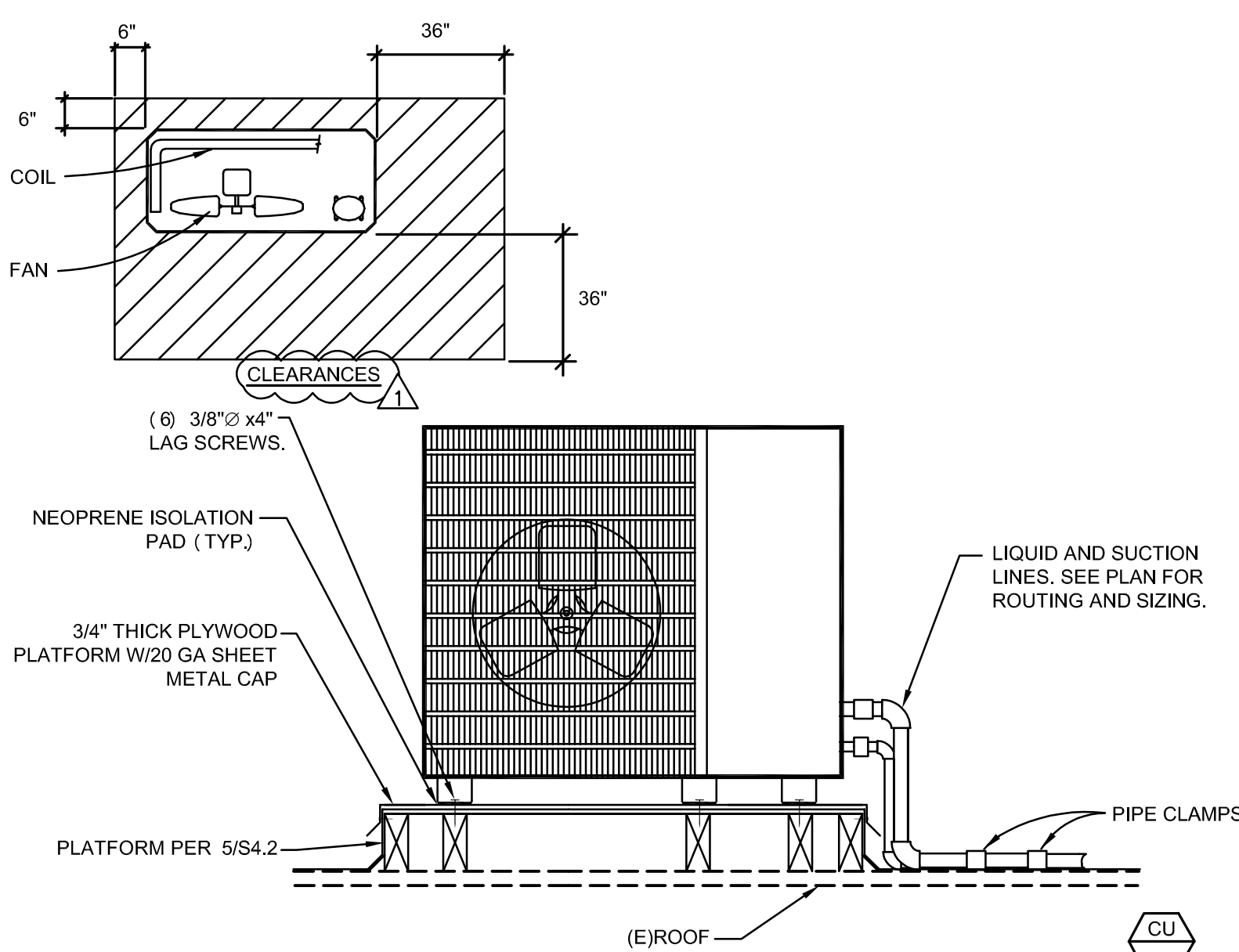
Ⓢ PROVIDED BY ELEC.

Ⓜ PROVIDED BY MECH.

TYPICAL SPLIT SYSTEM WIRING DIAGRAM

SCALE
NONE

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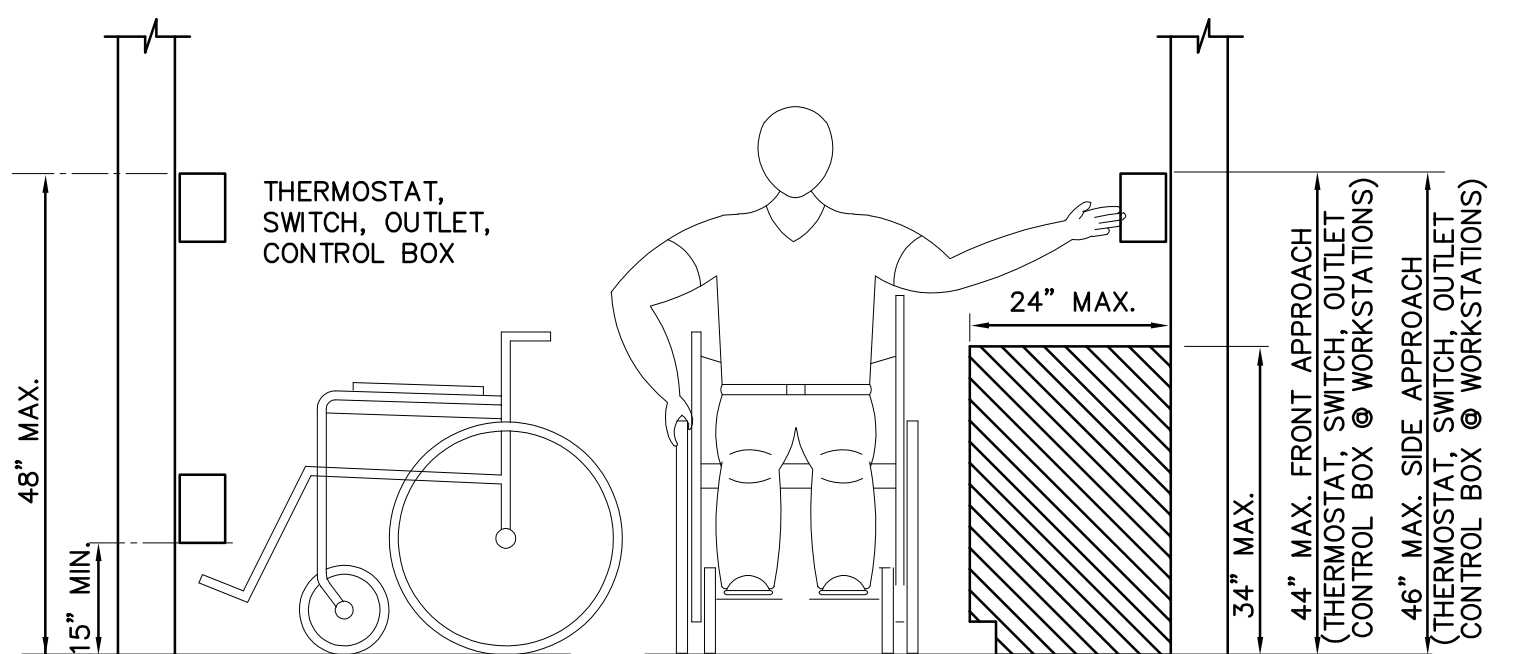


MAX WEIGHT: 160 LBS

TYPICAL CONDENSING UNIT ANCHORAGE DETAIL

SCALE
NONE

4



TYPICAL CONTROL MOUNTING DETAIL

SCALE
NONE

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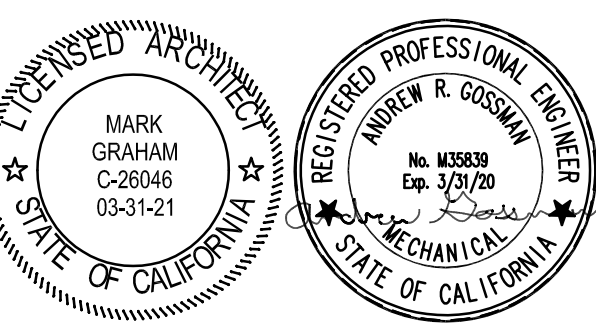
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NO	DATE	BY	DESCRIPTION
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DATE: 08/19/2019

SCALE: NONE

PROJECT NUMBER: 1719800

**MECHANICAL
DETAILS**

DRAWING
NUMBER:

M3.1



MOUNTING: SURFACE				PANEL-A (NEW)												LOCATION: BLDG A, RM. 4			
VOLTAGE: 120/240V,1P,3W				10,000 AIC SYM												225 AMP BUS		225A-2P MAIN CB	
N O T E	DESCRIPTION	VOLT-AMPERES		L E T G	P O T E N T I A L	P O W E R	P O W E R	P O W E R	P O W E R	P O W E R	P O W E R	P O W E R	L E T G	VOLT-AMPERES		DESCRIPTION	N O T E		
		A	B											A	B				
	LIGHTS RMS. 4 & 13	572		15		1	20	1	2	30	2	—	—	1	1500		MDF-WPS, RM. 13		
	LIGHTS RMS. 8,9,10,11,12,14		829	19		1	20	3	4	—	—	—	—	1	1500		CU-1, ROOF		
	LIGHTS RM. 5	451		15		1	20	5	6	20	2	—	—	1	1456				
1	EXTERIOR LTC		225	5		1	20	7	8	—	—	—	—	1	1456				
	PLUG MOLD RM. 4	360		2		1	20	10	15	2	1	—	—	1	24		FC-1, RM. 13		
	PLUG MOLD RM. 4		540	3		1	20	11	12	—	—	—	—	1	24				
	RECEPT. RMS. 104,9,10,12	900		5		1	20	13	14	20	1	—	—	1	360		MDF, RM. 13		
	RECEPT. RMS. 12, 5		720	4		1	20	15	16	20	1	1	—	1	360		MDF, RM. 13		
	RECEPT. RMS. 4, 8, 14	900		5		1	20	17	18	20	1	1	—	1	360		MDF, RM. 13		
	RECEPT. RMS. 104, 14, 11		900	5		1	20	19	20	20	1	1	—	1	360		MDF, RM. 13		
	RECEPT. RMS. 11, 5	900		3	1	1	20	21	22	20	1	1	—	1	360		TELEPHONE BKBD.		
2	FIRE ALARM		500		1	1	20	23	24	20	1	1	—	1		1200	PRINTER		
	RECEPT. RM A11	720		4		1	20	25	26	20	1	1	—	1	360		IRRIGATION CONTROL		
	RECEPT. RM A11		720	3	1	1	20	27	28	40	2	1	—	1		4160	INSTA-HOT, WH-2		
	DISPOSAL	804		1		1	20	29	30	—	—	—	—	1	4160				
	MICROWAVE	1000		1		1	20	31	32	40	2	1	—	1	4160		INSTA-HOT, WH-2		
	MICROWAVE	1000		1		1	20	33	34	—	—	—	—	1	4160		—		
	VENDING MACH		1000	1		1	20	35	36	20	2	1	—	1	2080		INSTA-HOT, WH-1		
	REF	1000		2		1	20	37	38	—	—	—	—	1	2080		—		
	HAND DRYER		500	1	1	1	20	39	40	20	2	1	—	1	2080		INSTA-HOT, WH-1		
	HAND DRYER	500		1	1	1	20	41	42	—	—	—	—	1	2080		—		
	VA PER PHASE	8107	6934												16800	17380	VA PER PHASE		
	CONTINUOUS LOAD	2077													25007	24314	TOTAL VA PER PHASE		
			x 1.25= 2596	VA											49321		TOTAL CONNECTED VA		
			+ OTHER= 47244	VA													NOTES		
			TOTAL LOAD= 49840	VA		208											ROUTE THROUGH A 24HR-7 DAY TC		
	CEILING OUTLETS = 54																PROVIDE LOCK-ON DEVICE		
	CONV. OUTLETS = 50																		
	MISC. OUTLETS = 9																		

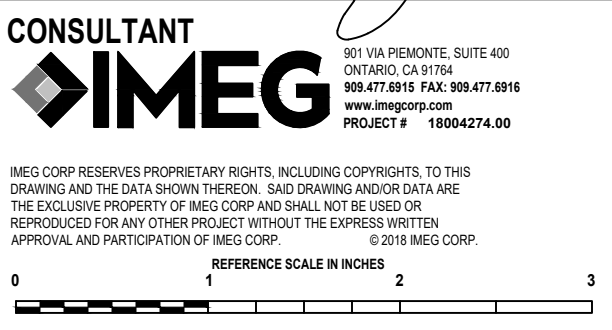
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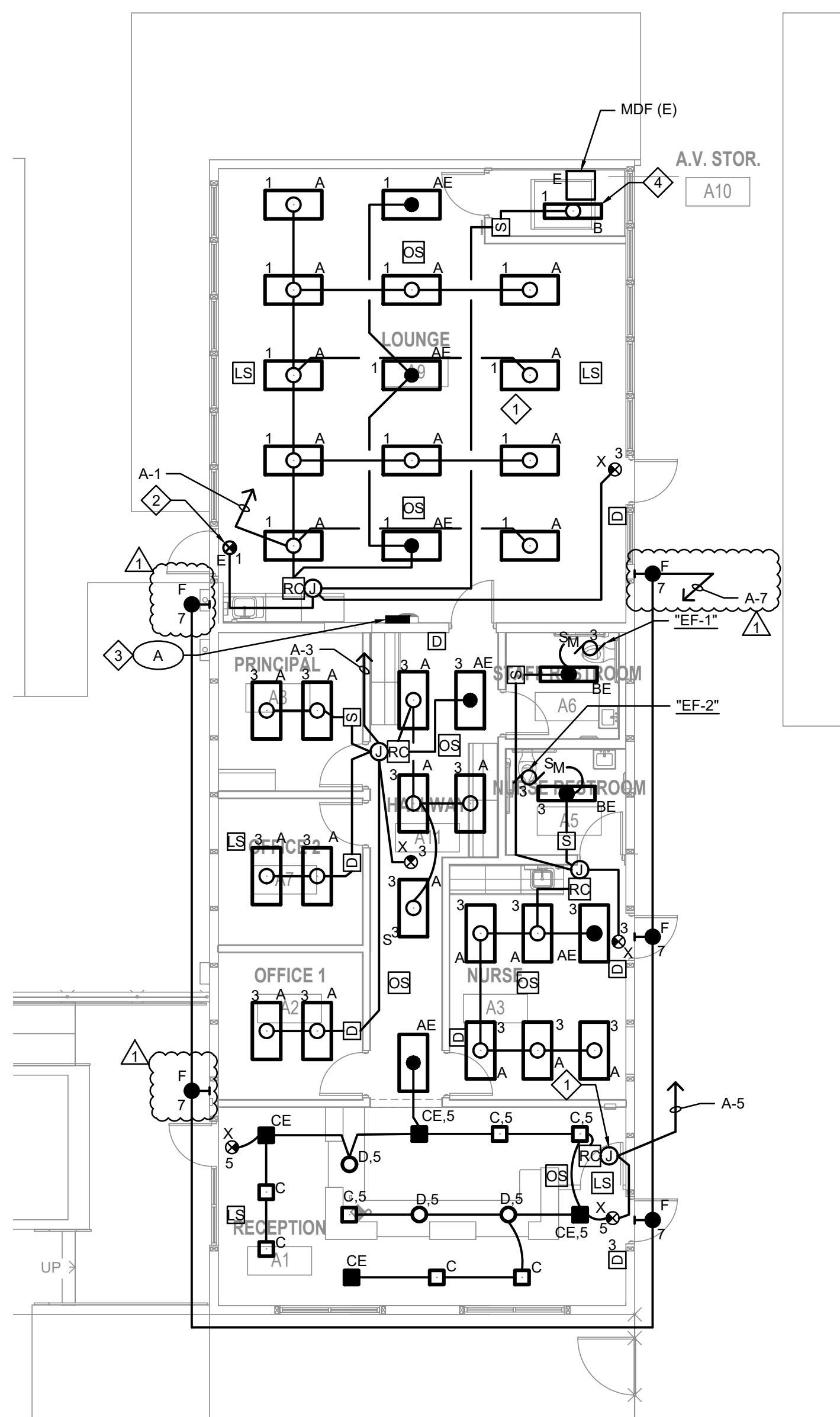
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DRAWN: JOI	CHECKED: NCI
DATE: 11/26/18	SCALE: AS NOTED
PROJECT NUMBER: 1719800	

SINGLE LINE DIAGRAM & PANEL SCHEDULES

**DRAWING
NUMBER: E0.2**

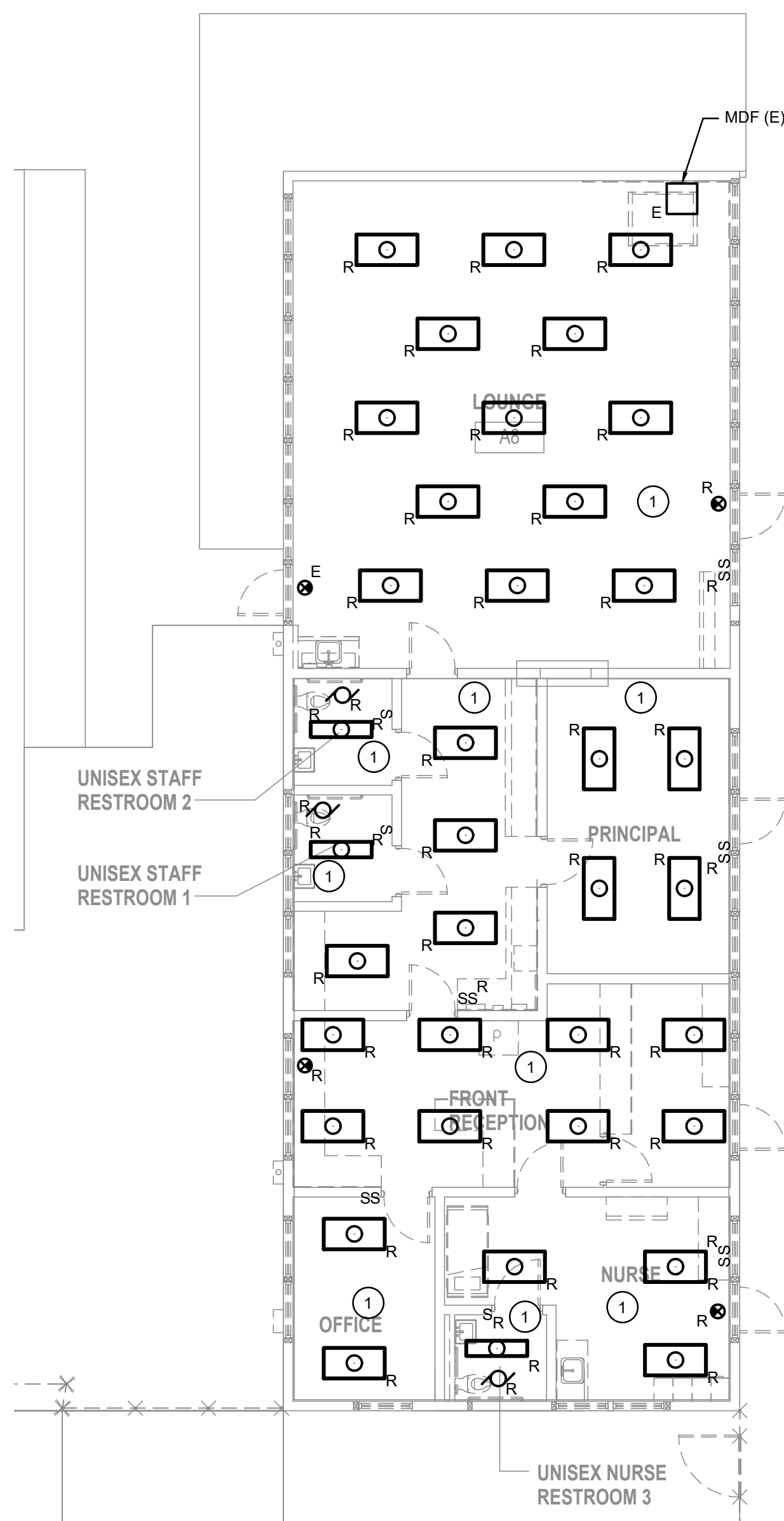
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BLDG A1 REMODEL LIGHTING PLAN

1/8"=1'-0"

2



BLDG A1 DEMO LIGHTING PLAN

1/8"=1'-0"

1

DEMOLITION KEY NOTES

- 1 EXISTING LIGHT FIXTURES TO BE REMOVED.

REMODEL KEY NOTES

- 1 SEE DETAIL #7 SHEET E3.1 FOR LIGHTING CONTROL DIAGRAM.
2 RECONNECT EXISTING EXIT SIGN TO NEW CIRCUIT.
3 SEE DETAIL #1, SHEET E3.1.
4 COORDINATE FINAL LIGHT FIXTURE LOCATION TO CLEAR CONDUIT AND CABLE TRAY IN ROOM.

CRESTRON HAS BEEN ACCEPTED AS AN ACCEPTABLE MANUFACTURE FOR LIGHTING CONTROLS.

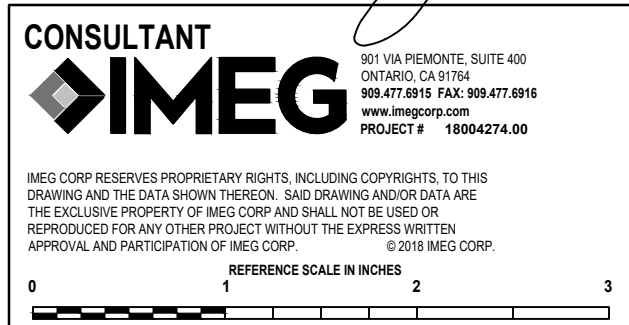
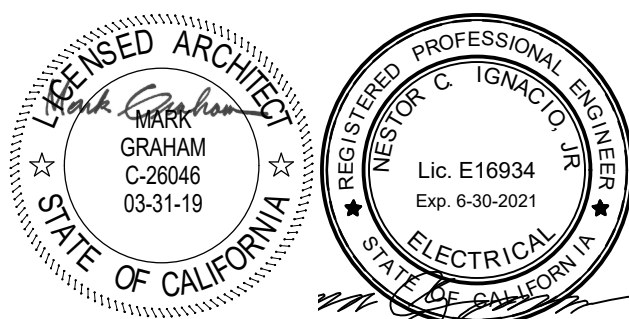
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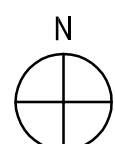
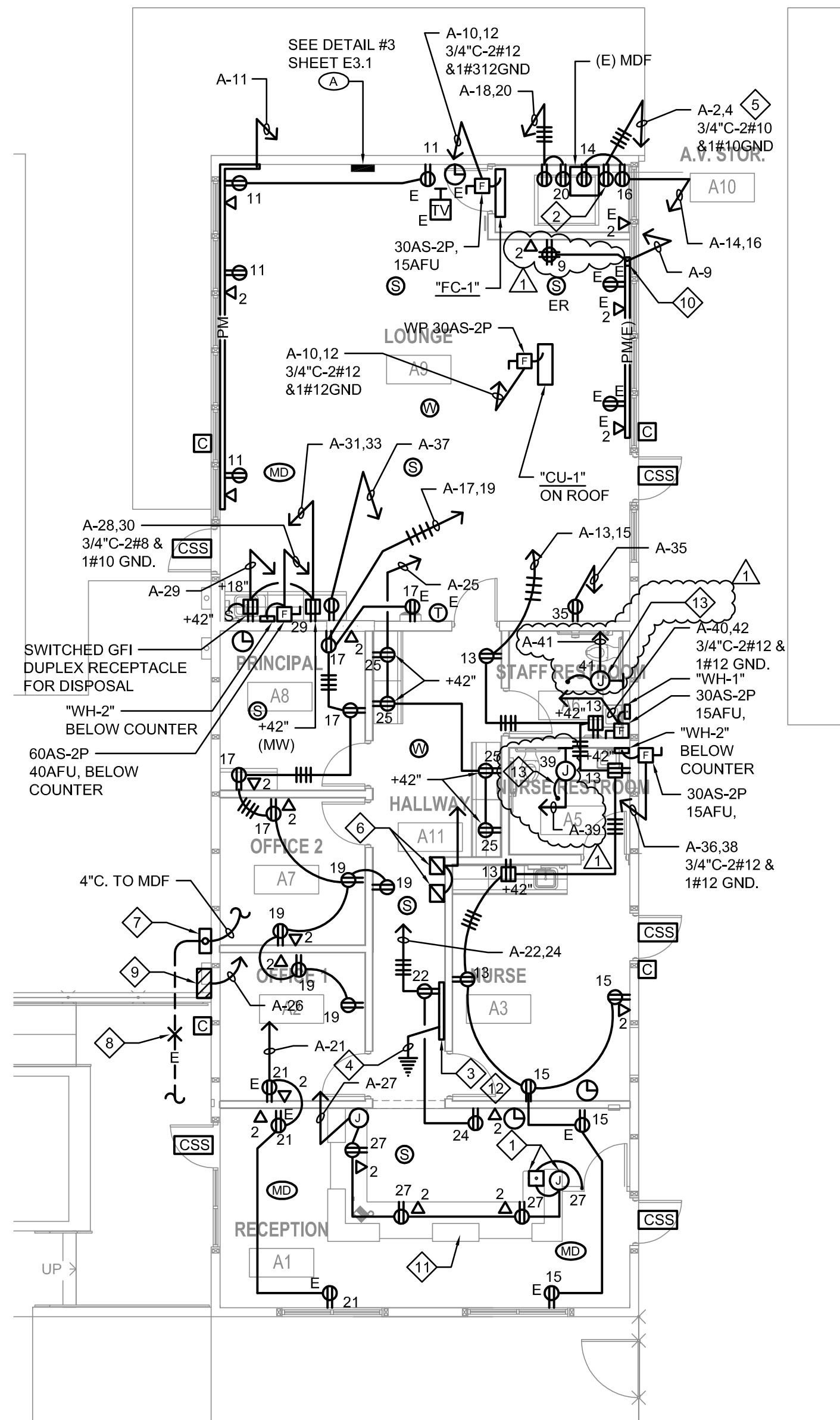
DRAWN: JOI
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BLDGS A1 DEMO &
REMODEL LIGHTING
PLANS

DRAWING
NUMBER: **E2.1**

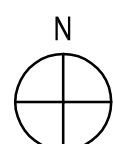
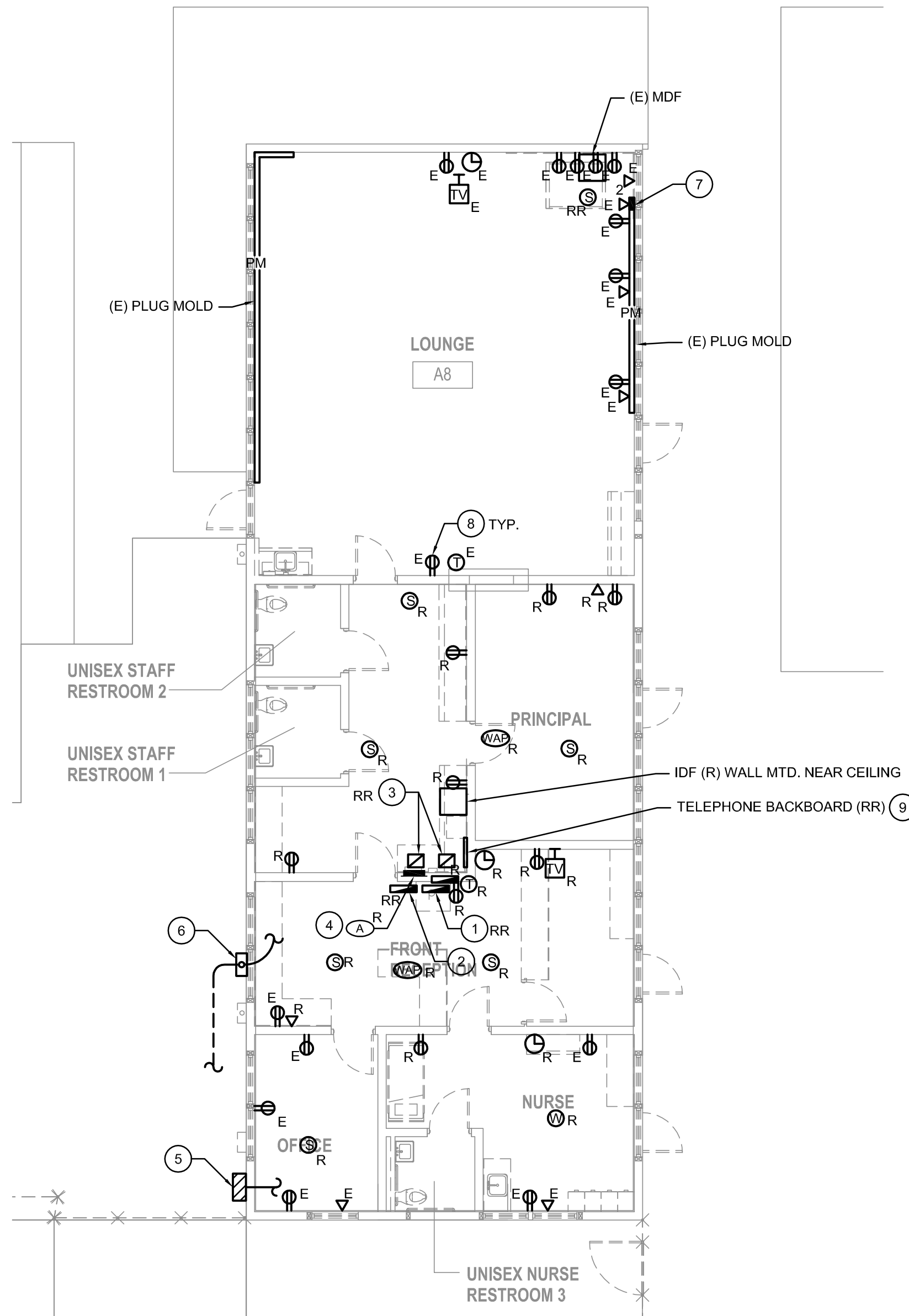
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BLDG A1 REMODEL POWER & SIGNAL PLAN

1/8"=1'-0"

2



BLDG A1 DEMO POWER & SIGNAL PLAN

1/8"=1'-0"

1

DEMOLITION KEY NOTES

- 1 EXISTING PASSING BELL PANEL, SIMPLEX.
- 2 EXISTING PASSING BELL CABINET, SIMPLEX.
- 3 EXISTING EMS CABINET, TO BE RELOCATED.
- 4 EXISTING PANEL "A" TO BE REMOVED. REMOVE UNDERGROUND FEEDER WIRING BACK TO SWITCHBOARD "MS-1". CAP CONDUIT FLUSH WITH FLOOR. REMOVE BRANCH CIRCUIT CONDUCTORS AND PROVIDE NEW HOME RUNS TO NEW PANEL "A".
- 5 EXISTING IRRIGATION CONTROLLER CABINET WITH A 120V-1P WP RECEPTACLE, TO BE RELOCATED.
- 6 EXISTING IT PULLBOX WITH OPTICAL CABLE, TO BE RELOCATED.
- 7 EXISTING VERTICAL WIREMOLD RISER TO ABOVE CEILING TO BE REMOVED AND HORIZONTAL WIREMOLD TO BE REMOVED SOUTH 24". PROTECT WIRING FOR INSTALLATION OF NEW WIREMOLD.
- 8 EXISTING RECEPTACLES TO REMAIN WILL BE RECIRCUITED AS DETAIL #2 THIS SHEET.
- 9 RELOCATE THE PA AND SECURITY HEADEND TO THE "MDF".

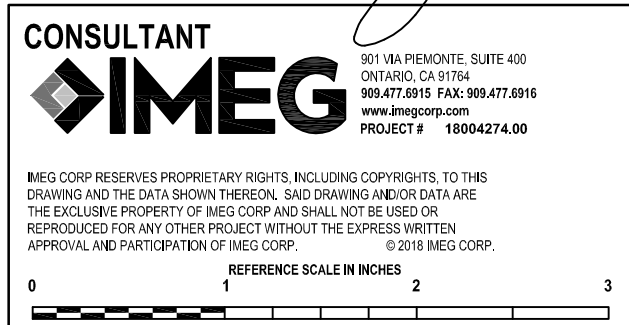
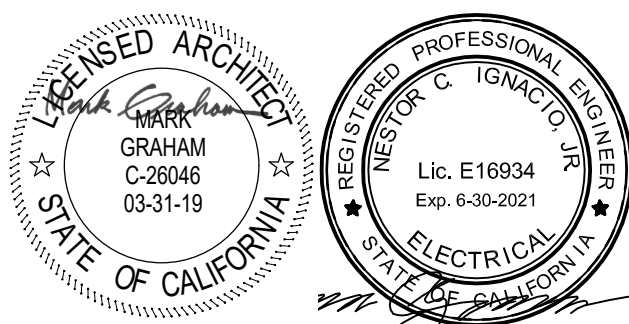
REMODEL KEY NOTES

- 1 RELEASE BUTTON FOR GATE ELECTRONIC STRIKE. J-BOX BELOW COUNTER FOR LOW VOLTAGE TRANSFORMER.
- 2 30A-208V-2P RECEPTACLE FOR "MDF" UPS. VERIFY RECEPTACLE NEMA NUMBER WITH UPS.
- 3 TELEPHONE BACKBOARD "TB" 4'x2'x3/4" TK PLYWOOD. MOUNT ON WALL AT 3" BELOW CEILING. SEE DETAIL #4, SHEET E3.1.
- 4 3/4"C. 1#6 TO GROUND.
- 5 FOR MDF, UPS.
- 6 EXISTING RELOCATED EMS CABINET.
- 7 EXISTING RELOCATED IT PULLBOX.
- 8 INTERCEPT EXISTING 4"C. AND EXTEND TO NEW PULLBOX LOCATION, DO NOT SPLICE OPTICAL FIBER CABLES UNDERGROUND. USE SPARE CABLE COILED IN BOX TO EXTEND.
- 9 EXISTING RELOCATED IRRIGATION CONTROLLER CABINET AND WP RECEPTACLE. RECONNECT TO NEW CIRCUIT. COORDINATE WITH IRRIGATION CONSULTANT.
- 10 PROVIDE NEW VERTICAL WIREMOLD RISER AND INTERCEPT EXISTING HORIZONTAL WIREMOLD AND CONNECT TO NEW PANEL "A" C/B.
- 11 PROVIDE TWO CHANNEL (POWER, DATA) WIREMOLD TO UNDERSIDE OF COUNTER. COORDINATE EXACT LOCATION WITH ARCHITECTURAL MILL WORK.
- 12 INTERCEPT EXISTING TELEPHONE "MPOE" AND EXTEND TO NEW TELEPHONE BACKBOARD.
- 13 REFER TO MOUNTING REQUIREMENTS OF HAND DRYER MANUFACTURER.



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NO	DATE	BY	DESCRIPTION
1		JL	ADDENDUM #1
REVISIONS			

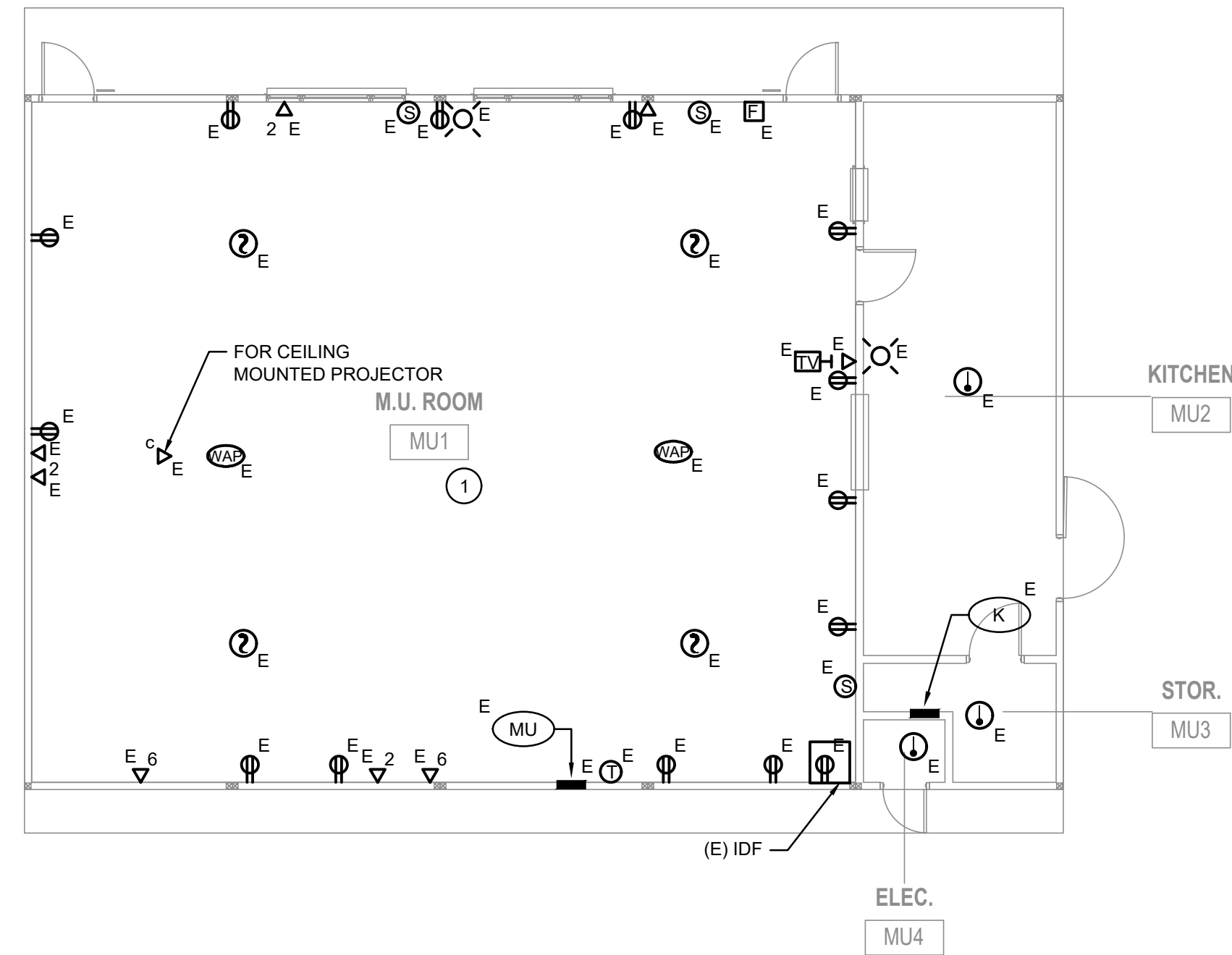
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DATE: 11/26/18
PROJECT NUMBER: 1719800

BLDGS A1 DEMO &
REMODEL POWER &
SIGNAL PLANS

DRAWING
NUMBER: **E2.2**

KEY NOTES

- ① EXISTING DEVICES REMOVED FROM CEILINGS AND THE NORTH, EAST, SOUTH WALLS TO BE SAVED. PROTECT WIRING FOR RECONNECTION AFTER NEW GYPSUM BOARD IS INSTALLED.

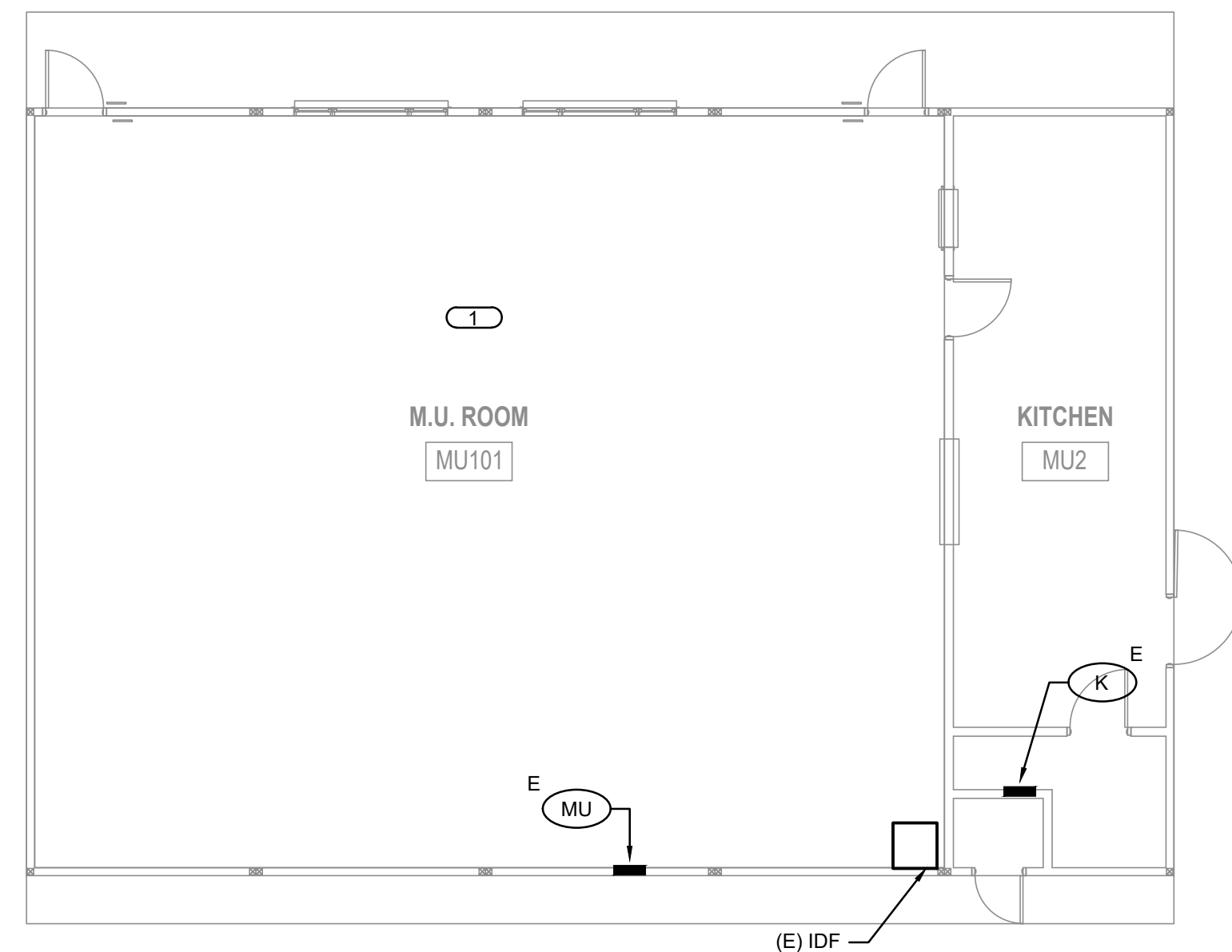


BLDG MU DEMO POWER & SIGNAL PLAN

1/8"=1'-0"

KEY NOTES

- 1 RECONNECT AND REINSTALL AFTER CLEANING THE EXISTING SAVED CEILING & WALL MOUNTED DEVICES TO EXISTING WIRING AND CIRCUITS. PROVIDE NEW FACE PLATES TO MATCH EXISTING FOR ALL RECEPTACLES AND SWITCHES.

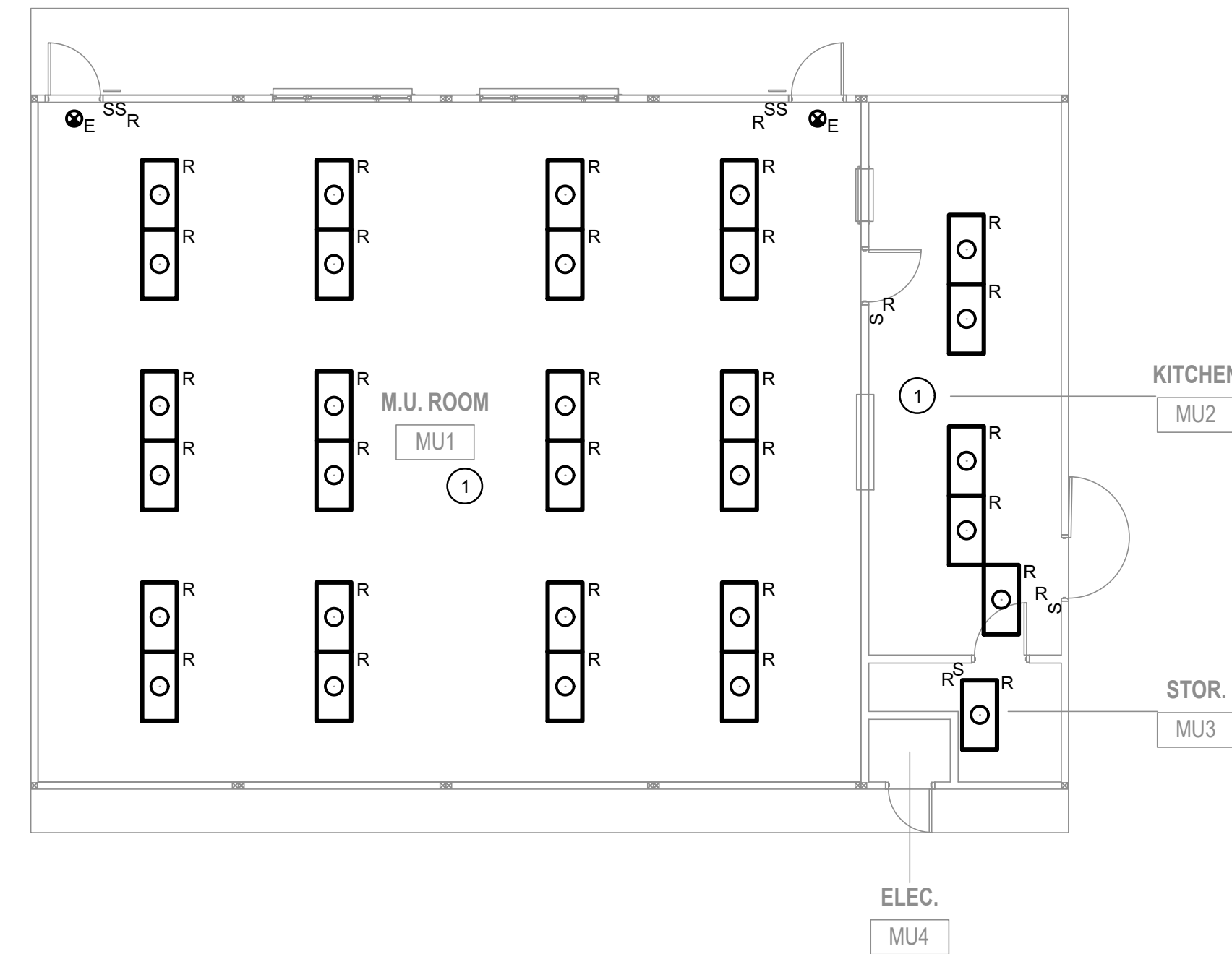


BLDG MU REMODEL POWER & SIGNAL PLAN

1/8"=1'-0"

KEY NOTES

- ① EXISTING LIGHT FIXTURES TO BE REMOVED, EXISTING CIRCUITS TO BE PREPARED FOR RECONNECTION TO NEW LIGHT FIXTURES.

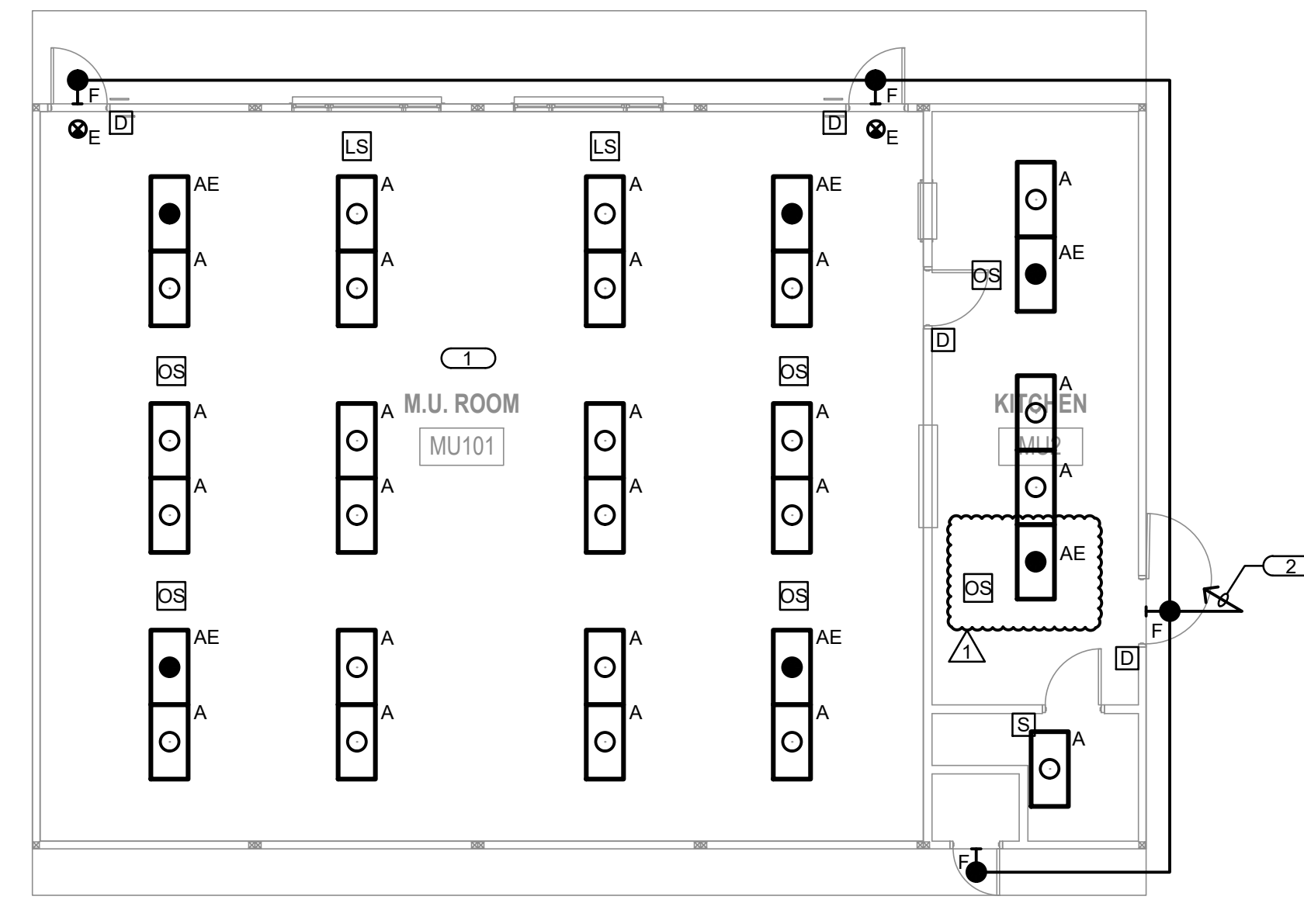


BLDG MU DEMO LIGHTING PLAN

1/8"=1'-0"

KEY NOTES

- 1 RECONNECT NEW LIGHT FIXTURES TO EXISTING CIRCUITS
- 2 RECONNECT TO EXISTING CIRCUITS.



BLDG MU REMODEL LIGHTING PLAN

1/8"=1'-0"

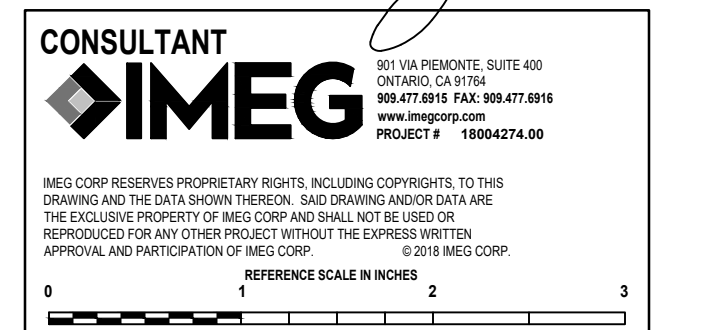
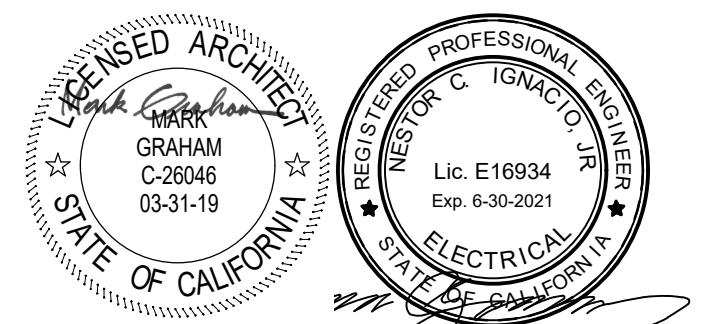
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PROJECT NUMBER: 1719800	

**BLDG MU DEMO &
REMODEL LIGHTING,
POWER & SIGNAL PLANS**

DRAWING NUMBER: **E2.3**