

ARCHITECTS CLIENT FOCUSED. PASSION DRIVEN.

November 18, 2019

TO : All Bidders FROM : Mark Graham

PROJECT: Rio Vista Elementary School Modernization

Project 1719800.41

SUBJECT: Addendum 1

DSA : 04-118156 / File 36-55

The following changes, omissions, and/or additions to the Project Manual and/or Drawings shall apply to proposals made for and to the execution of the various parts of the work affected thereby, and all other conditions shall remain the same.

Careful note of the Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades shall be fully advised in the performance of the work which will be required of them.

Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

In case of conflict between Drawings, Project Manual, and this Addendum, this Addendum shall govern.

1. ADD ALTERNATES

- 1.1 NO. 1 All roller shades identified for all buildings other than Building "A1", per Specification Section 12 24 00 will be an Add Alternate 1 for this project. Building "A1" roller shades shall be part of the base bid.
- 1.2 NO. 2 See attachment SK27 for Add Alternate 2. This will include all landscape and irrigation improvements as shown on Landscape drawings that affect the area clouded on SK27. All irrigation, valves, timers, and plantings shall be required for remaining planter areas not called out in SK27.

GENERAL ITEMS FOR ALL TRADES

- 1.3 Contractor shall provide R30 batt insulation in roof structure for all of Building A1. Exclude Lounge A9.
- 1.4 Contractor shall provide plywood backing behind mirrors to plumb mirrors with wainscot tiled walls. Hold plywood back 1" from all edges. Paint to match walls typical.
- 1.5 The word "lanscape" shall mean "landscape" typical throughout.
- 1.6 Use Detail 3A/2.1 for expansion joints where cast-in-place wall meets sidewalks or ramps for Details 4/2.1, 5/2.1, and 6/2.1.
- 1.7 See attached "Material List" for selected colors and materials for this project.

- 1.8 See attached "Phasing Plan" for critical dates, times, temporary fencing location, and basic site requirements that shall be observed during construction and items that may affect the contractor's bid.
- 1.9 Contractor shall keep the fire alarm fully operational during entire remodel, including school holidays and breaks. Currently, it is located in Building "A1" where the bulk of work is occurring.
- 1.10 Contractor shall keep the bells/school clock operational at all times while school is in session. Coordinate with District for requirements over summertime hours.
- 1.11 Contractor shall keep the current PA system operational at all times while school is in session. Coordinate with District for requirements over summertime hours.
- 1.12 Provide 3' wide x 8' high Contra Vision Performance perforated window film white on black polymeric vinyl Grayliner 20% transparency on aluminum store front door at Building "A". Graphic image to be provide by Architect at later date.
- 1.13 Contractor to provide 60 linear feet of 4' high tackable wall board in Lounge A8. Locations to be determined during construction. See specification for tackable wall board requirements.
- 1.14 Contractor to paint the underside of the roof overhangs on both east and west side of Building "A1". East side has large canopy overhang with several conduits that shall be painted as well.
- 1.15 Contractor shall provide concrete yard boxes with steel vandal proof lids for in-ground shut-off valves as shown between Buildings "A1" and "C". Repair all concrete surfaces to original.
- 1.16 See attached renderings for Building "A1" exterior paint finish. Multiple colors and shapes are proposed.
- 1.17 Contractor shall paint the west face of Building "A". See attached Drawing 9.5 for proposed color and graphic.
- 1.18 All work in Building "MU" & Building A Classrooms A2, A3, A4 & A5 shall be completed between June 6, 2020 and July 19, 2020.
- 1.19 Contractor shall provide (1) CAT 5E cable from A.V. Stor. A10 to irrigation controller. Cable shall be ran in 3/4" PVC conduit typical.
- 1.20 All exterior windows will be sealed insulated glass per Section 08 80 00.
- 1.21 The word "Minte" shall be "Minute" typical throughout.

PROJECT MANUAL

- 1.22 SECTION 02 41 19 SELECTIVE DEMOLITION
 - A. Add the attached section in its entirety.
- 1.23 SECTION 08 80 00 GLAZING

Revise - 2.6 Laminated glass products

- A. Laminated Safety Glass
 - 1. Glass: Class 1 "Clear for both plies"
 - 2. Color of Plastic Interlayer "Color selected by Architect".
- 1.24 SECTION 09 30 12 CERAMIC TILE WALL FINISHING
 - A. Add the attached section in its entirety.
- 1.25 SECTION 09 30 15 PORCELAIN TILE WALL FINISHING
 - A. Delete this section in its entirety.
- 1.26 SECTION 09 65 71 TEXTILE SHEET FLOORING
 - A. Delete this section in its entirety.
- 1.27 SECTION 12 24 13 ROLLER SHADES
 - A. Delete this section in its entirety and replace with the attached Section 12 24 00.

DRAWINGS

Civil

- 1.28 DRAWING C2.02
 - A. Replace this drawing in its entirety with attached C2.02.

Landscape

- 1.29 DRAWING LI.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing LI.1.
- 1.30 DRAWING LID.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing LID.1.

1.31 DRAWING LP.1

A. Delete this drawing in its entirety and replace it with the attached Drawing LP.1.

1.32 DRAWING LPD.1

A. Delete this drawing in its entirety and replace it with the attached Drawing LPD.1.

Architectural

1.33 DRAWING A1.1

A. Detail 1

1. Revise drawing per attached SK1.

1.34 DRAWING A1.2

A. Detail 3

1. Revise Note 1029 on accessible parking stall to 1030 per the attached SK2.

1.35 DRAWING A2.0

A. REFERENCE NOTES

1. Replace Note 0670 with Keynote 0016 which reads "DEMO AND DISPOSE (E) SINK AND ASSOCIATED PLUMBING ITEMS, REF PLUMBING DWGS".

1.36 DRAWING A2.3

A. Detail 6

1. Add dimension to parking lot striping per attached SK3.

1.37 DRAWING A2.4

A. Detail 1

- 1. Delete Ref Note 0124 at northeast corner of building.
- Add Note 0124 and leader to electrical box that is west of "OFFICE 1" on exterior wall.
- 3. Revise "5'-0"" to "6'-0"" for new AV STOR. Room dimension for north/south dimension.
- 4. Add a pair of 3'-0" gates as shown in attached SK4. Gate shall be 6'-0" high and used for maintenance operations only. See similar details from 19/2.1.

- B. Detail 2
 - 1. Revise sketch per attached SK5.

1.38 DRAWING A3.1

- A. Detail 2
 - 1. Replace detail with the attached SK6.
- B. Detail 4
 - 1. Add "AND BLDG C" to detail title.

1.39 DRAWING A4.1

- A. Detail 1
 - 1. Replace detail with the attached SK26.
- B. Detail 2
 - 1. Replace detail with the attached SK7.
- C. Detail 4
 - 1. Replace detail with the attached SK8.
- D. Detail 6
 - 1. Replace detail with the attached SK9.
- E. Detail 7
 - 1. Replace detail with the attached SK10.
- F. Detail 14
 - 1. Add note "caulk all fasteners that penetrate exterior wall finish typical."

1.40 DRAWING A6.1

- A. Replace Drawing A6.1 in its entirety with the attached Drawing A6.1.
 - 1. Detail 3D
 - a. Add Detail Callout 2 per the attached SK11.

2. Detail 3E

a. Add Detail Callout 1 per the attached SK11.

1.41 DRAWING A6.2

A. Add GENERAL NOTES per attached SK12. VERBAGE CLARIFICATION.

1. Detail 1

- Revise Note 0128 to read "DEMO AND DISPOSE (E) URINAL, REMOVE DAMAGED TILES AND PATCH WALL WITH NEW TILES TO MATCH EXISTING, PREP FOR NEW FIXTURE"
- b. Revise Note 0129 to read "RELOCATE (E) ADA GRAB BAR TO ACCESSIBLE ELEMENTARY RANGE, REMOVE DAMAGED TILES AND PATCH WALL WITH NEW TILES TO MATCH EXISTING, REF MOUNTING HEIGHT SCHEDULE 24/10.2, SEE DTL 18/10.1"
- c. Revise Note 0127 to read "DEMO AND DISPOSE (E) TOILET, REMOVE DAMAGED TILES AND PATCH WALL WITH NEW TILES TO MATCH EXISTING, PREP FOR NEW TOILET FIXTURE"

2. Detail 2

- a. (Floor plan view) For Boys' C101 revise Ref Note "1032" to "1033" and revise "1033" to "1032".
- b. Revise Note 2205 to read "(N) URINAL TO MATCH EXISTING, REF PLUMBING DWGS & MOUNTING HEIGHT SCHEDULE 24/10.1"
- c. Replace Note 2209 with Note 2203 which reads "(N) ACCESSIBLE TOILET, REF PLUMB DWGS & REF MOUNTING HEIGHT SCHEDULE 24/10.1"
- d. Revise Note 2206 to read "(N) LAVATORY, REF PLUMB DWGS & REF MOUNTING HEIGHT SCHEDULE 24/10.1"

1.42 DRAWING A6.3

A. REFERENCE NOTES

1. Revise Note 0908 from "(N) 4" EPOXY BASEBOARD" to "(N) 4" EPOXY INTEGRAL COVE BASE".

1.43 DRAWING A6.4

A. REFERENCE NOTES

- 1. Replace entire drawing with attached A6.4.
- 2. Add Detail 8/A6.4, MU Room West Elevation.
- B. Detail 5
 - 1. Add wall section detail per the attached SK13.

1.44 DRAWING A7.1

- A. Replace Drawing A7.1 in its entirety with the attached Drawing A7.1.
- B. Detail 4
 - 1. Add wall section Detail 1 per the attached SK14.

1.45 DRAWING 2.1

- A. Detail 3
 - 1. Replace detail with attached SK15.
- B. Detail 6
 - 1. Replace detail with attached SK16.
- C. Detail 10
 - 1. Revise detail to use a 1" chamfer only for the planter side of the seat wall. Staggered chamfer is not required at planter side.
- D. Detail 21
 - 1. Revise "anchor pin" to "steel anchor pin"
- E. Replace detail 22 with attached SK17.

1.46 DRAWING 8.1

- A. Detail 4
 - 1. Delete detail in entirety.

- B. Detail 5
 - 1. Replace detail with attached SK18.
- C. Door Schedule
 - 1. Replace Door Schedule with the attached SK19.
- D. Door Type Legend
 - 1. Replace Door Type Legend with the attached SK20.
- E. Window Schedule
 - 1. Replace window schedule with attached SK21.

1.47 DRAWING 9.1

- A. Detail 1
 - 1. Revise "Porcelain Wall Tile" to say "Ceramic Wall Tile".
- B. Detail 3
 - 1. Revise "Porcelain Wall Tile" to say "Ceramic Wall Tile".
- C. Detail 4
 - Add "Ceramic tile" and leader to tiles.
- D. Detail 9
 - 1. Replace with attached SK22.
- E. Detail 10
 - 1. Add "Ceramic tile" and leader to tiles on both sides of wall.
- F. Detail 18
 - 1. Revise "ti" to "to".
- G. Detail 24
 - 1. Delete "Note: See...surfaces, typical".

1.48 DRAWING 9.3

A. Add attached new Drawing 9.3 in its entirety.

- 1.49 DRAWING 9.4
 - A. Add attached new Drawing 9.4 in its entirety.
- 1.50 DRAWING 9.5
 - A. Add attached new Drawing 9.5 in its entirety.
- 1.51 DRAWING 10.2
 - A. Detail 4
 - 1. Replace detail with attached SK23.
 - B. Detail 5
 - 1. Replace detail with attached SK24.
 - C. Detail 9
 - 1. Replace detail with attached SK25.

<u>Structural</u>

- 1.52 **DRAWING S0.1**
 - A. Delete this drawing in its entirety and replace it with the attached Drawing S0.1.
- 1.53 **DRAWING \$0.2**
 - A. Delete this drawing in its entirety and replace it with the attached Drawing S0.2.
- 1.54 DRAWING \$1.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing \$1.1.
- 1.55 DRAWING \$2.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing S2.1.
- 1.56 DRAWING 3.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing S3.1.

1.57 DRAWING \$3.2

A. Delete this drawing in its entirety and replace it with the attached Drawing \$3.2.

1.58 **DRAWING S4.1**

A. Delete this drawing in its entirety and replace it with the attached Drawing \$4.1.

1.59 DRAWING \$4.2

A. Delete this drawing in its entirety and replace it with the attached Drawing \$4.2.

Mechanical

- 1.60 DRAWING M 2.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing M 2.1.
- 1.61 DRAWING M 2.2
 - A. Add the attached Drawing M 2.2 in its entirety.
- 1.62 DRAWING M 3.1
 - A. Delete this drawing in its entirety and replace it with the attached Drawing M 3.1.

Plumbing

- 1.63 DRAWING P4.1
 - A. Delete this drawing and replace with the attached Drawing P4.1 in its entirety.

Electrical

- 1.64 DRAWING E0.2
 - A. Replace this drawing with the attached Drawing E0.2 in its entirety.
- 1.65 DRAWING E2.1
 - A. Replace this drawing with the attached Drawing E2.1 in its entirety.
- 1.66 DRAWING E2.2
 - A. Replace this drawing with the attached Drawing E2.2 in its entirety.

1.67 DRAWING E2.3

A. Replace this drawing with the attached Drawing E2.3 in its entirety.

BID DOCUMENTS SECTION DIVISION 00

A. BID FORM

1. Added two alternates to the BID FORM.

END OF ADDENDUM 1

Mark Graham

Submitted by,

MARK GRAHAM Architect, AIA LEEDTM GA NOMA

Principal

MG:SJ:br/P41720100x1-add

Attachments: Material List

Phasing Plan Renderings

Section 02 41 19 - Selective Demolition Section 09 30 12 - Ceramic Tile Wall Finishing

Section 12 24 00 - Window Shades Clutch XD Operated Window Shades

Drawings: SK27, 9.5, C2.02, LI.1, LID.1, LP.1, LPD.1, SK1, SK2, SK3, SK4, SK5, SK6, SK26, SK7, SK8, SK9, SK10, A6.1, SK11, SK12, A6.4, SK13, A7.1, SK14, SK15, SK16, SK17, SK18, SK19, SK20, SK21, SK22, 9.3, 9.4, 9.5, SK23, SK24, SK25, SO.1, SO.2, S1.1, S2.1, S3.1, S3.2,

\$4.1, \$4.2, M 2.1, M 2.2, M 3.1, P4.1, E0.2, E2.1, E2.2, E2.3

ASBESTOS REPORT LEAD REPORT BID FORM

4. Alternate Bids:

ALTERNATE NO. 1 - NO. 1 - All roller shades identified for all buildings other than Building "A1", per Specification Section 12 24 00 will be an Add Alternate 1 for this project. Building "A1" roller shades shall be part of the base bid. \$

ALTERNATE NO. 2 - NO. 2 - See attachment SK27 for Add Alternate 2. This will include all landscape and irrigation improvements as shown on Landscape drawings that affect the area clouded on SK27. All irrigation, valves, timers, and plantings shall be required for remaining planter areas not called out in SK27.

\$ ______ e the CONTRACTOR has received the notice to proceed, the CONTRACTOR shall complete the work in the time specified in the Agreement. By submitting this bid, CONTRACTOR has thoroughly studied this Project and agrees that the time period for this Project was adequate for the timely and proper completion of the Project. Further, CONTRACTOR has included in the analysis of the time required for this Project, Rain Days, Governmental Delays, and the requisite time to complete Punch List.

In the event that the DISTRICT desires to postpone giving the notice to proceed beyond this ninety (90) day period, it is expressly understood that with reasonable notice to the CONTRACTOR, giving the notice to proceed may be postponed by the DISTRICT. It is further expressly understood by the CONTRACTOR, that the CONTRACTOR shall not be entitled to any claim of additional compensation as a result of the postponement of giving the notice to proceed.

If the CONTRACTOR believes that a postponement will cause a hardship to it, the CONTRACTOR may terminate the contract with written notice to the DISTRICT within ten (10) days after receipt by the CONTRACTOR of the DISTRICT's notice of postponement. Should the CONTRACTOR terminate the contract as a result of a notice of postponement, the DISTRICT shall have the authority to award the contract to the next lowest responsible bidder, if applicable.

It is understood that the DISTRICT reserves the right to reject any or all bids and/or waive any irregularities or informalities in this bid or in the bid process. The CONTRACTOR understands that it may not withdraw this bid for a period of ninety (90) days after the date set for the opening of bids.

- 6. Attached is bid security in the amount of not less than ten percent (10%) of the total bid: Bid bond (10% of the Bid), certified check, or cashier's check (circle one)
- 7. The required List of Designated Subcontractors is attached hereto.
- 8. The required Non-Collusion Declaration is attached hereto.
- 9. The Substitution Request Form, if applicable, is attached hereto.
- 10. It is understood and agreed that if written notice of the acceptance of this bid is mailed, telegraphed, or delivered to the undersigned after the opening of the bid, and within the time this bid is required to remain open, or at any time thereafter before this bid is withdrawn, the undersigned will execute and deliver to the DISTRICT a contract in the form attached hereto in accordance with the bid as accepted, and that he will also furnish and deliver to the DISTRICT the Performance Bond and Payment Bond, all within five (5) calendar days after award of contract, and that the work under the contract shall be commenced by the undersigned bidder, if awarded the contract, by the start date provided in the DISTRICT's Notice to Proceed, and shall be completed by the CONTRACTOR in the time specified in the contract documents.
- 11. All notices or other correspondence should be addressed to the undersigned at the address stated below:

01 ADD

SECTION 02 41 19

SELECTIVE DEMOLITION

1. PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Removal of designated building equipment and fixtures.
- B. Removal of designated construction.
- C. Disposal of materials.
- D. Cap and identify utilities.
- E. Temporary partitions to allow building occupancy.
- F. Temporary fire protection.
- G. Schedule of materials and equipment.

1.2 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site.
- B. Disposal: Removal off-site of demolition waste and subsequently deposit in landfill acceptable to authorities having jurisdiction.
- C. Existing to Remain: Items of construction that are not to be removed and that are not indicated to be removed.

1.3 MATERIALS OWNERSHIP

- A. Historic items, relics, cornerstones, commemorative plaques, tablets and similar objects encountered during demolition are to remain the Owner's property.
- B. Carefully remove each item in a manner to prevent damage and deliver to Owner.

1.4 SUBMITTALS

- A. Predemolition Photographs: Show conditions of exiting adjacent construction and site improvements that might be misconstrued as damaged by demolition operations. Submit before work begins.
- B. Record Documents: Submit under provisions of Section 01 77 00. Accurately record locations of utilities and subsurface obstructions.

1.5 REGULATORY REQUIREMENTS

- A. Conform to applicable codes for demolition work, safety of structure, electrical disconnection and reconnection dust control and disposal of materials.
- B. Comply with California Fire Code (CFC), California Code of Regulations, (CCR) Title 24, Part 9, Chapter 5 Fire Service Features and Chapter 33 Fire Safety During Construction and Demolition.
- C. Obtain required permits from authorities.
- D. Notify affected utility companies before starting work and comply with their requirements.
- E. Do not close or obstruct egress width to exits.

SELECTIVE DEMOLITION 02 41 19

F. Do not disable or disrupt building fire or life safety systems without 3 day prior written notice to the Owner.

1.6 EXISTING CONDITIONS

- A. Areas of buildings to be demolished will be evacuated and their use discontinued before start of work.
- B. Owner will occupy building(s) adjacent to demolition area. Conduct demolition so owner's operation will not be disrupted.
- C. Provide at least 72 hour notice to Owner of activities that will affect Owner's operation.
- D. Maintain access to existing walkways, exits and other adjacent occupied facilities.
- E. Owner assumes no responsibility for areas of buildings to be demolished.
- F. Hazardous Materials: It is not anticipated that hazardous materials will be encountered in the work.
 - 1. Hazardous materials will be removed by Owner before start of work.
 - 2. Hazardous materials will be removed by Owner under separate contract.
 - If materials suspected of containing hazardous materials are encountered, do not disturb. Notify Architect.
 - 4. Conform to applicable regulatory procedures when discovering hazardous or contaminated materials.

1.7 SCHEDULING

- A. Schedule work under provisions of Section 01 32 17.
- B. Schedule Work to coincide with new construction, owner occupancy.
- C. Perform work during normal hours of operation, or 4:00 p.m. to 11:00 p.m.
- D. Notify Owner in writing 5 days in advance of any required work to be performed on a weekend or holiday.
- E. Perform noisy, malodorous, dusty, or dangerous work:
 - 1. Between the hours of 4:00 p.m. and 11:00 p.m.
- F. Coordinate utility and building service interruptions with Owner.
- G. Schedule tie-ins to existing systems to minimize disruption.
- H. Coordinate Work to ensure fire sprinklers, fire alarms, smoke detectors, emergency lighting, exit signs and other life safety systems remain in full operation in occupied areas.

1.8 PROJECT CONDITIONS

- A. Conduct demolition to minimize interference with adjacent and occupied building areas.
- B. Cease operations immediately if structure appears to be in danger and notify Architect. Do not resume operations until directed.

2. PART 2 PRODUCTS

Not Used.

3. PART 3 EXECUTION

3.1 EXAMINATION

- A. Correlate existing conditions with requirements indicated.
- B. Inventory and record condition of items to be removed and salvaged.
- C. Execute predemolition photographs.
- D. Verify that hazardous waste remediation is complete.

3.2 PREPARATION

- A. Existing Utilities: Locate, identify, disconnect and seal or cap off indicated utilities serving areas to be demolished.
- B. Protect existing items which are not indicated to be salvaged, removed, or altered.
- C. Erect and maintain weatherproof closures for exterior openings.
- D. Erect and maintain temporary partitions to prevent spread of dust, fumes, noise, and smoke to provide for Owner occupancy as specified in Section 01 11 00.

3.3 DEMOLITION

- A. Conduct demolition to minimize interference with adjacent and occupied building areas.
- B. Cease operations immediately if structure appears to be in danger. Notify Architect. Do not resume operations until directed.
- C. Maintain protected egress and access to the Work.
- D. Maintain fire safety during demolition in accordance with CFC, Chapter 33.
- E. Demolish in an orderly and careful manner. Protect existing supporting structural members.

3.4 DISPOSAL OF DEMOLISHED MATERIALS

- A. Except for items to be reused, reinstalled, or otherwise indicated to remain, remove demolished materials from Project site and legally dispose of them in an EPA approved landfill.
- B. Do not burn or bury materials on site.

3.5 CLEANING

- A. Clean adjacent structures and improvements of dust, dirt and debris caused by demolition.
- B. Remove temporary construction.
- C. Return adjacent areas to condition existing before demolition operations began.
- D. Leave site in a clean condition.

3.6 SCHEDULES

- Protect the following materials and equipment to remain operational at all times: A.
 - 1. Campus bell system.
 - 2. Fire alarm system.
 - 3. Intercom system.

END OF SECTION

SECTION 09 30 12

CERAMIC TILE WALL FINISHING

1. PART 1 GENERAL

1.1 SECTION INCLUDES

A. Ceramic tile wall and wainscot finish using the thinset application method.

1.2 REFERENCES

- A. ANSI/TCA A108.5 Ceramic Tile Installed with Dry-Set Portland Cement Mortar or Latex Portland Cement Mortar.
- B. ANSI/TCA A108.11 Interior Installation of Cementitious Backer Units.
- C. ANSI/TCA A118.1 Dry-Set Portland Cement Mortar.
- D. ANSI/TCA A118.4 Latex-Portland Cement Mortar.
- E. ANSI/TCA A118.7 Polymer Modified Ceramic Tile Grouts.
- F. ANSI/TCA A118.9 Test Methods and Specifications for Cementitious Backer Units.
- G. ANSI/TCA A137.1 Specifications for Ceramic Tile.
- H. ASTM C847 Standard Specifications for Metal Lath.
- I. ASTM D226 Asphalt-Saturated Felt Used in Roofing and Waterproofing.
- J. TCA (Tile Council of America) Handbook for Ceramic Tile Installation.

1.3 SUBMITTALS

A. Submit samples under provisions of Section 01 33 00.

1.4 QUALITY ASSURANCE

- A. Conform to ANSI/TCA A137.1 for tile material.
- B. Conform to ANSI/TCA Standards and TCA Handbook for tile installation.

1.5 QUALIFICATIONS

- Manufacturer: Company specializing in the manufacture of products specified in this Section with minimum five years documented experience.
- B. Installer: Company specializing in applying the Work of this Section with minimum five years documented experience.

1.6 ENVIRONMENTAL REQUIREMENTS

A. Maintain 50 degrees F during installation of mortar materials.

1.7 EXTRA MATERIALS

- A. Provide extra quantity of full size tile and trim shape units to Owner under provisions of Section 01 77 00.
- B. Provide quantity equal to 5 percent of units installed of each shape and color.

CERAMIC TILE WALL FINISHING 09 30 12

2. PART 2 PRODUCTS

2.1 MANUFACTURERS - TILE

- A. American Olean Tile Co., Inc., www.aotile.com.
- B. Dal-Tile Corp., www.daltile.com.
- C. Substitutions: Under provisions of Section 01 25 13.

2.2 TILE MATERIAL

- A. Ceramic Wall Tile: ANSI/TCA A137.1, conforming to the following:
 - Type 1: American Olean Perspecta 8" x 24" wall tile Starburst Yellow PE14 (2).
 - Type 2: Backsplash Daltile Rittenhouse Square 2" x 4" SWCH Arctic White STD.
 - Type 3: Trim American Olean Perspecta 1/2" x 12" L Jolly S1212J Starburst Yellow PE23 (2).

2.3 MANUFACTURERS - MORTAR AND GROUT

- A. American Olean Tile Co., Inc., www.aotile.com.
- B. Dal-Tile Corp., www.daltile.com
- C. Substitutions: Under provisions of Section 01 25 13.

2.4 MORTAR MATERIALS

- A. Portland Cement Mortar Materials: ANSI/TCA A118.1.
- B. Latex-Portland Cement Mortar: ANSI/TCA A118.4 and the following:
 - 1. Acrylic resin latex additive.
 - 2. Dry mortar mix supplied by latex manufacturer.

2.5 GROUT MATERIALS

- A. Portland Cement Grout Materials: ANSI/TCA A118.7.
- B. Latex-Portland Cement Grout: ANSI/TCA A118.7 of color selected and the following:
 - 1. Acrylic resin latex additive.
 - 2. Microban antimicrobial additive, www.microban.com.
 - 3. Dry mortar mix supplied by latex manufacturer.

2.6 MORTAR MIX AND GROUT MIX

A. Mix and proportion pre-mix setting bed and grout materials in accordance with manufacturer's instructions and referenced standards.

3. PART 3 EXECUTION

3.1 EXAMINATION

A. Verify that surfaces are ready to receive work.

WLC/1719800

CERAMIC TILE WALL FINISHING 09 30 12

B. Beginning of installation means installer accepts condition of existing surfaces.

3.2 PREPARATION

- A. Protect surrounding work from damage or disfiguration.
- B. Vacuum clean existing surfaces and damp clean.
- C. Seal substrate surface cracks with filler. Level existing substrate surfaces to acceptable flatness tolerances.

3.3 INSTALLATION - THINSET METHOD

- Install mortar, tile, and grout in accordance with ANSI/TCA 108.5 and applicable tile installation standards of the TCA Handbook.
- B. Install membrane over substrate; weatherlap horizontal edges 4 inches, vertical edges 6 inches.
- C. Lay tile to pattern indicated. If not indicated, request from Architect. Do not interrupt tile pattern around openings.
- Cut and fit tile tight to penetrations through tile. Form corners and bases neatly. Align wall, base, and floor joints.
- E. Place tile joints uniform in width, subject to variance in tolerance allowed in tile size. Make joints watertight, without voids, cracks, excess mortar or excess grout.
- F. Form internal angles square and external angles square.
- G. Sound tile after setting. Replace hollow sounding units.
- H. Keep control joints free of mortar or grout. Apply sealant to joints.
- I. Allow tile to set for a minimum of 48 hours prior to grouting.
- J. Grout tile joints.
- K. Apply sealant to junction of tile and dissimilar materials and junction of dissimilar planes.

3.4 CLEANING

- A. Clean work under provisions of 01 77 00.
- B. Clean tile surfaces.

END OF SECTION

SECTION 12 24 00

WINDOW SHADES CLUTCH XD OPERATED WINDOW SHADES

PART 1 GENERAL

1.1 SECTION INCLUDES

A. Manually operated, roll-up fabric interior window shades including mounting and operating hardware.

1.2 RELATED SECTIONS

A. Section 09 51 23 - Acoustical Tile Ceilings.

1.3 REFERENCES

- A. NFPA 701-99 Fire Tests for Flame-Resistant Textiles and Films.
- B. GREENGUARD Environmental Institute Gold.
- C. US Green Building Council.

1.4 SUBMITTALS

- A. Submit under provisions of Section 01 33 00.
- B. Product Data: Manufacturer's data sheets on each product specified, including:
 - 1. Preparation instructions and recommendations.
 - 2. Installation and maintenance instructions.
 - 3. Styles, material descriptions, dimensions of individual components, profiles, features, finishes and operating instructions.
 - 4. Storage and handling requirements and recommendations.
 - 5. Mounting details and installation methods.
- C. Shop Drawings: Plans, elevations, sections, product details, installation details, operational clearances, and relationship to adjacent work.
- D. Window Treatment Schedule: For all roller shades. Use same room designations as indicated on the Drawings, field verified window dimensions, quantities, type of shade, controls, fabric, and color, and include opening sizes and key to typical mounting details.
- E. Selection Samples: For each finish product specified, two complete sets of shade cloth options and aluminum finish color samples representing manufacturer's full range of available colors and patterns.
- F. Verification Samples: For each finish product specified, two complete sets of shade components, unassembled, demonstrating compliance with specified requirements. Shade fabric sample and aluminum finish sample as selected, representing actual product, color, and patterns. Mark face of material to indicate interior faces.
- G. Maintenance Data: Methods for maintaining roller shades, precautions regarding cleaning materials and methods, instructions for operating hardware.
- H. Manufacturer's Certificates: Certify products meet or exceed specified requirements.

1.5 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Obtain roller shades through one source from a single manufacturer with a minimum of twenty years experience in manufacturing products comparable to those specified in this section.
- B. NFPA Flame-Test: Passes NFPA 701. Materials tested shall be identical to products proposed for use.
- C. Mock-Up: Provide a mock-up of one of each type roller shade assembly specified for evaluation of mounting, appearance and accessories.
 - 1. Locate mock-up in window(s) designated by Architect.
 - 2. Do not proceed with remaining work until mock-up is accepted by Architect.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Do not deliver window shades until building is enclosed and construction within spaces where shades will be installed is substantially complete.
- B. Deliver products in manufacturer's original, unopened, undamaged containers with labels intact.
- C. Label containers and shades according to Window Shade Schedule.
- D. Store products in manufacturer's unopened packaging until ready for installation.

1.7 SEQUENCING

- A. Ensure that locating templates and other information required for installation of products of this section are furnished to affected trades in time to prevent interruption of construction progress.
- B. Ensure that products of this section are supplied to affected trades in time to prevent interruption of construction progress.

1.8 PROJECT CONDITIONS

A. Install roller shades after finish work and ambient temperature, humidity and ventilation conditions are maintained at levels recommended for project upon completion.

1.9 WARRANTY

A. Hardware and Shade Fabric: Draper's standard twenty-five year limited warranty.

1.10 MANUFACTURERS

- A. Acceptable Manufacturer: Draper, Inc., which is located at: 411 S. Pearl P. O. Box 425; Spiceland, IN 47385-0425. ASD. Toll Free Tel: 800-238-7999; Tel: 765-987-7999; Fax: 866-637-5611; Web:www.draperinc.com.
- B. Substitutions: As equal.
- Requests for substitutions will be considered in accordance with provisions of Section 01 25 13.

1.11 MANUALLY OPERATED WINDOW SHADES

- A. Manually Operated Window Shades with Independent Control: Manually operated, vertical roll-up, fabric window shade with components necessary for complete installation; Manual FlexShade XD as manufactured by Draper, Inc.
 - 1. Operation: Bead chain and clutch operating mechanism allowing shade to stop when chain is released. Designed never to need adjustment or lubrication. Provide limit stops to prevent shade from being raised or lowered too far.
 - a. Clutch mechanism: Fabricated from POM thermoplastic with welded 0.354 inch (9 mm) primary steel post with rotational bearing, overrunning design, and positive mechanical engagement of drive mechanism to tube. White or Black color as selected by Architect. Center bead chain placement for right or left hand operation and accommodates side channel with no adjustment of chain location.
 - b. Bead chain loop: Stainless steel bead chain.
 - c. Bead chain loop: Polyester bead chain, Ivory, Grey, White, Bronze or Black color as selected by Architect.
 - d. Bead Chain Hold Down: P-Clip.
 - e. Bead Chain Hold Down: Spring-Loaded Tensioner.
 - 2. Rollers: Extruded aluminum roller tube of appropriate diameter to support shade fabric with minimal deflection.
 - Minimum Roller Tube Diameter: 1.56 inches.
 - b. Fabric Connection to Roller Tube: Spline fabric/roller attachment system to allow shade fabric to be removed from roller without having to remove roller from brackets.
 - c. Fabric Length: 6 inches greater than window height minimum.
 - Bottom Slat: 13/16 inch aluminum dowel, encased in bottom hem with heat sealed ends.
 - e. Orientation: Regular from back of roller.
 - f. Orientation: Reverse from front of roller.

3. Bottom Slat

- a. Closed pocket elliptical slat: 1" aluminum elliptical slat inside of a 1 5/8" pocket with heat sealed ends
- b. Open pocket elliptical slat: 1" aluminum elliptical slat with plastic ends inside of a 1 5/8" pocket.
- c. Flat exposed hem bar: Small: 7/8" x 5/16" and Large 1½" x 5/16" aluminum rectangular hem bar with plastic end caps. Powder coated in black, bronze, ivory, white or clear anodized.
 - Round exposed hem bar: Small 5/8" and Large 13/16" aluminum with plastic end caps. Powder coated in black, bronze, ivory, white or clear anodized.

4. Mounting:

- a. Endcaps only.
- b. Endcaps and fascia.
- c. Endcaps and headbox.
- d. Headbox.
- e. Ceiling pocket.
- 5. Endcaps: Stamped steel with universal design suitable for mounting to ceiling, wall, and jamb. Provide size compatible with roller size.
 - a. Endcap covers: To match fascia or headbox color.
 - b. Mounted to ceiling.
 - c. Mounted to wall.
 - Mounted to jamb.
- 6. Fascia: L shaped aluminum extrusion to conceal shade roller and hardware.
 - a. Attachment: Snaps onto endcaps without requiring exposed fasteners of any kind. Fascia can be mounted continuously across two or more shade bands. No notching is required.

- b. Shape: Square Fascia Panel.
- c. Finish: Custom powder coat as selected by the Architect.
- 7. Headbox Ceiling/Wall style: Aluminum fabrication with removable closure, endcaps, and back and top cover piece:
 - a. Finish: Custom powder coat as selected by the Architect.
- 8. Light Gap Reduction Channels.
 - a. L Angle 3/4 inch by 1 inch.
 - b. L Angle -1 inch by 2-3/4 inches.
 - c. U Channel -1 inch by 2-1/2 inches.
 - d. H Channel 1 inch by 5 inches.

1.12 FABRIC

- A. Light-Filtering Fabrics
 - SheerWeave Series SW2703: Duplex basketweave fabric-light exterior color combined with dark interior color for thermal comfort and view-through. GREENGUARD Children & Schools, and Gold certified as a low emitting fabric. Manufacturer to supply GREENGUARD Children & Schools, and Gold certificate. Fire rating: NFPA 701. SW2703-3 percent open.
- B. Color and pattern: SW2703-P28 3% Oyster/Charcocal.

PART 2 EXECUTION

2.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

2.2 PREPARATION

- A. Coordinate requirements for blocking and structural supports to ensure adequate means for installation of window shades.
- B. Coordinate requirements for blocking, construction of shade pockets, and structural supports to ensure adequate means for installation of window shades.
- C. Coordinate installation of recessed shade pockets with construction of suspended acoustical panel ceilings specified in Section 09 51 23.

2.3 INSTALLATION

- A. Install in accordance with manufacturer's instructions.
- B. Install roller shades level, plumb, square, and true. Allow proper clearances for window operation hardware.
- C. Shade pockets:
 - 1. Install shade pockets prior to installation of suspended ceiling system. Attach to supporting structure with screws through top of pocket at 24 inches (610 mm) minimum centers.
 - 2. Install shade pockets in conjunction with installation of suspended ceiling system. Attach to supporting structure with screws through top of pocket at 24 inches (610 mm) minimum centers.
 - 3. Install corner pieces securely and in alignment with pockets.
 - 4. Install pocket ends securely and in alignment with pockets.

- 5. After interior construction is essentially complete, install shade and operating mechanism in pocket.
- D. Install the following items to conceal roller and operating mechanism. Do not use exposed fasteners.
 - 1. Fascias.
 - 2. Closure panels.
 - 3. Endcaps.
- E. Install headbox, side channels, and sill channel with sealant specified in Section 07 92 00 Joint Sealants.
- F. Position shades level, plumb, and at proper height relative to adjacent construction. Secure with fasteners recommended by manufacturer.

2.4 TESTING AND DEMONSTRATION

- A. Test window shades to verify that interface to other building systems and other operating components are functional. Correct deficiencies.
- B. Test window shades to verify that operating mechanism, fabric retainer, and other operating components are functional. Correct deficiencies.
 - 1. Chain and clutch.
- C. During daylight hours, lower shades and turn off interior lights. Verify that there are no light leaks at perimeter or within shade assembly. Correct deficiencies.
- D. Demonstrate operation of shades to Owner's designated representatives.

2.5 PROTECTION

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

2.6 SCHEDULES

A. Refer to Drawings for shade types and locations.

END OF SECTION

Rio Vista Elementary School

Material List

Administration Building

Exterior

Aluminum Letters

• 8" Cast Aluminum, Century Gothic Front, Galvanized Finish

Aluminum Storefront

 Arcadia, AG451 Series Storefront, 2" x 4 ½" & 4 ½" x 4 ½" Center Glazed for 1" Glass, Black Aluminum Mullions

Gutter Color

• 20 GA Prefabricated Pre-Finished Sheet Metal, Gray

Handrails

Galvanized Finish

Slat Fence Color

Privacy Link, Tube Slat, Gray

Silicone Sealant

Dowsil 795 Silicone Building Sealant, Black

Stucco Color

- Dunn Edwards Paint, Honey Glow (DE5354)
- Dunn Edwards Paint, Silver Spoon (DE6366)
- Dunn Edwards Paint, Cool December (DEW383)

Interior

Acoustic Ceiling Panel

- Armstrong, Square Lay-in, 24" x 48" x 5/8", Fine Finished, Cermaguard, White Backsplash
 - Daltile Rittenhouse Square 2x4" SWCH Arctic White STD

Carpet

Mannington – Glitch Art Collection – Crosstalk – Digital Signal

Ceramic Tile

- Perspecta 8" x 24" Wall Tile Starburst Yellow
- Perspecta ½" x 12" Jolly Trim Starburst Yellow

Counter Top

DuPont, Zodiaq, Storm Gray

Glazina

- Vanceva, Color #HHHH, Transparent, Gray
- Vanceva, Color #3466, Transparent, Blue
- Vanceva, Color #000H, Transparent, Gray

Hallow Metal Doors Frame

Anodized Black

Lighting Fixtures

Metalux Skyridge 24" x 48" Troffer LED Module, White

- Metalux, Skyridge, 12" x 48" Troffer LED Module, White
- Halo, 6" Square Lends Downlight and Lens Wall Wash, White
- Halo, Pendant Cylinder, 120V, White Shade

Luxury Vinyl Tile

- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Aura PE111, Bond
- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Azure PE109, Bond
- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Alumina PE119, Bond

Marker Board

 Deko Marker-board, Magnetic, Ghost-free, Optically Clear, Shatterproof, Traditional 4' x 8', Crown Corner Edge, Frameless Marker-board. Color to be selected by Architect within manufacturers standard color line.

Paint

- Dunn Edwards Paint, Rainy Lake (DE5852)
- Dunne Edwards Paint, Honey Glow (DE5354)
- Dunn Edwards Paint, Silver Spoon (DE6366)
- Dunn Edwards Paint, Cool December (DEW383)

Plastic Laminate Cabinets

Pionite, Wedding Cake, WI790SD

Plastic Laminate Doors

Pionite, Wedding Cake, WI790SD

Room Control Signs

Mohawk Sign System
– Gray background, White text, Helvetica Font

Tackable Wall Board

Koroseal - Frost

Walk off Mat

• Tandus – Triad Mat System Geometric Tile – Medium Grey

Window Frames

• Anodized Aluminum - Black

Window Shade Rollers

• Draper, Shade Fabric, 3%, Oyster/Pewter (SW2703/P91)

Multi-Use Building

Interior

Acoustic Ceiling Panel

Armstrong, Square Lay-in, 24" x 48" x 5/8", White

Light Fixtures

Metalux, Skyridge 24" x 48" Troffer LED Module, White

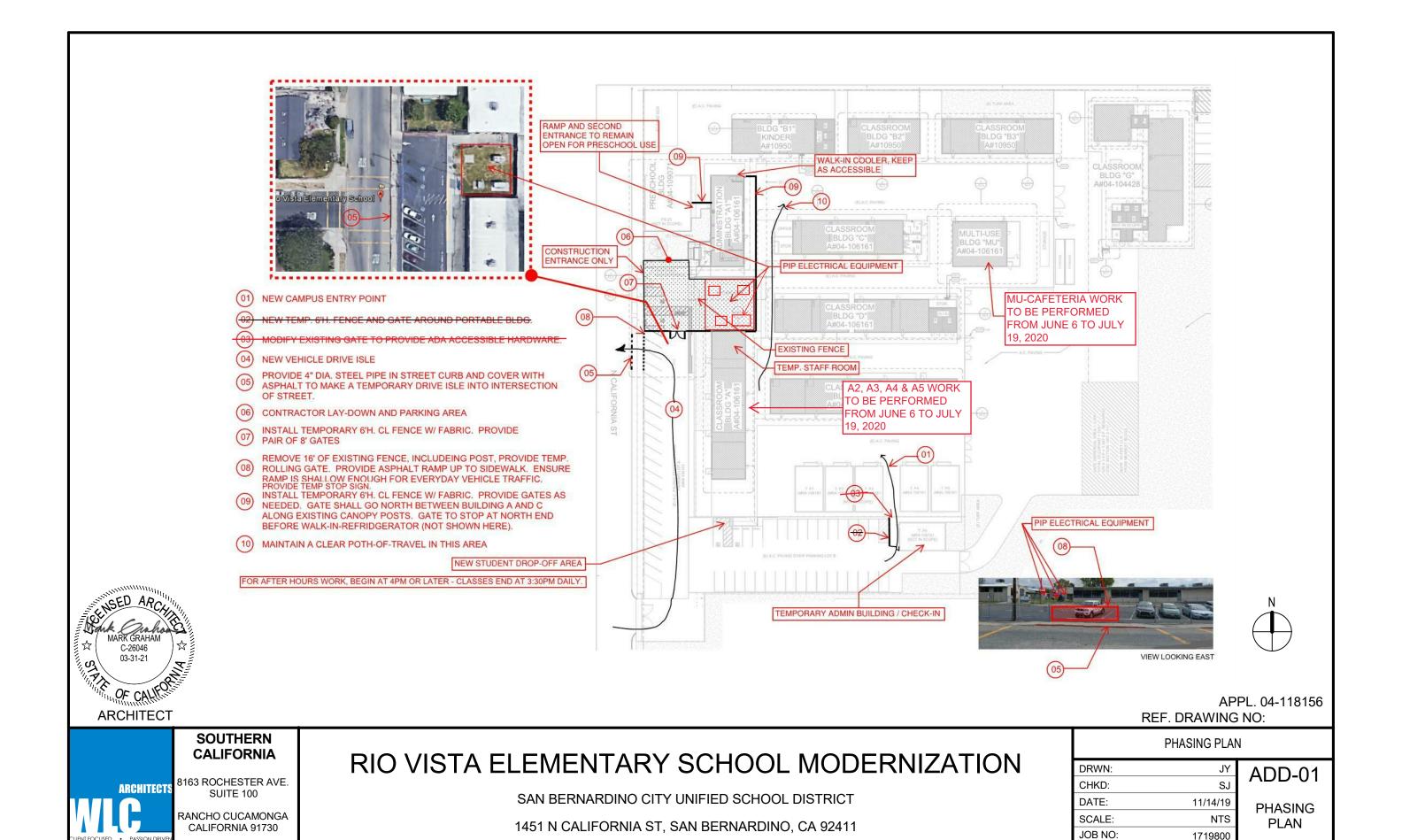
Luxury Vinyl Tile

- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Azure PE109, Bond
- Mannington, Primary Element LVT, 12" x12" & 12" x 24" Tile, Alumina PE119, Bond

Paint

- Dunn Edwards Paint, Honey Glow (DE5354)
- Dunn Edwards Paint, Silver Spoon (DE6366)
- Dunn Edwards Paint, Cool December (DEW383)









CONTRACTOR TO PAINT EXTERIOR BUILDING PER RENDERING COLORS ATTACHED, REF MATERIAL LIST

APPL. 04-118156 REF. DRAWING NO:

RENDERINGS

SOUTHERN CALIFORNIA

ARCHITECTS &

8163 ROCHESTER AVE. SUITE 100

RANCHO CUCAMONGA CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

DRWN:	JY
CHKD:	SJ
DATE:	11/14/19
SCALE:	NTS

ADD-01

RENDERINGS

 SCALE:
 NTS

 JOB NO:
 1719800



Report for:

Elaine Horng ATC Group Services LLC: Monterey Park 25 Cupania Circle Monterey Park, CA 91755

Regarding:

Project: 1011601607; Rio Vista Elementary School

EML ID: 2260790

Approved by:

Dates of Analysis:

Asbestos PLM: 09-25-2019 and 09-26-2019

Approved Signatory Roshanak Kalantari

Service SOPs: Asbestos PLM (EPA 40CFR App E to Sub E of Part 763 & EPA METHOD 600/R-93-116, SOP EM-AS-S-1267)

All samples were received in acceptable condition unless noted in the Report Comments portion in the body of the report. The results relate only to the samples as received. The results include an inherent uncertainty of measurement associated with estimating percentages by polarized light microscopy. Measurement uncertainty data for sample results with >1% asbestos concentration can be provided when requested.

Eurofins EMLab P&K ("the Company") shall have no liability to the client or the client's customer with respect to decisions or recommendations made, actions taken or courses of conduct implemented by either the client or the client's customer as a result of or based upon the Test Results. In no event shall the Company be liable to the client with respect to the Test Results except for the Company's own willful misconduct or gross negligence nor shall the Company be liable for incidental or consequential damages or lost profits or revenues to the fullest extent such liability may be disclaimed by law, even if the Company has been advised of the possibility of such damages, lost profits or lost revenues. In no event shall the Company's liability with respect to the Test Results exceed the amount paid to the Company by the client therefor.

1010 N Central Avenue, Suite 390, Glendale, CA 91202 (866) 888-6653 Fax (623) 780-7695 www.emlab.com

Client: ATC Group Services LLC: Monterey Park

Sample Layers Tan Floor Tile Black/Yellow Mastic

> Sample Layers Tan Floor Tile

Black/Yellow Mastic

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Total Samples Submitted: Total Samples Analyzed: 47

Total Samples with Layer Asbestos Content > 1%: 0

Location: 001, 12"x12" Tan with tan thick smudges FT with mastic nurse's o

office	Lab ID-Version‡: 10750216-1
Asbestos Cor	ntent
ND	
ND	

Sample Composite Homogeneity: Good

Location: 002, 12"x12" Tan with tan thick smudges FT with mastic nurse's office

nt	
	nt

Location: 003, 12"x12" Tan with tan thick smudges FT with mastic nurse's office

Sample Composite Homogeneity: Good

Lab ID-Version 1: 10750218-1

Lab ID-Version : 10750217-1

Sample Layers	Asbestos Content	
Tan Floor Tile	ND	
Black/Yellow Mastic	ND	
Sample Composite Homogeneity: Good		

Location: 004. Baseboard mastic nurse's office

Location: 004, Baseboard mastic nurse's office	Lab ID-Version‡: 10750219-1
Sample Layers	Asbestos Content
White Mastic	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750220-1

Lab ID-Version 1: 10750221-1

Lab ID-Version 1: 10750222-1

Lab ID-Version‡: 10750223-1

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Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 005, Baseboard mastic copy room

Sample Layers	Asbestos Content
White Mastic	ND
Sample Composite Homogeneity:	Good

Location: 006, Baseboard mastic staff room

Sample Layers	Asbestos Content
White Mastic	ND
Sample Composite Homogeneity:	Good

Location: 007, Carpet tile mastic staff room

Sample Layers	Asbestos Content
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 008, Carpet tile mastic conf

Sample Layers	Asbestos Content
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750224-1

Lab ID-Version 1: 10750225-1

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Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 009, Carpet tile mastic admin

Sample Layers	Asbestos Content	
Black/Yellow Mastic	ND	
Sample Composite Homogeneity: Good		

Location: 010, Leveling compound/mastic copy room

Sample Layers	Asbestos Content	
Gray Leveling Compound	ND	
Yellow Mastic	ND	
Sample Composite Homogeneity: Moderate		

Location: 011, Leveling compound/mastic copy room	Lab ID-Version‡: 10750226-1
Sample Layers	Asbestos Content
Gray Leveling Compound	ND
Yellow Mastic	ND
Sample Composite Homogeneity: Moderate	

Location: 012, Leveling compound/mastic copy room	Lab ID-Version‡: 10750227-1
Sample Layers	Asbestos Content
Gray Leveling Compound	ND
Yellow Mastic	ND
Sample Composite Homogeneity:	Moderate

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750228-1

Lab ID-Version :: 10750230-1

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Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 013, Plaster staff room NW

Sample Layers	Asbestos Content
Gray Plaster	ND
Black/Yellow Mastic	ND
Sample Composite Homogeneity:	Good

Location: 014, Plaster copy rm S	Lab ID-Version‡: 10750229-1
Sample Layers	Asbestos Content
White Skim Coat	ND
Gray Plaster	ND
Sample Composite Homogeneity:	Good

Location: 015. Plaster nurse's office E

200000000 010,1 100001 110150 5 011100 2	·
Sample Layers	Asbestos Content
Gray Plaster	ND
Sample Composite Homogeneity:	Good

Location: 016, Joint compound admin N	Lab ID-Version‡: 10750231-1
Sample Layers	Asbestos Content
Blue Compound	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750232-1

Lab ID-Version 1: 10750233-1

Lab ID-Version 1: 10750234-1

Lab ID-Version †: 10750235-1

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Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 017, Joint compound admin E

Sample Layers	Asbestos Content
Blue Compound	ND
Sample Composite Homogeneity:	Good

Location: 018, Joint compound staff NW

Sample Layers	Asbestos Content
Gray Compound	ND
Sample Composite Homogeneity:	Good

Location: 019, Joint compound copy S

Sample Layers	Asbestos Content
Gray Compound	ND
Sample Composite Homogeneity:	Good

Location: 020. Joint compound nurse's E

Location: 020, some compound nuise 5 L	240 12 (015014, 10700200 1
Sample Layers	Asbestos Content
Gray Compound	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750236-1

Lab ID-Version 10750237-1

Lab ID-Version 1: 10750238-1

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Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 021, Sink under coat mastic nurse's office

Sample Layers	Asbestos Content
Gray Sink Undercoating Mastic	ND
Sample Composite Homogeneity:	Good

Location: 022, Wall tile grout and mortar RR 1

Sample Layers	Asbestos Content
Gray Grout	ND
White Compound	ND
Sample Composite Homogeneity:	Good

Location: 023. Wall tile grout and mortar nurse's RR

	·
Sample Layers	Asbestos Content
Gray Grout	ND
White Compound	ND
Sample Composite Homogeneity:	Good

Location: 024, Wall tile grout and mortar nurse's RR	Lab ID-Version‡: 10750239-1
Sample Layers	Asbestos Content
Gray Grout	ND
White Compound	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750240-1

Lab ID-Version 1: 10750243-1

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Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 025, F.T. grout mortar boy's

Sample Layers	Asbestos Content
Gray Grout	ND
Gray Mortar	ND
Sample Composite Homogeneity:	Good

Location: 026, F.T. grout mortar boy's	Lab ID-Version‡: 10750241-1
Sample Layers	Asbestos Content
Gray Grout	ND
Gray Mortar	ND
Sample Composite Homogeneity:	Good

Location: 027, F.T. grout mortar girl's

Location: 027, F.T. grout mortar girl's	Lab ID-Version‡: 10750242-1
Sample Layers	Asbestos Content
Gray Grout	ND
Gray Mortar	ND
Sample Composite Homogeneity:	Good

Location: 028, Floor tile grout and mortar RR1

Sample Layers	Asbestos Content
Gray Mortar	ND
White Grout (Trace)	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750244-1

Lab ID-Version 1: 10750245-1

Lab ID-Version 1: 10750246-1

1010 N Central Avenue, Suite 390, Glendale, CA 91202 (866) 888-6653 Fax (623) 780-7695 www.emlab.com

Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 029, Floor tile grout and mortar nurse's RR

Sample Layers	Asbestos Content
Gray Mortar	ND
White Grout (Trace)	ND
Sample Composite Homogeneity:	Good

Location: 030. Floor tile grout and mortar nurse's RR

Edeution: 000, 11001 the grout und mortur nurse s iti	
Sample Layers	Asbestos Content
Gray Mortar	ND
White Grout (Trace)	ND
Sample Composite Homogeneity:	Good

Location: 031, Stucco bldg C-ext. boys and girls

Sample Layers	Asbestos Content
Green Stucco (Trace)	ND
Gray Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 032, Stucco bldg C-ext. boys and girls	Lab ID-Version‡: 10750247-1
Sample Layers	Asbestos Content
Green Stucco (Trace)	ND
Gray Cementitious Material	ND
Sample Composite Homogeneity	: Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750248-1

Lab ID-Version 1: 10750251-1

1010 N Central Avenue, Suite 390, Glendale, CA 91202 (866) 888-6653 Fax (623) 780-7695 www.emlab.com

Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 033, Stucco bldg C-ext. boys and girls

Sample Layers	Asbestos Content
Green Stucco (Trace)	ND
Gray Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 034, Plaster boy's RR	Lab ID-Version‡: 10750249-1
Sample Layers	Asbestos Content
Beige Plaster	ND
White Skim Coat	ND
Sample Composite Homogeneity:	Good

Location: 035, Plaster boy's RR

Location: 035, Plaster boy's RR	Lab ID-Version‡: 10750250-1
Sample Layers	Asbestos Content
Beige Plaster	ND
White Skim Coat	ND
Sample Composite Homogeneity:	Good

Location: 036, Plaster girl's RR

Sample Layers	Asbestos Content
Beige Plaster	ND
White Skim Coat	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750252-1

Lab ID-Version 1: 10750253-1

Lab ID-Version 1: 10750254-1

Lab ID-Version †: 10750255-1

1010 N Central Avenue, Suite 390, Glendale, CA 91202 (866) 888-6653 Fax (623) 780-7695 www.emlab.com

Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 037, Wall tile cement boys

Sample Layers	Asbestos Content
White Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 038, Wall tile cement boys

Sample Layers	Asbestos Content
White Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 039, Wall tile cement girls

Sample Layers	Asbestos Content
White Cementitious Material	ND
Sample Composite Homogeneity:	Good

Location: 040. Wall tile grout boys

Location: 040, Wan the grout boys	240 12 (0101014, 10700200 1	
Sample Layers	Asbestos Content	
Gray Grout	ND	
Sample Composite Homogeneity:	Good	

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version 1: 10750257-1

Lab ID-Version 1: 10750258-1

1010 N Central Avenue, Suite 390, Glendale, CA 91202 (866) 888-6653 Fax (623) 780-7695 www.emlab.com

Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 041, WT grot boys Lab ID-Version‡: 10750256-1

Sample Layers	Asbestos Content	
Gray Grout	ND	
Sample Composite Homogeneity:	Good	

Location: 042, WT grout girls

Sample Layers	Asbestos Content
White Grout	ND
Sample Composite Homogeneity:	Good

Location: 043, Stucco-admin bldg-ext.

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

Location: 044, Stucco-admin bldg-ext.	Lab ID-Version‡: 10750259-1
Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.

Lab ID-Version‡: 10750260-1

Lab ID-Version 1: 10750262-1

1010 N Central Avenue, Suite 390, Glendale, CA 91202 (866) 888-6653 Fax (623) 780-7695 www.emlab.com

Client: ATC Group Services LLC: Monterey Park

C/O: Elaine Horng

Re: 1011601607; Rio Vista Elementary School

Date of Sampling: 09-21-2019 Date of Receipt: 09-25-2019 Date of Report: 09-26-2019

ASBESTOS PLM REPORT

Location: 045, Stucco-admin bldg-ext.

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

Location: 046, Stucco-admin bldg-ext.	Lab ID-Version‡: 10750261-1
Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

Location: 047, Stucco-admin bldg-ext.

Sample Layers	Asbestos Content
Gray Stucco	ND
Sample Composite Homogeneity:	Good

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Inhomogeneous samples are separated into homogeneous subsamples and analyzed individually. ND means no fibers were detected. When detected, the minimum detection and reporting limit is less than 1% unless point counting is performed. Floor tile samples may contain large amounts of interference material and it is recommended that the sample be analyzed by gravimetric point count analysis to lower the detection limit and to aid in asbestos identification.



LA Testing

5431 Industrial Drive, Huntington Beach, CA 92649

Phone/Fax: (714) 828-4999 / (714) 828-4944

gardengrovelab@latesting.com MG http://www.LATesting.com

LA Testing Order: 331920487 CustomerID: 32ATCA45

CustomerPO:

ProjectID:

Elaine Horng ATC Group Services LLC 25 Cupania Circle Monterey Park, CA 91755

(323) 517-9780 Phone: (323) 517-9781 Fax: Received: 09/25/19 12:35 PM Collected: 9/22/2019

Project: 1011601607 / P2-Rio Vista

Test Report: Lead in Paint Chips by Flame AAS (SW 846 3050B/7000B)*

Client SampleDescription	Collected Analyzed	Weight	RDL Lead Concentration
P01 331920487-0001	9/22/2019 9/26/2019 Site: Copy room	.273 g	80 ppm <80 ppm
P02 331920487-0002	9/22/2019 9/26/2019 Site: Staff rm, East	.26 g	80 ppm <80 ppm
P03 331920487-0003	9/22/2019 9/26/2019 Site: Boys RR, bldg C	.264 g	80 ppm 2500 ppm
P04 331920487-0004	9/22/2019 9/26/2019 Site: Ext, admin bldg	.278 g	80 ppm <80 ppm

Michael Chapman, Laboratory Manager or other approved signatory

Michael Chapman

*Analysis following Lead in Paint by EMSL SOP/Determination of Environmental Lead by FLAA. Reporting limit is 0.010 % wt based on the minimum sample weight per our SOP. Unless noted, results in this report are not blank corrected. This report relates only to the samples reported above and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities. Samples received in good condition unless otherwise noted. "<" (less than) result signifies that the analyte was not detected at or above the reporting limit. Measurement of uncertainty is available upon request. The QC data associated with the sample results included in this report meet the recovery and precision requirements unless specifically indicated otherwise. Definitions of modifications are available upon request.

Samples analyzed by LA Testing Huntington Beach, CA AlHA-LAP, LLC--ELLAP Accredited #101650, CA ELAP 1406

Initial report from 09/27/2019 16:55:46

OrderID: 331920487



Lead (Pb) Chain of Custody EMSL Order ID (Lab Use Only):

#331920487

LATesting 520 Mission Street

South Pasadena, CA 91030

PHONE: 1-800-303-0047 FAX: 323-254-9982

Company : ATC Group Services LLC				MSL-Bill to: to is Different note ins	Different tructions in Com		
Street: 25 Cupania Circle		Third Party Billing requires written authorization from third party					
	rovince: CA	Zip/Postal Code: 91755 Country: United States				-	
Report To (Name):Elaine Horng							
Email Address: elaine.horng@atcgs.cc		Telephone #: 323-517-9780 Fax #: 323-517-9781					
Project Name/Number: 10 60 60							Mail
U.S. State Samples Taken: CA				ommercial/Taxal			
	rnaround Time (TAT				Jie L Kesic	lential/ raz	Exempt
	Hour 48 Hour		2 Hour	96 Hour	☐ 1 Wee	k	2 Week
	d in accordance with EMSL	's Terms a	nd Conditio	ons located in the Pr			
Matrix	Method		In	strument	Reportin	g Limit	Check
Chips ☐ % by wt. ☐ mg/cm² ■ ppm	SW846-7000B		Flame A	tomic Absorption	0.01	%	
Air	NIOSH 7082		Flame A	tomic Absorption	4 µg/t	ilter	
	NIOSH 7105		Graph	ite Furnace AA	0.03 μς		
	NIOSH 7300 modif	fied	ICP-	-AES/ICP-MS	0.5 µg	/filter	
Wipe* ASTM □	SW846-7000B		Flame A	tomic Absorption	10 μg/	wipe	
non ASTM *if no box is checked, non-ASTM	SW846-6010B or	C		ICP-AES	1.0 µg/	wipe	
Wipe is assumed	SW846-7000B/70	10	Graph	ite Furnace AA	0.075 μς	g/wipe	
TCLP	SW846-1311/7000B/SM		B Flame Atomic Absorption		0.4 mg/L (ppm)		
	SW846-1131/SW846-60	10B or C		ICP-AES	0.1 mg/L	THE RESERVE AND PERSONS ASSESSMENT OF THE PE	
Soil	SW846-7000B SW846-7010			tomic Absorption	40 mg/kg		
	SW846-6010B or C		Graphite Furnace AA ICP-AES		0.3 mg/kg (ppm) 2 mg/kg (ppm)		H
	SM3111B/SW846-70			tomic Absorption	0.4 mg/L (ppm)		
Wastewater Unpreserved ☐ Preserved with HNO₃ pH < 2 ☐	EPA 200.9			ite Furnace AA	0.003 mg/		
	EPA 200.7			ICP-AES	0.020 mg/		
Drinking Water Unpreserved	EPA 200.9		-	ite Furnace AA	0.003 mg/		
Preserved with HNO₃ pH < 2 ☐	EPA 200.8		ICP-MS ICP-AES		0.001 mg/		
TSP/SPM Filter 40 CFR Part 50 40 CFR Part 50				ite Furnace AA	12 µg/ 3.6 µg/		-H
Other:	40 011(1 010		Огарп	ite i dilidee / v v	σ.σ μg/	inter	H
Name of Sampler: Plaine HOKNE			ture of S	Sampler: Eld	nt		
Sample # Location	on I	Joigila		me/Area		te/Time S	Sampled
The state of the s			VOIG	inc/Arca		to i iiiio c	Jumpicu
901-P04 See attac	all						
Client Sample #'s				Total # of Sa	amples:	4.	
Relinquished (Client):	Date:	5.2	4.19	Time:		~ ~~	
Received (Lab):	Date:		7/25/	7 Time:		754	4
Comments:	2001		1 /	/			
BillTo: ATC Group Services LLC, 25 Cupania Circle, Monterey Pa Attention: Elaine Horng; elaine.horng@atcgs.com	ark, CA, 91755, United States				(F	E/	
	10/05	1					
pecewed (((C)) W	7/25/1	9 17	1:35		,	
Page 1 of pages							

#331920487

1 1

LEAD BULK SAMPLE LOG

25 CUPANIA CIRCLE **MONTEREY PARK, CA 91755** www.atcgroupservices.com (323) 517-9780 (323) 517-9781 AREA NAME/DESCRIPTION AREA AREA NAME/DESCRIPTION Admin UNIT CODES **PERCENTAGES** BOYS/61RS BLOG C. 7 LF LINEAR FEET PAINT P - POSITIVE SF SQUARE FEET 3 WATER bxt N - NEGATIVE EA EACH DUST Q.A. OTHER AREA COM'T SAMPLE # ESTIMATED BLDG./FLOOR USAG CODE MATERIAL DESCRIPTION / COLOR OLIANTITY Tan Paint on Plaster WALL COPY ROOM Green Paint on Metal DF STAFF RM, EAST. OFF WHITE PAINT ON PLASTER WALL BOYS PR, BLAGC L TAN PAINT ON STUCKD 3 EXT, ADMIN BLDG PEELING 01 WATER 21 BASEBOARD SUBSTRATE CHEWABLE CONTACT 41 JOIST 02 DUST 22 WALLS AREA USAGE CODE SURFACE CODE CODE 42 CEILING 03 DOOR, HEADER 23 WALLS, LOWER CODES 43 RADIATOR 1 PEELING 1 WOOD 1 YES 24 WALLS, UPPER 04 DOOR JAM 44 ACCESS HATCH COVER 1 LOW 1 VOID/CHASE/CAVITY 2 MECHANICAL 2 NOT PEELING 2 NO 05 DOOR, CASING 25 CHAIR RAIL 2 METAL 2 MODERATE 3 UNDAMAGED 06 STAIR, TREADS 26 DOOR, EXTERIOR 3 MASONRY 3 HIGH 3 STORAGE 07 STAIR, RISERS 27 EXTERIOR, DOOR CASING 4 CHIPPED 4 DRYWALL 4 OCCASIONAL 08 STAIR, STRINGER 28 EXTERIOR, WINDOW CASING 5 CHAULKING 5 PLASTER 5 CONTINUOUS 09 BALUSTER 29 EXTERIOR, WINDOW MULLIONS 10 RAILING CAP 30 EXTERIOR, WINDOW SILL 11 NEWEL POST 31 THRESHOLD 12 WINDOW, HEADER 32 DRIPBOARD FOR LAB USE ONLY 13 WINDOW, CASING 33 LOWER TRIM 14 WINDOW, SILL 34 UPPER TRIM 15 WINDOW, SASH 35 CORNERBOARD 16 WINDOW, STOPS 36 SIDING 37 CELLAR WINDOW UNIT 17 MULLIONS 18 APRON 38 FLOOR 19 WINDOW GRATE 39 RAILING CAPS ANALYST'S SIGNITURE/DATE 20 DOOR GRATE 40 SUPPORT COLUMN LAB DIRECTOR'S SIGNITURE/DATE

OrderID: 331920487

Rich, Sarah

#331920487

From:

Elaine Horng < Elaine.Horng@atcgs.com> Wednesday, September 25, 2019 2:26 PM

Sent: To:

Rich, Sarah

Cc:

LA Testing Lab - Huntington Beach

Subject:

RE: Project 1011601607 / P2- Rio Vista

[EXTERNAL E-MAIL]

Hi Sarah,

Method SW846-700B (FAA).

Thank you,

Elaine Horng | PROJECT MANAGER | **ATC Group Services LLC** +1 323 517 9659 | +1 626 423 3754 mobile

25 Cupania Circle | Monterey Park, CA 91755 elaine.horng@atcgs.com | www.atcgroupservices.com

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From: Rich, Sarah < srich@latesting.com >

Sent: Wednesday, September 25, 2019 1:13 PM **To:** Elaine Horng < <u>Elaine.Horng@atcgs.com</u>>

Cc: LA Testing Lab - Huntington Beach < huntingtonbeachlab@latesting.com >

Subject: [EXTERNAL] Project 1011601607 / P2- Rio Vista

Importance: High

[External Email] This email originated from outside of the ATC mail system. Please use caution when opening attachments.

Good afternoon,

We received your project mentioned above form our S. Pasadena lab earlier this afternoon, and would like to confirm the analysis with you. It does not seem that the analysis was marked on the COC.

OrderID: 331920487

#331920487

Please confirm the analysis at your earliest convenience. The TAT will not begin until we receive confirmation. COC is attached for your reference.

Best Regards,



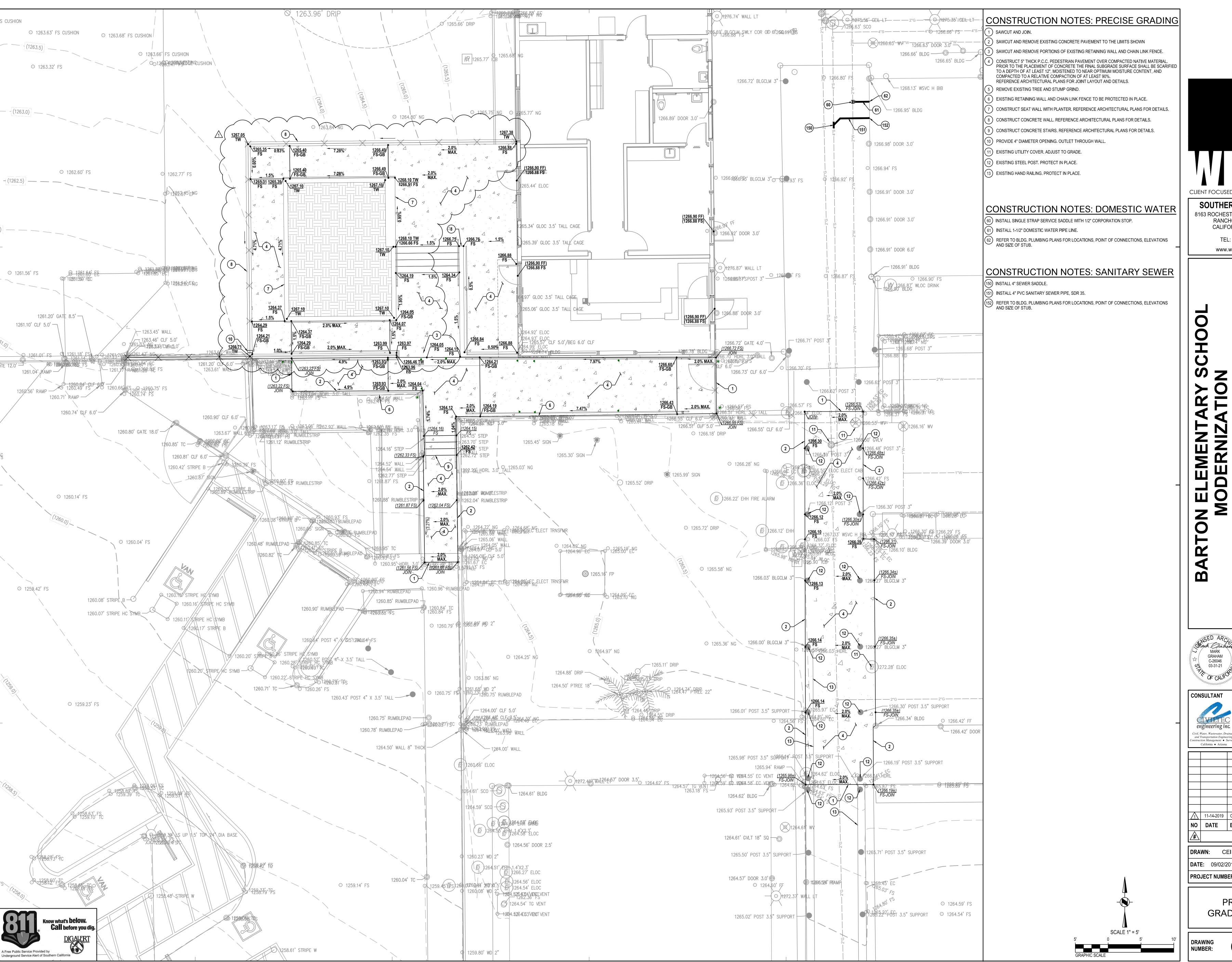
Sarah Rich | Administrative Assistant

LA Testing | 5431 Industrial Drive | Huntington Beach, CA 92649 Phone: 714-828-4999 | Fax: | Toll Free: 800-755-1794 Lab Hours: Monday - Friday 8AM - 6PM, Saturday 9AM - 5PM, Sunday On-Call

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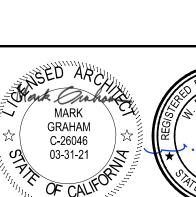




SOUTHERN CALIFORNIA 8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA

> CALIFORNIA 91730-0729 TEL: 909-987-0909

www.wlcarchitects.com



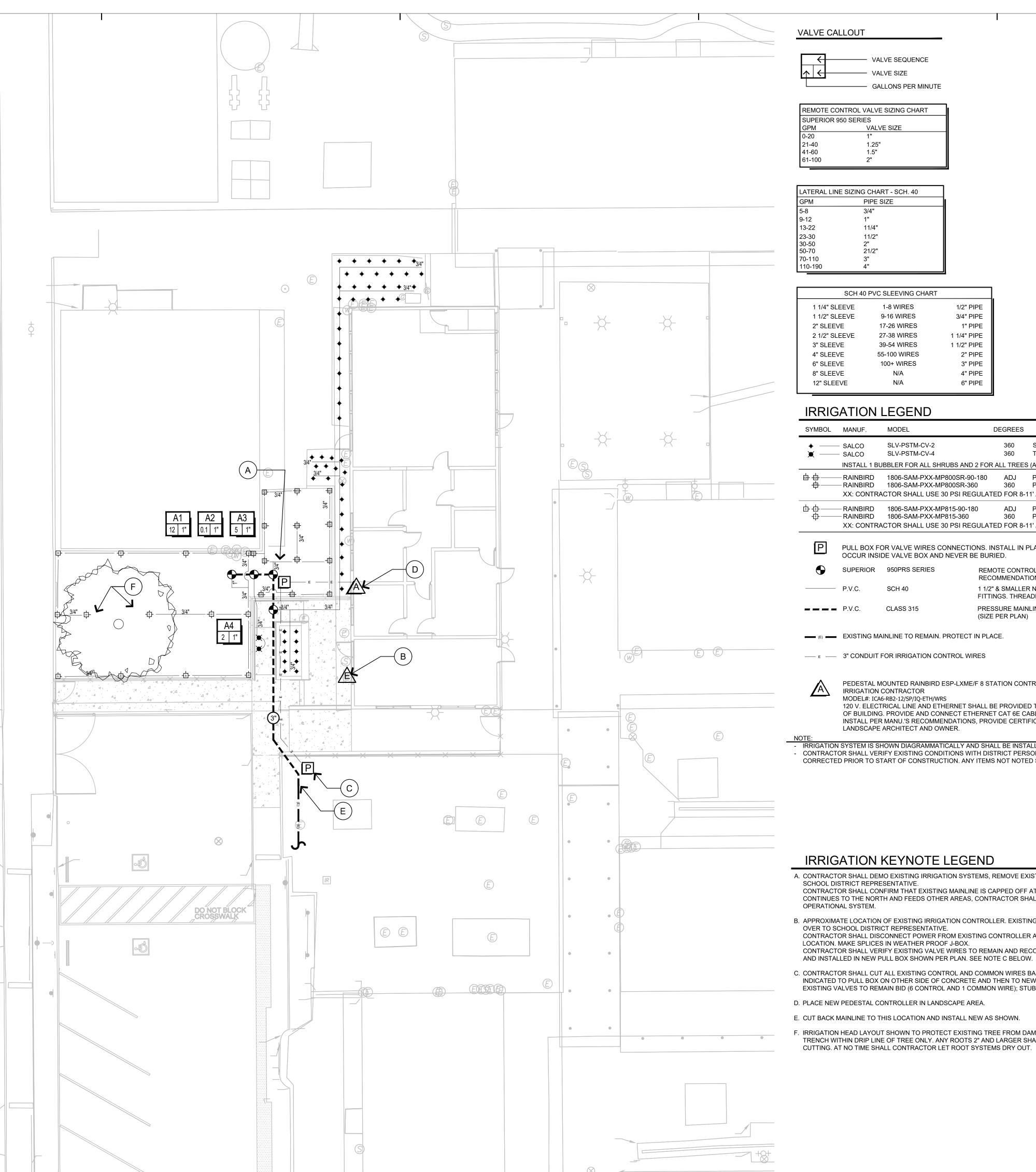


118 West Lime Avenue Phone: 626.357.0588 Fax: 626.303.7957 Web: www.civiltec.com ivil, Water, Wastewater, Drainage, and Transportation Engineering onstruction Management • Surveying

<u></u>	REVISIONS				
NO	DATE	вү	DESCRIPTION		
Λ	11-14-2019	CEI	ADDENDUM 1		

DRAWN:	CEI	CHECK	ED:	CEI	
DATE:	09/02/2019	SCALE:	As	indicated	
PROJEC	PROJECT NUMBER: 1720100				

PRECISE GRADING PLAN



VALVE CALLOUT

- VALVE SEQUENCE VALVE SIZE —— GALLONS PER MINUTE

REMOTE CONTROL VALVE SIZING CHART SUPERIOR 950 SERIES 1.25"

LATERAL LINE SIZING CHART - SCH. 40 PIPE SIZE 11/2" 21/2" 50-70

SCH 40 PVC SLEEVING CHART					
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE			
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE			
2" SLEEVE	17-26 WIRES	1" PIPE			
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE			
3" SLEEVE	39-54 WIRES	1 1/2" PIPE			
4" SLEEVE	55-100 WIRES	2" PIPE			
6" SLEEVE	100+ WIRES	3" PIPE			
8" SLEEVE	N/A	4" PIPE			
12" SLEEVE	N/A	6" PIPE			

IRRIGATION LEGEND

SYMBOL	MANUF.	MODEL	DEGREES	TYPE	GPM	PSI	RADIUS	DTL. REF.
*	- SALCO - SALCO	SLV-PSTM-CV-2 SLV-PSTM-CV-4	360 360	S. BUBBLER T. BUBBLER	2 GPH 4 GPH	30 30	N/A N/A	G-H / SHEET LID.
	INSTALL 1 BL	JBBLER FOR ALL SHRUBS AND	2 FOR ALL TREES	(AS SHOWN PE	ER PLAN)			
	— RAINBIRD — RAINBIRD XX: CONTRA	1806-SAM-PXX-MP800SR-90 1806-SAM-PXX-MP800SR-36 ACTOR SHALL USE 30 PSI REG	0 360	POP-UP POP-UP I1' AND 45 PSI F	0.23/ 0.42 0.78 REGULATED F	40	10' 10' I'	D / SHEET LID. D / SHEET LID.
8-48	— RAINBIRD — RAINBIRD XX: CONTRA	1806-SAM-PXX-MP815-90-18 1806-SAM-PXX-MP815-360 ACTOR SHALL USE 30 PSI REG	360	POP-UP POP-UP I1' AND 45 PSI F	0.49/ 0.93 1.87 REGULATED F	40	15' 15' ₁ '	D / SHEET LID. D / SHEET LID.
P		OR VALVE WIRES CONNECTION DE VALVE BOX AND NEVER B		PLANTER AREA	S. ALL WIRES	PLIECES	SHALL	C / SHEET LID.1
•	SUPERIOR	950PRS SERIES	REMOTE CONTR					F / SHEET LID.1
	P.V.C.	SCH 40	1 1/2" & SMALLER FITTINGS. THRE	-				A-B / SHEET LID
	P.V.C.	CLASS 315	PRESSURE MAIN (SIZE PER PLAN)		TINGS SHALL E	BE SCH. 80)	A-B / SHEET LID

EXISTING MAINLINE TO REMAIN. PROTECT IN PLACE.

— E — 3" CONDUIT FOR IRRIGATION CONTROL WIRES

PEDESTAL MOUNTED RAINBIRD ESP-LXME/F 8 STATION CONTROLLER WITH IQ V3.0 CLOUD TO BE SUPPLIED BY E / SHEET LID.1 IRRIGATION CONTRACTOR MODEL#: ICA6-RB2-12/SP/IQ-ETH/WRS 120 V. ELECTRICAL LINE AND ETHERNET SHALL BE PROVIDED TO CONTROLLER, MOUNT RAIN SENSOR TO FASCIA

OF BUILDING. PROVIDE AND CONNECT ETHERNET CAT 6E CABLING FROM NEAREST BUILDING. INSTALL PER MANU.'S RECOMMENDATIONS, PROVIDE CERTIFICATION OF INSTALLATION PERFORMED TO LANDSCAPE ARCHITECT AND OWNER.

IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY AND SHALL BE INSTALLED IN PLANTER AREAS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH DISTRICT PERSONNEL AND NOTE IN WRITING ALL ITEMS NEEDING TO BE CORRECTED PRIOR TO START OF CONSTRUCTION. ANY ITEMS NOT NOTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR.

IRRIGATION KEYNOTE LEGEND

- A. CONTRACTOR SHALL DEMO EXISTING IRRIGATION SYSTEMS, REMOVE EXISTING VALVES, HEADS AND SWING JOINTS AND TURN OVER TO SCHOOL DISTRICT REPRESENTATIVE. CONTRACTOR SHALL CONFIRM THAT EXISTING MAINLINE IS CAPPED OFF AT SOUTHEAST CORNER OF BUILDING. IN THE EVENT MAINLINE CONTINUES TO THE NORTH AND FEEDS OTHER AREAS, CONTRACTOR SHALL CONNECT NEW MAINLINE TO EXISTING TO KEEP FULLY OPERATIONAL SYSTEM.
- B. APPROXIMATE LOCATION OF EXISTING IRRIGATION CONTROLLER. EXISTING PEDESTAL AND CONTROLLER SHALL BE REMOVED AND TURNED OVER TO SCHOOL DISTRICT REPRESENTATIVE. CONTRACTOR SHALL DISCONNECT POWER FROM EXISTING CONTROLLER AND EXTEND WIRES AND CONDUIT TO NEW CONTROLLER LOCATION. MAKE SPLICES IN WEATHER PROOF J-BOX. CONTRACTOR SHALL VERIFY EXISTING VALVE WIRES TO REMAIN AND RECONNECT TO NEW CONTROLLER. WIRES SHALL BE PULLED BACK
- C. CONTRACTOR SHALL CUT ALL EXISTING CONTROL AND COMMON WIRES BACK AND PLACE IN PULL BOX, RUN 3" CONDUIT FROM PULL BOX INDICATED TO PULL BOX ON OTHER SIDE OF CONCRETE AND THEN TO NEW CONTROLLER LOCATION. PULL NEW WIRES TO RECONNECT EXISTING VALVES TO REMAIN BID (6 CONTROL AND 1 COMMON WIRE); STUB OUT UNUSED WIRES.
- D. PLACE NEW PEDESTAL CONTROLLER IN LANDSCAPE AREA.
- E. CUT BACK MAINLINE TO THIS LOCATION AND INSTALL NEW AS SHOWN.
- F. IRRIGATION HEAD LAYOUT SHOWN TO PROTECT EXISTING TREE FROM DAMAGE TO ROOTS DURING TRENCHING. CONTRACTOR SHALL HAND TRENCH WITHIN DRIP LINE OF TREE ONLY. ANY ROOTS 2" AND LARGER SHALL BE REVIEW BY CERTIFIED ARBORIST PRIOR TO AND AFTER CUTTING. AT NO TIME SHALL CONTRACTOR LET ROOT SYSTEMS DRY OUT.

SLEEVING NOTE: CONTRACTOR TO SLEEVE ALL MAINLINES, LATERALS AND CONTROLLER WIRES, UNDER ANY HARDSCAPE. IRRIGATION MAINLINE NOTES:

CONTRACTOR SHALL INSTALL IRRIGATION MAINLINE IN PLANTING AREAS TYPICAL, MAINLINE SHOWN IN HARDSCAPE AREAS FOR CLARITY.

WATER PRESSURE HAS ENOUGH PRESSURE TO RUN SYSTEM. IF THERE IS NOT ENOUGH WATER PRESSURE AT THE SITE TO RUN THE SYSTEM, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT.

DESIGN PRESSURE NOTE:

CHECK VALVE NOTE: CONTRACTR SHALL INSTALL LINE SIZE CHECK VALVES AS NEEDED TO INSURE NO RUN OFF OCCURS ONSITE FROM LOW HEAD DRAINAGE

CONTRACTOR TO VERIFY PRIOR TO STARTING JOB THAT EXISTING

SITE VERIFICATION NOTE:

CONTRACTOR SHALL VERIFY AND BECOME FAMILIAR WITH THE SITE AND THE ITEMS WIRE RUNS, ETC. CONTRACTOR SHALL PROCEED AS STATED PRIOR TO BIDDING AND

GENERAL IRRIGATION NOTES

- ALL DIMENSIONS & CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON THE JOB SITE, ANY DISCREPANCIES OR OMISSIONS SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECTS AND OWNERS REPRESENTATIVE ATTENTION PRIOR TO COMMENCEMENT OF WORK.
- 2. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, SLOPES, LOCATION OF WALLS, CURBS, ETC. COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR LOCATION OF PIPE SLEEVES THROUGH WALLS AND FOOTINGS, UNDER ROADS, PAVING AND STRUCTURES.
- THE IRRIGATION DESIGN SHOWN IN THESE DOCUMENTS ARE INTENDED TO BE GENERALLY DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT I.E PIPE, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR PLAN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN PLANTING AREAS WHEREVER POSSIBLE UNLESS WRITTEN AUTHORIZATION IS RECEIVED PRIOR TO PLACEMENT. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- 4. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR FIELD/PLAN DIMENSIONS EXIST AND SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR REVISIONS NECESSARY AND ALL COSTS FOR REVISIONS NECESSARY FOR A COMPLETE INDUSTRY ACCEPTABLE WORKING SYSTEM.
- THE IRRIGATION SYSTEM DESIGN IS BASED UPON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION SHALL BE IMMEDIATELY REPORTED IN WRITING TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IF THE PRESSURE DIFFERENCES ARE NOT IMMEDIATELY REPORTED PRIOR TO BEGINNING CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS TO THE IRRIGATION SYSTEM DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE AND ALL COSTS ASSOCIATED WITH SAID REVISIONS.
- 6. THE IRRIGATION CONTRACTOR MUST PERFORM AND DOCUMENT IN WRITING A PRE-JOB/ KICK-OFF MEETING WITH THE MANUFACTURER REPRESENTATIVES OF SPECIAL EQUIPMENT INCLUDING BUT NOT LIMITED TO DRIP TUBING, CONTROLLER & BOOSTER PUMP MANUFACTURER TO GO OVER SITE SPECIFIC ITEMS, LAYOUT AND RECEIVE PROPER TRAINING. IF IRRIGATION CONTRACTOR FAILS TO PERFORM REQUIRED MEETING, CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS TO THE IRRIGATION SYSTEM DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE AND ALL COSTS ASSOCIATED WITH SAID REVISIONS.
- 7. MAINLINE PIPING BETWEEN THE POINT OF CONNECTION, METER AND BACKFLOW PREVENTER TO BE OF MATERIAL AS REQUIRED BY GOVERNING WATER DISTRICT.
- ALL PIPES AND WIRES THAT RUN UNDER HARDSCAPE ARE TO BE SLEEVED IN SCH. 40 PVC SLEEVES ACCORDING TO PURVEYING (DISTRICT, CITY, ETC.) STANDARDS, SPECS AND AS INDICATED IN THE SLEEVING CHART UNLESS WRITTEN AUTHORIZATION IS RECEIVED PRIOR TO ELIMINATING ANY SECTIONS.
- 9. CONTRACTOR SHALL USE HEAVY BODY GRAY GLUE (WELD-ON 711 OR EQUAL) WITH PVC PRIMER (P-70 OR EQUAL) ON ALL GLUED JOINTS. NO RED HOT BLUE GLUE ALLOWED. TEFLON TAPE SHALL BE APPLIED TO ALL MALE THREADS AS REQUIRED BY MANUFACTURER. NO PIPE DOPE ALLOWED.
- 10. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR FLUSHING ALL LINES AND ADJUSTING ALL HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER-SPRAY ONTO UN-INTENDED AREAS (WALKS, & BUILDINGS). ADJUSTMENT SHALL INCLUDE BUT NOT LIMITED TO THE ADDITION OF "PRS" SCREENS, ADJUSTABLE ARC NOZZLES (HE VERSIONS ONLY), ADJUSTING PRESSURE REGULATOR AT THE VALVE TO BE NO GREATER THAN 5PSI ABOVE THE INDICATED HEAD PRESSURE AT THE FARTHEST HEAD, FOR ADDITIONAL HEADS WHERE VERTICAL ELEMENTS IN FIELD BLOCK SPRAY PATTERN AND ADDING INLINE CHECK VALVES WHERE LOW HEAD DRAINAGE OCCURS AT NO EXTRA COST TO THE OWNER.
- 11. IRRIGATION CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT/ OWNERS REPRESENTATIVE MINIMUM 72 HOURS PRIOR TO ANY REQUEST OF FIELD OBSERVATIONS. FIELD OBSERVATIONS SHALL OCCUR AT THE FOLLOWING MILESTONES:
- A. COVERAGE TEST ONCE ALL IRRIGATION IS INSTALLED. NO PLANTING MAY OCCUR UNTIL REVIEW HAS BEEN COMPLETED AND IRRIGATION SYSTEM APPROVED.
- B. UPON COMPLETION OF PLANTING AND IRRIGATION FOR SUBSTANTIAL COMPLETION ISSUANCE. C. UPON COMPLETION OF MAINTENANCE PERIOD FOR FINAL WALK AND RELEASE OF MAINTENANCE.

SCALE: 1": 10'

GRAPHIC SCALE



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1 11/14/2019 BMP ADDENDUM 1 NO DATE BY DESCRIPTION

REVISIONS DRAWN: JV **CHECKED: BMP**

DATE: 09/27/2019 | **SCALE**: 1" = 10.0' PROJECT NUMBER: 1719800

LANDSCAPE **IRRIGATION PLAN**



PRE-CONSTRUCTION SITE WALK AND DOCUMENTATION: CONTRACTOR SHALL WALK SCOPE AND AREAS JUST BEYOND. OPERATE ALL COMPONENTS AND DOCUMENT ANY DEFICIENCIES OBSERVED IN WRITING AND WITH SUPPORTING PHOTOS. PACKAGE SHALL BE PROVIDED TO OWNER AND LANDSCAPE ARCHITECT, ANY ITEMS DEEMED NON-OPERATIONAL AT TURN OVER WALK THAT WAS NOT DOCUMENTED IN INITIAL REPORT, SHALL BE DEEMED TO HAVE OCCURRED DUE TO CONSTRUCTION AND SHALL BE REPAIRED OR REPLACED (INCLUDING AFFECTED

EXISTING TREE NOTES

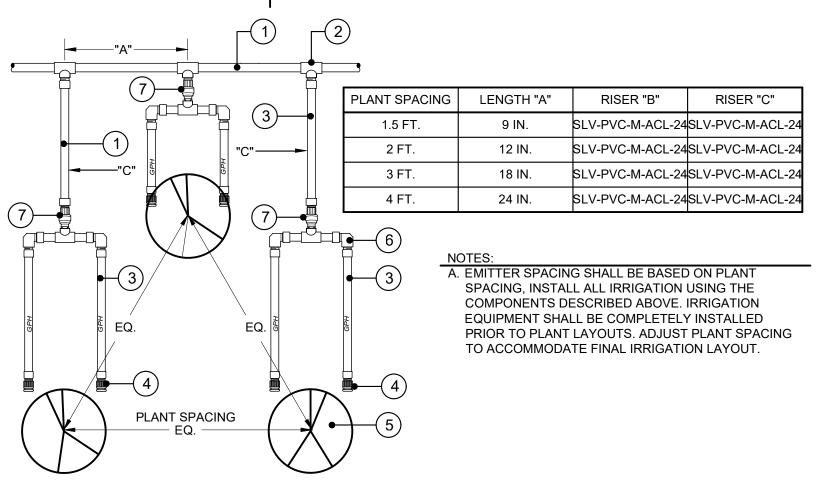
PLANT MATERIAL) AT NO COST TO OWNER.

CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL WITHIN 12" OF ANY ROOT SYSTEMS AND SHALL NOT CUT OR DAMAGE ANY ROOT LARGER THAN 2" WITHOUT REVIEW AND WRITTEN APPROVAL BY A CERTIFIED ARBORIST. ANY ILL AFFECTS ON THE HEALTH OF THE EXISTING TREES IS OBSERVED AND WAS A RESULT OF THE DISTURBANCE OF THE EXISTING TREE DURING CONSTRUCTION, CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO SAVE THE TREE; IF THE TREE CANNOT BE SAVED, CONTRACTOR SHALL REPLACE WITH LIKE KIND AND SIZE.

TRANSITE PIPE NOTE:

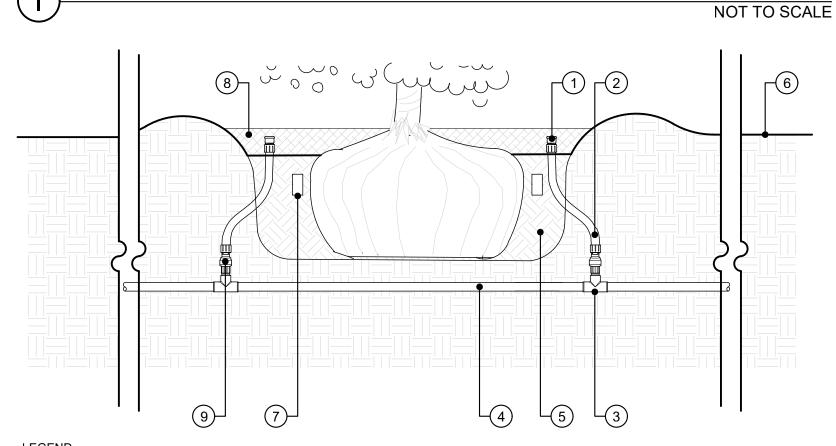
IN THE EVENT TRANSITE PIPE IS ENCOUNTERED, CONTRACTOR SHALL FOLLOW ALL STATE AND LOCAL LAWS INCLUDING AS OUTLINED BY CAL OSHA REGARDING HANDLING OF ASBESTOS CONTAINING MATERIAL (ACM) AND CLASS II AND CLASS III ASBESTOS WORK ACTIVITY AS DEFINED IN 1926.1101. WHEREVER POSSIBLE CONTRACTOR SHALL NOT CUT OR TOUCH IN ANY MANNER ANY TRANSITE PIPE.

ASSOCIATED WITH THEIR SCOPE OF WORK INCLUDING BUT NOT LIMITED TO CONTROLLER LOCATION, MAINLINE LOCATION, OPEN STATIONS ON CONTROLLER, AGAIN PRIOR TO START OF CONSTRUCTION.



- 1. PVC SCH. 40 PIPE.
- 2. PVC SCH. 80 1/2" REDUCING TEE. 3. HUNTER IH SERIES FLEX RISERS, LENGTH AS NEEDED 4. SALCO PRESSURE COMPENSATING EMITTER
- 5. PLANT, TRIANGULAR SPACING. 6. SXT90°SCH.40FITTING
- 7. NELSON IRRIGATION MINI PRESSURE REG. / DRAIN CHECK.

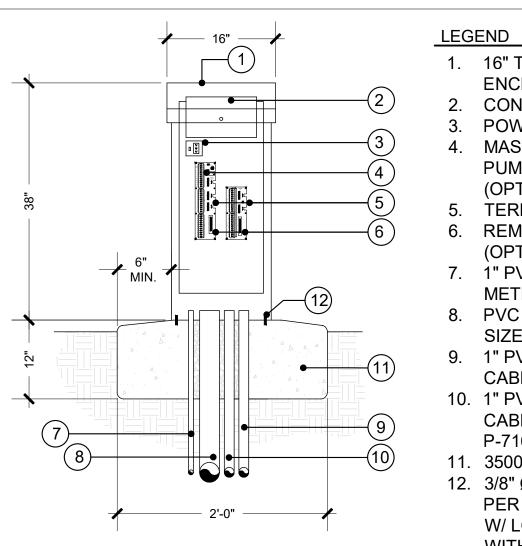
DOUBLE EMITTER PLAN VIEW



- 1. PRESSURE COMPENSATING DRIP EMITTER (SALCO MODEL NO. SLV-PSTD-CV-2) INSTALLED IN 1/2" PVC MALE- THREADED ADAPTER. SOLVENT WELD FLEX PIPE TO PVC FITTING PER MANUFACTURERS RECOMMENDATIONS. LOCATE AT EDGE OF
- PLANTING PIT / WATERING BASIN. INSTALL AFTER FLUSHING SYSTEM OF DEBRIS. 2. 1/2" UV-RESISTANT PVC FLEXIBLE PIPE - SALCO IH SERIES FLEX RISER. 5' MAX/ 2' MIN. LENGTH. MODEL: SLV-PVC-ACLXX 3. SCHEDULE 80 PVC REDUCING TEE. SOLVENT WELD FLEX PIPE TO PVC FITTING PER MANUFACTURERS RECOMMENDATIONS.
- 4. PVC LATERAL LINE FROM REMOTE CONTROL VALVE. DEPTH / COVER PER IRRIGATION SPECIFICATIONS. 5. PLANTING PIT. AMEND SOIL PER SPECIFICATIONS AND AGRONOMIC SOILS REPORT 6. FINISHED GRADE.
- 7. PLANT TABLET PER SPECIFICATIONS. 8. MULCH PER PLANTING PLAN.
- 9. NELSON IRRIGATION MINI PRESSURE REG. / DRAIN CHECK.
- A. TWO EMITTER PER PLANT MIN. OR AS INDICATED PER PLAN.

DOUBLE EMITTER SECTION

NOT TO SCALE



1. 16" TOP ENTRY NEMA 3R RAINPROOF ENCLOSURE (UL LISTED) CONTROLLER PER LEGEND

3. POWER SWITCH/GFI RECEPTACLE. MASTER VALVE RELAY ASSEMBLY OR PUMP START RELAY ASSEMBLY

(OPTIONAL) TERMINAL BOARD.

REMOTE RECEIVER CONNECTOR 7. 1" PVC CONDUIT FOR 120 VAC FROM

METERED POWER SUPPLY. 8. PVC CONDUIT FOR CONTROL WIRES,

SIZE AS REQUIRED. 9. 1" PVC CONDUIT FOR CAT 6 ETHERNET CABLE. REFER TO ELECTRICAL PLANS.

CABLE PAIGE CABLE (IF APPL.) PAIGE P-7162 -D. 11. 3500 PSI CONCRETE BASE.

10. 1" PVC CONDUIT FOR FLOW SENSOR

12. 3/8" Ø HILTI KB-T2 W/ 2" EMBED, INSTALL PER ICC ESR 1917. USE IN CONCLUSION W/ LOCK WASHER. (4 TOTAL). ALIGN WITH PRE-DRILLED HOLES IN ENCLOSURE.

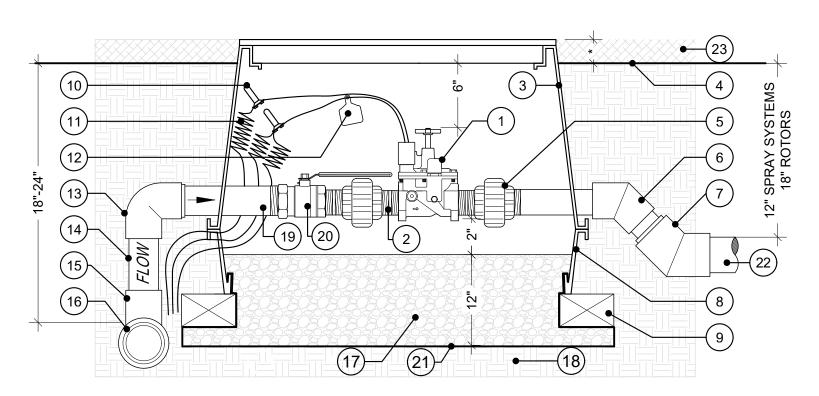
NOT TO SCALE

NOT TO SCALE

-ALL GROUNDING REQUIREMENTS FOR CONTROLLER ASSEMBLIES SHALL CONFORM TO LOCAL ELECTRICAL CODES. GROUNDING ROD REQUIRED AT MIN.

-UNIT NOT TO EXCEED 100LBS. OR CONTRACTOR SHALL REQUEST REVISED ANCHORING SYSTEM.

(E) CONTROLLER



- 1. REMOTE CONTROL VALVE PER IRRIGATION LEGEND 2. SCH 80 PVC NIPPLE (3 REQUIRED) VALVE SIZE 3. RECTANGULAR PLASTIC VALVE BOX (RAINBIRD VB-JBM-H)
- HEAT BRAND STATION NUMBER ON LID IN 2" BLOCK LETTERS 4. FINISH GRADE 5. SCH 80 UNION (TxT)(2 REQUIRED)
- 6. SCH 40 PVC 45 DEGREE ELL 7. SCH 40 PVC 45 DEGREE ELL (BUSH UP TO LINE SIZE) 8. RECTANGULAR PLASTIC VALVE BOX (RAINBIRD VB-JMB-B)
- COMMON BRICK SUPPORTS (4 REQUIRED) 10. WATER PROOF WIRE CONNECTORS (DBY /2 REQUIRED) 11. UF WIRES TO CONTROLLER (COLOR CODED) SEE SPECS.
- 12. I.D. TAG WITH STATION NUMBER PRINTED ON IT (CHRISTY'S #ID-STD-Y1)
- 18. COMPACTED NATIVE SOIL 19. SCH 80 NIPPLE CUT TO LENGTH (2 REQUIRED) 20. BALL VALVE - NIBCO T-585-70-66 (SIZE PER RCV) 21. FILTER FABRIC - ENSURE ALL VALVE BOX HOLES ARE
- 22. LATERAL LINE (SIZE PER PAN) 23. MULCH REFER TO PLANTING PLAN 1/2" IN TURF AREAS, 2" IN SHRUB AREAS

16. MAINLINE PIPING REFER TO PLAN

17. FILL BASE OF BOX WITH 3/4" GRAVEL

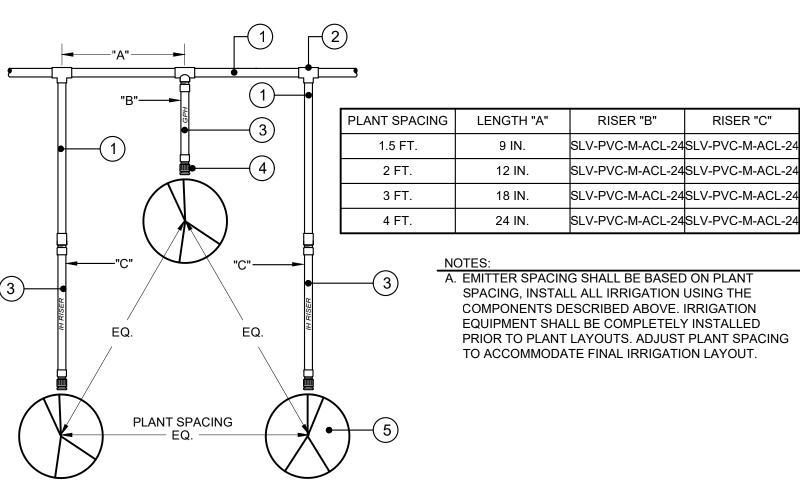
13. SCH 80 PVC 90 DEGREE (SIZE PER MAINLINE).

14. RISER. (SIZE ACCOMMODATE 2 VALVES CONT.)

15. SCH 80 PVC TEE (OUTLET TO BE CAPABLE OF 2 VALVES @

TIME MIN OR MAIN SIZE PER PLAN WHICHEVER IS GREATER)

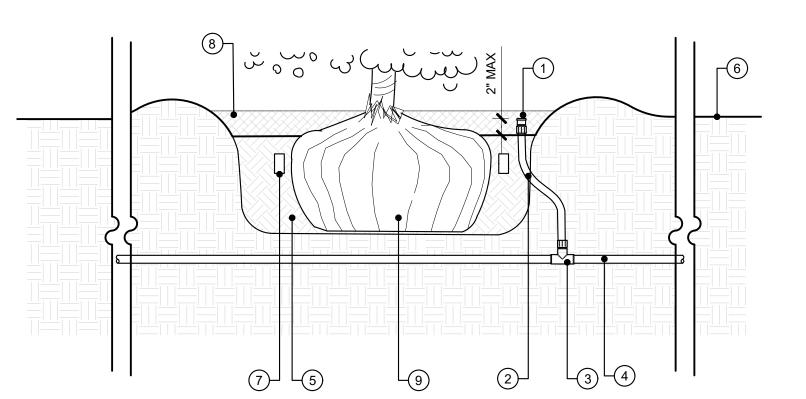
REMOTE CONTROL VALVE



1. PVC SCH. 40 PIPE. SIZE PER PLAN 2. PVC SCH. 80 REDUCING TEE. 3. HUNTER IH SERIES FLEX RISERS, LENGTH AS NEEDED 4. PRESSURE COMPENSATING, CHECK VALVE EMITTER, PER LEGEND

PLANT, TRIANGULAR SPACING.

SINGLE EMITTER PLAN VIEW NOT TO SCALE



LEGEND

1. PRESSURE COMPENSATING, CHECK VALVE DRIP EMITTER PER LEGEND. LOCATE AT EDGE OF PLANTING PIT / WATERING BASIN. INSTALL AFTER FLUSHING SYSTEM OF DEBRIS. (MAX 2" ABOVE FINISH GRADE) 2. 1/2" UV-RESISTANT PVC FLEXIBLE PIPE - HUNTER IH SERIES FLEX RISER. LENGTH AS NEEDED, 5' MAXIMUM LENGTH.

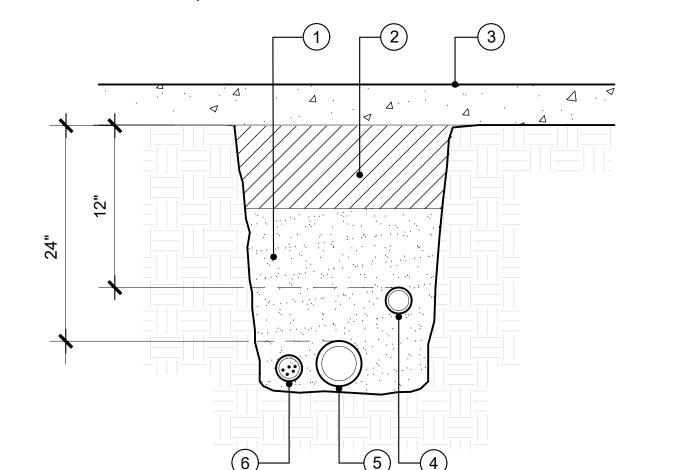
3. SCHEDULE 80 PVC REDUCING TEE. SOLVENT WELD FLEX PIPE TO PVC FITTING PER MANUFACTURERS RECOMMENDATIONS.

- 4. PVC LATERAL LINE FROM REMOTE CONTROL VALVE. DEPTH / COVER PER IRRIGATION SPECIFICATIONS. 5. SHRUB PLANTING PIT. AMENDED BACKFILL PER AGRONOMIC SOILS REPORT. FINISHED GRADE.
- 7. PLANT TABLET PER SPECIFICATIONS. 8. MULCH PER PLANTING PLAN.

NOTES:
A. ONE EMITTER PER SHRUB.

9. PLANT ROOT BALL

(H) SINGLE EMITTER SECTION



LEGEND 1. SAND BACKFILL.

- 2. SOIL BACKFILL.
- FINISHED SURFACE (CONC./ AC PAVING). NON-PRESSURE LATERAL IN SLEEVE.
- PRESSURE PVC MAINLINE IN SLEEVE. 6. CONTROLLER WIRING-IN PVC SLEEVE ADJACENT TO MAINLINE.

NOT TO SCALE

ARCHITECTS

—

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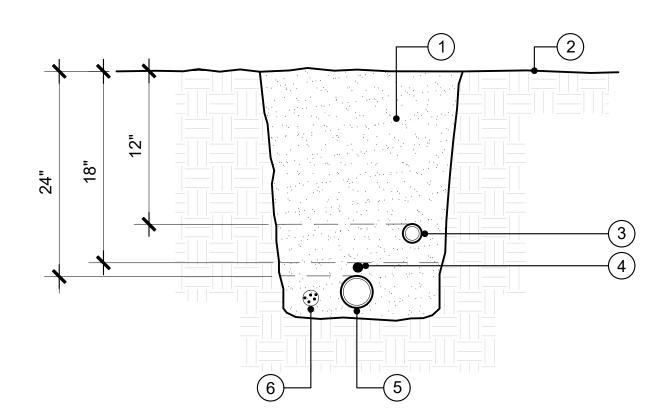
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1. CLEAN SOIL BACKFILL. SEE SPECS. 2. FINISHED GRADE. 3. PVC NON-PRESSURE LATERAL LINE.

4. COPPER TRACER WIRE. 5. PVC PRESSURE PVC MAINLINE.

6. CONTROLLER WIRING TAPE @ 10' O.C.

1. LATERAL LINE COVER SHALL BE NO MORE THAN 8".

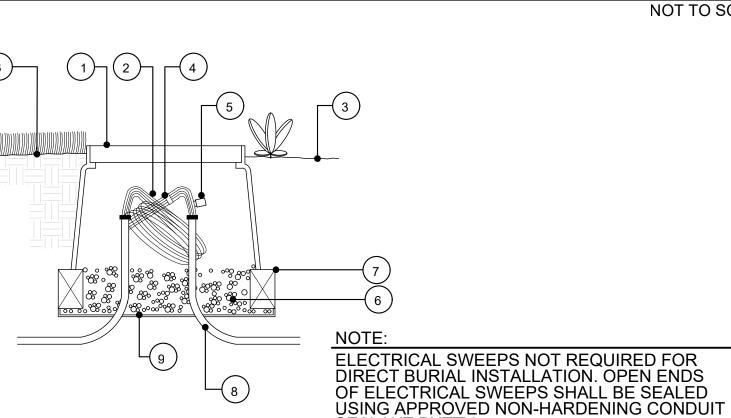
SHALL BE 24"

LINES 2 1/2" AND LESS THAN 24" FOR LINES 2 1/2" AND LARGER. 3. PIPE AND WIRE SLEEVES MIN. COVER

2. MAIN LINE COVER SHALL BE 18" FOR

(B) TRENCHING

NOT TO SCALE



LEGEND

- SURFACE OF PAVING. 1. VALVE COVER (RAINBIRD VB-10RND-PL) HEAT BRAND "PB' ONTO LID, IN 2" HIGH LETTERS
- 2. 36" WIRE EXPANSION LOOP TYP.
- 3. FINISH GRADE, PER PLAN 4. WIRE CONNECTORS

AND WALLS, ETC.

HEAD.

(C) PULL BOX

- 5. CONTROL WIRE LABEL, SEE SPECS
- 8. PVC ELECTRICAL SWEEP IF INSTALLED IN CONDUIT

SEALANT PUTTY.

9. BIOBARRIER ROOT CONTROL SYSTEM FABRIC

7. BRICK SUPPORT

WHERE PULL BOX OCCURS WITHIN PAVING, USE BROOKS CONCRETE PULL BOX MODEL

6. 3/4" ROCK, 3 CUBIC FEET

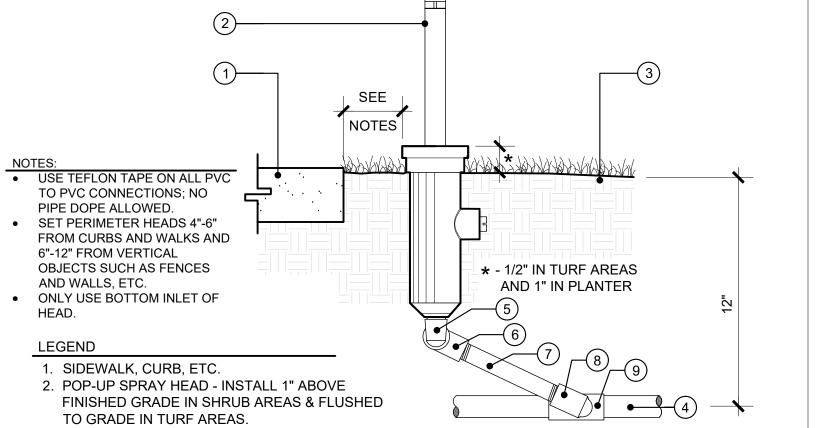
#1PB W/CONCRETE COVER #A. MOUNT

TOP OF PULL BOX FLUSH W/FINISH



C-26046

80



3. FINISHED GRADE. 4. PVC LATERAL LINE. 5. 2" SCH. 80 PVC STREET ELL. 6. 90° ELL.

LANDSCAPE **IRRIGATION** 7. 12" SCH 80 PVC NIPPLE THREADED BOTH ENDS. 8. PVC SCH 40 ELL. **DETAILS** 9. PVC SCH 40 TEE OR ELL.

NOT TO SCALE

NO DATE BY DESCRIPTION

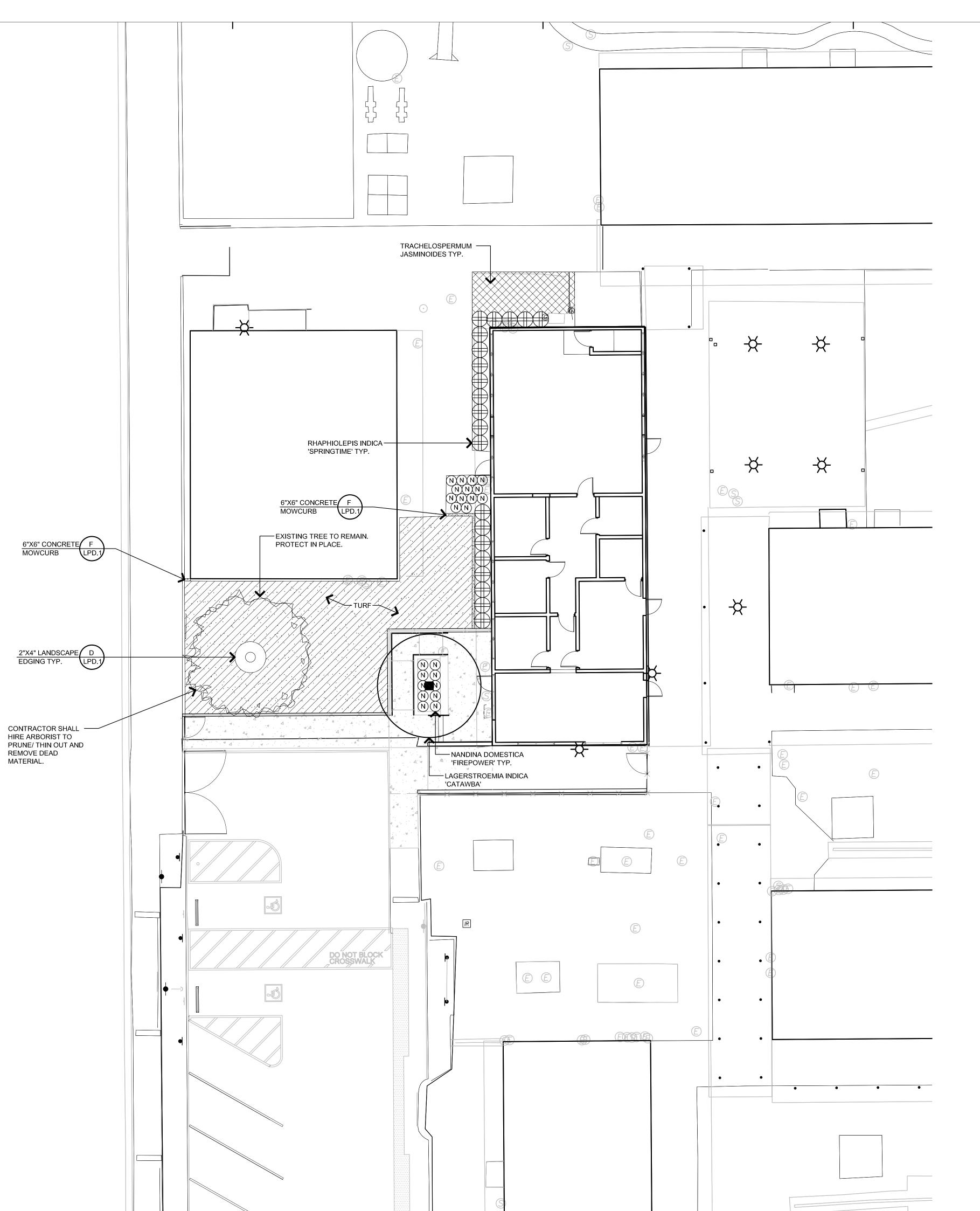
DATE: 09/27/2019 | **SCALE:** N.T.S.

PROJECT NUMBER: 1719800

DRAWN: JV

REVISIONS

CHECKED: BMP



PERCOLATION TEST NOTE

CONTRACTOR SHALL DIG (AS TEST AREAS) FOUR PLANT PITS OF 24" BOX SIZE, OR LARGER. PITS ARE TO BE FILLED WITH WATER AND LET DRAIN COMPLETELY; REFILL PIT WITH WATER AND MEASURE TIME FRAME FOR ALL WATER IN PIT TO FULLY SUBSIDE. THE RESULTS OF THIS TEST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO MORE THAN 48 HOURS AFTER THE COMPLETING THE TEST. TEST PITS SHALL BE IN ACTUAL LOCATION OF TREES SHOWN ON PLANS. FAILURE TO CARRY OUT THIS TEST SHALL MAKE THE CONTRACTOR LIABLE FOR ANY AND ALL TREES THAT DIE DUE TO POOR WATER PERCOLATION BEYOND THE AGREED GUARANTEE PERIOD. SEE BELOW FOR FURTHER INFORMATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING A MINIMUM OF 3 SOIL SAMPLES. 2 FROM DIFFERENT LOCATIONS BEFORE AMENDING SOIL, AND 1 AFTER COMPLETION OF SOIL AMENDMENTS/ TILLING.

PRE-CONSTRUCTION SITE WALK AND DOCUMENTATION: CONTRACTOR SHALL WALK SCOPE AND AREAS JUST BEYOND, OPERATE ALL COMPONENTS AND DOCUMENT ANY DEFICIENCIES OBSERVED IN WRITING AND WITH SUPPORTING PHOTOS. PACKAGE SHALL BE PROVIDED TO OWNER AND LANDSCAPE ARCHITECT. ANY ITEMS DEEMED NON-OPERATIONAL AT TURN OVER WALK THAT WAS NOT DOCUMENTED IN INITIAL REPORT, SHALL BE DEEMED TO HAVE OCCURRED DUE TO CONSTRUCTION AND SHALL BE REPAIRED OR REPLACED (INCLUDING AFFECTED PLANT MATERIAL) AT NO COST TO OWNER.

EXISTING TREE NOTES

CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL WITHIN 12" OF ANY ROOT SYSTEMS AND SHALL NOT CUT OR DAMAGE ANY ROOT LARGER THAN 2" WITHOUT REVIEW AND WRITTEN APPROVAL BY A CERTIFIED ARBORIST. ANY ILL AFFECTS ON THE HEALTH OF THE EXISTING TREES IS OBSERVED AND WAS A RESULT OF THE DISTURBANCE OF THE EXISTING TREE DURING CONSTRUCTION, CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO SAVE THE TREE; IF THE TREE CANNOT BE SAVED, CONTRACTOR SHALL REPLACE WITH LIKE KIND AND SIZE.

SITE VERIFICATION NOTE:

CONTRACTOR SHALL VERIFY AND BECOME FAMILIAR WITH THE SITE AND THE ITEMS ASSOCIATED WITH THEIR SCOPE OF WORK INCLUDING BUT NOT LIMITED TO CONTROLLER LOCATION, MAINLINE LOCATION, OPEN STATIONS ON CONTROLLER, WIRE RUNS, ETC. CONTRACTOR SHALL PROCEED AS STATED PRIOR TO BIDDING AND AGAIN PRIOR TO START OF CONSTRUCTION.

PLANTING NOTES

- 1. ALL DIMENSIONS & CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON THE JOB SITE.
- 2. ANY DISCREPANCIES OR OMISSIONS SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO WORK.
- 3. CONTRACTOR SHALL NOTIFY THE DISTRICT'S REPRESENTATIVE OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECS.

6. TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE IRRIGATION

- 4. CONTRACTOR SHALL BE LIABLE FOR REMOVING AND RE-INSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS.
- 5. IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PLANT MATERIALS.
- COVERAGE TEST HAS BEEN APPROVED. (SEE SPECIFICATIONS). 7. PLACE TREES BETWEEN IRRIGATION HEADS WHEREVER POSSIBLE.
- 8. SHREDDED MULCH INSTALLATION: INSTALL SHREDDED MULCH IN ALL SHRUB & GROUNDCOVER AREAS AT A DEPTH OF 3" UNLESS OTHERWISE INDICATED ON PLANS. MATERIAL SHOULD BE SPREAD SMOOTH AND EVENLY. MULCH TO BE SUPPLIED BY AGROMIN, TELEPHONE NUMBER (800) 247-6646. MULCH TYPE: ES-2 COVER MULCH.
- 9. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONTRACTOR AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE EXACT DUPLICATE OF THE ORIGINAL WORK ON PLANS, UNLESS OTHERWISE APPROVED BY THE DISTRICT'S AUTHORIZED REPRESENTATIVE.
- 10. CLEANUP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE DISTRICTS REPRESENTATIVE.
- 11. THE PLANTING PLANS ARE ONLY ACCURATE FOR PLANTING LOCATION AND QUANTITIES. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES BY PLAN CHECK. THE PLANTING LEGEND IS ACCURATE ONLY FOR PLANT SIZE. IN THE EVENT OF A DISCREPANCY, THE CONTRACTOR SHALL ADJUST THE QUANTITIES OF THE SMALLEST PLANT SIZE SPECIFIED IN THE LEGEND TO CONFORM WITH THE QUANTITIES REQUIRED BY THE PLAN.
- 12. ALL TREES PLANTED WITHIN FIVE FEET OF CONCRETE AND/OR ASPHALT PAVING SHALL HAVE A ROOT BARRIER INSTALLED WITH THE TREE. INSTALL PER MFG. SPECIFICATIONS. ROOT BARRIER BY DEEPROOT OR EQUAL.
- 13. THE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM A DEPTH OF (12") TWELVE INCHES MINIMUM FROM THREE LOCATIONS AROUND THE SITE.
- 14. TREES SHALL BE STRAIGHT AND OF UNIFORM SHAPE WITHOUT DAMAGED, CROOKED OR MULTIPLE LEADERS. TREES WITH ABRASIONS OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER WHICH HAVE NOT BEEN PRUNED AND PAINTED OR COMPLETELY CALLOUSED, WILL NOT BE ACCEPTED. BOX SIZE STOCK SHALL HAVE GROWN IN SPECIFIED CONTAINER SIZE FOR AT LEAST (1) YEAR.

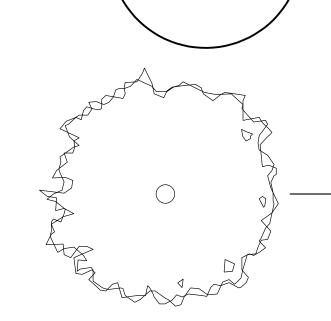
STANDARDS - MATCHED +/- 1 MEDIUM C, E / LPD.1

PLANTING LEGEND

LAGERSTROEMIA INDICA

'CATAWBA'

WUCOLS ZONE 4 DETAIL SIZE COMMON NAME SPACING REMARKS BOTANICAL NAME TREES



 \cdot EXISTING TREE TO REMAIN. PROTECT IN PLACE. DO NOT DAMAGE ROOT SYSTEMS DURING CONSTRUCTION. ANY ROOTS LARGER THAN 2" THAT NEED TO BE CUT SHALL BE REVIEWED BY A CERTIFIED ARBORIST PRIOR AND POST CUTTING. IN THE EVENT THE TREE SHOWS DECLINE IN THE FIRST 5 YEARS AFTER CONSTRUCTION, CONTRACTOR SHALL PROVIDE CREDIT TO THE OWNER FOR THE ESTIMATED COST OF SAID TREE AS APPRECIATED BY A CERTIFIED ARBORIST.

36" BOX PER

NOTE: TREE SHALL BE FREE OF SURFACE ROOTS, TRUNK SHALL BE STRAIGHT IN NATURE AND BALANCED AND PALMS SKINNED IN INDUSTRY STANDARD METHOD PRIOR TO DELIVERY. SIZES SHOWN ARE MINIMUM SIZES MEASURED AS SET FORTH IN ANSI Z60.

CATAWBA CRAPE

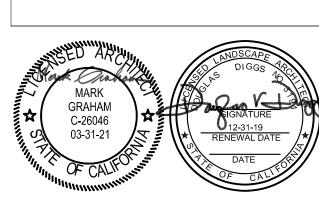
		RHAPHIOLEPIS INDICA 'SPRINGTIME'	INDIAN HAWTHORN	5 GALLON	36" O.C.	TRIANGULAR SPACING	+/- 21	MEDIUM	B / LPD.1
GROUNDCO	VER								
N		NANDINA DOMESTICA 'FIREPOWER'	DWARF HEAVENLY BAMBOO	1 GALLON	24" O.C.	TRIANGULAR SPACING	+/- 23	MEDIUM	A / LPD.1
		TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GALLON	36" O.C.	TRIANGULAR SPACING	+/- 160 S.F.	MEDIUM	A / LPD.1
/·./,/		MEDALLION TALL FESCUE PACIFIC SOD	TURF	SOD			+/- 1,351 S.F		

PH: 800-942-5296 SHREDDED MULCH INSTALLATION: INSTALL SHREDDED MULCH IN ALL SHRUB & GROUNDCOVER AREAS AT A NO SYMBOL SHOWN DEPTH OF 3" UNLESS OTHERWISE INDICATED ON PLANS. MATERIAL SHOULD BE SPREAD SMOOTH AND EVENLY. MULCH TO BE SUPPLIED BY AGROMIN, TELEPHONE NUMBER (800) 247-6646. MULCH TYPE: ES-2 COVER MULCH. LANDSCAPE EDGING D / LPD.1 EPIC PLASTICS 2X4 PLASTIC HEADER

WWW.EPICPLASTICS.COM (209) 333-6161 6" X 6" CONCRETE MOWCURB BROOM FINISH F / LPD.1 +/- 30 LF

1. APPLY 3" MULCH TO ALL PLANTING AREAS.





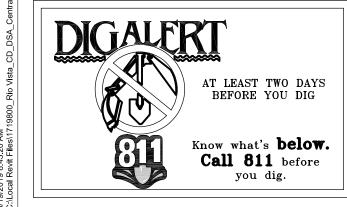
CONSULTANT INTEGRATED DESIGN GROUP, LLP. Landscape Architecture & Planning 1308 Monte Vista Ave. Suite 6 Upland, CA. 91786 Telephone: 909-946-6400 Facsimile: 909-946-6466 ddiggs.idg3@gmail.com

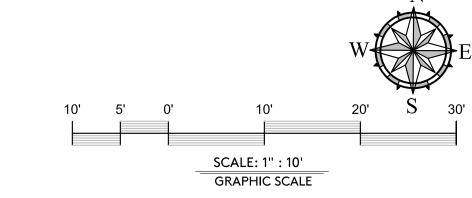
1	11/14/2019	BMP	ADDENDUM 1		
10	DATE	ВҮ	DESCRIPTION		
<u>#</u> \		REVISIONS			

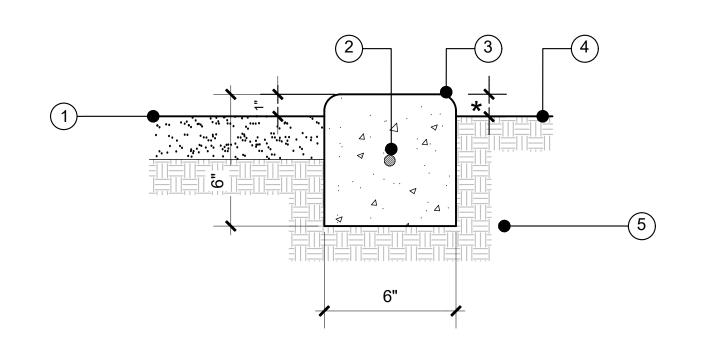
KEVISIONS CHECKED: BMP

DATE: 09/27/2019 **SCALE**: 1" = 10.0 PROJECT NUMBER: 1719800

LANDSCAPE **PLANTING PLAN**







INSTALL EXPANSION JOINTS EVERY 15' 0.C.

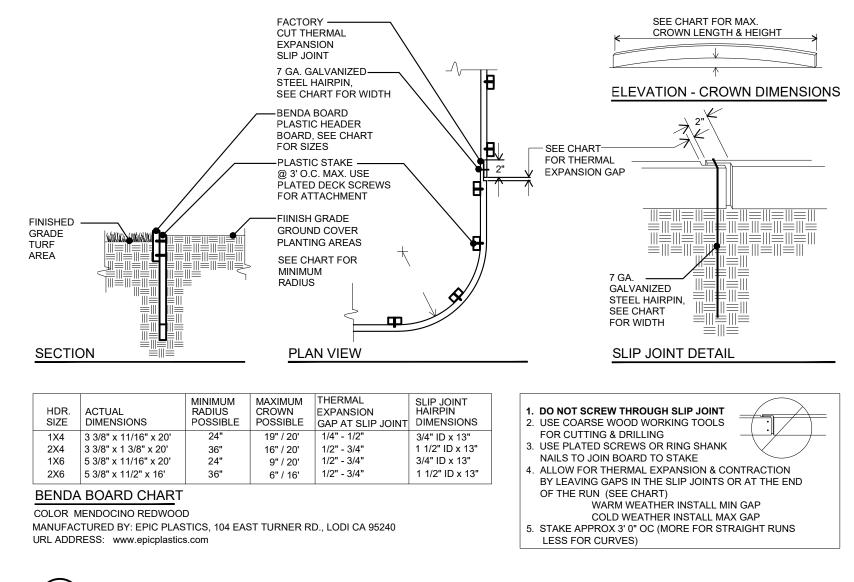
1. 3/8" MINUS D.G. PAVING (3" THICK). 2. #4 BAR CONTINUOUS, WITH 20" MINIMUM OVERLAP.

1/2" RADIUS.

TURF OR SHRUB PLANTING FINISH GRADE. * = 1" IN TURF AREAS. 2" IN SHRUBS 90% COMPACTED SUBGRADE.

6"X6" CONCRETE MOWCURB

NOT TO SCALE



BENDA BOARD PLASTIC HEADER BOARD DETAIL #110 NOT TO SCALE

> Top of root barrier 2" (5cm) below finish grade of curb

> > Typical DeepRoot UB 24-2, optional use of UB 18-2

INSTALLATION SEQUENCE:

1. Prepare base and subgrade

2. Trench to appropriate depth for

and finish grade of SW)

of the form)

Typical DeepRoot UB 24-2. Optional use of UB 18-2. Minimum 6 panels or 12 linear feet (3.66m).

3. Place root barrier in trench, vertical ribs must face toward tree roots. 4. Backfill and compact to requirements. 5. Place form material against barrier (It may be nailed from the outside

IMPORTANT NOTE: Tree location must align

with "as-built" center of barrier.

installation of root barrier so that

finish grade of top of sidewalk (or

halfway between top of compacted base

top of barrier is 2" (5cm) below

Linear Application of DeepRoot Tree Root Barriers at Time of Installing Concrete Sidewalks and Curbs

TYPICAL SECTION OF CURB, GUTTER AND SIDEWALK

WITH DEEPROOT TREE ROOT BARRIER INSET INTO

BARRIER INSTALLED IN A TRENCH IN SUBGRADE

WHICH IS THEN COMPACTED. BARRIER IS SET

SO THAT TOP EDGE WILL BE 2" (5CM) ABOVE

COMPACTED BASE (or halfway between base

Compacted crushed base.

and finish grade of SW). BARRIER RIBS

FACE TOWARD TREE ROOTS.

CONCRETE

TYPICAL SECTION OF CURB AND GUTTER WITH DEEPROOT

BARRIER INSTALLED IN A TRENCH IN SUBGRADE WHICH IS

FLUSH WITH EDGE OF CURB. BARRIER RIBS FACE TOWARD

THEN COMPACTED. BARRIER IS SET SO THAT TOP EDGE WILL BE 2" (5CM) BELOW FINISH GRADE OF CURB, AND SI

TREE ROOT BARRIER INSET INTO CONCRETE.

2. Trench to appropriate depth for installation of

3. Place root barrier in trench, vertical ribs must

nailed from the outside of the form)

Subgrade compaction

Top of root barrier 2" (5cm) below finish

grade of curb

Typical DeepRoot UB 24-2, optional use of UB 18-2

root barrier so that top of barrier is 2" (5cm) below finish grade of top of curb.

TREE ROOTS.

INSTALLATION SEQUENCE:

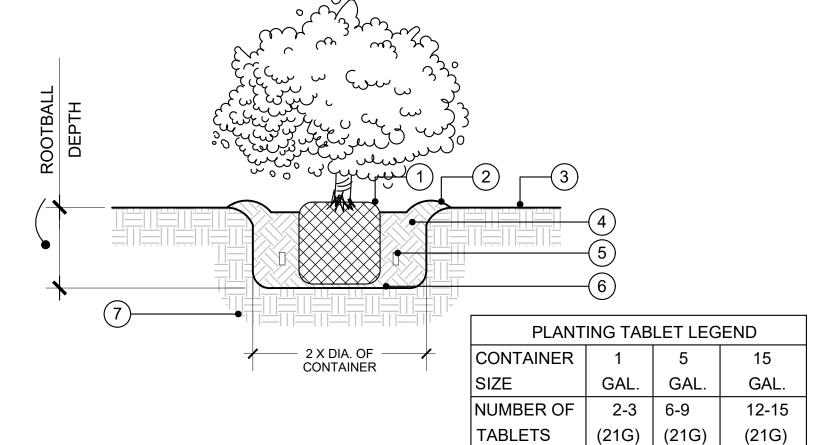
1. Prepare base and subgrade

face toward tree roots. 4. Backfill and compact to requirements. 5. Place form material against barrier (It may be LEGEND

GROUNDCOVER PLANTS HARDSCAPE EDGE (SIDEWALK, CURB WALL, ETC).

NOTE:
REFER TO PLANTING PLAN FOR REQUIRED SPACING, & TO SPECIFICATIONS FOR PLANTING METHODS & MATERIALS.

NOT TO SCALE



LEGEND

SET CROWN 1" ABOVE GRADE.

WATER BASIN REMOVE PRIOR TO END OF MAINTENANCE PERIOD. 4" ABOVE GRADE.

AMENDED BACKFILL PER AGRONOMIC SOILS REPORT. PLANTING TABLET. REFER TO PLANTING TABLET LEGEND.

SCARIFY SURFACE IF GLAZED.

UNDISTURBED SOIL.

NOT TO SCALE

ARCHITECTS

~

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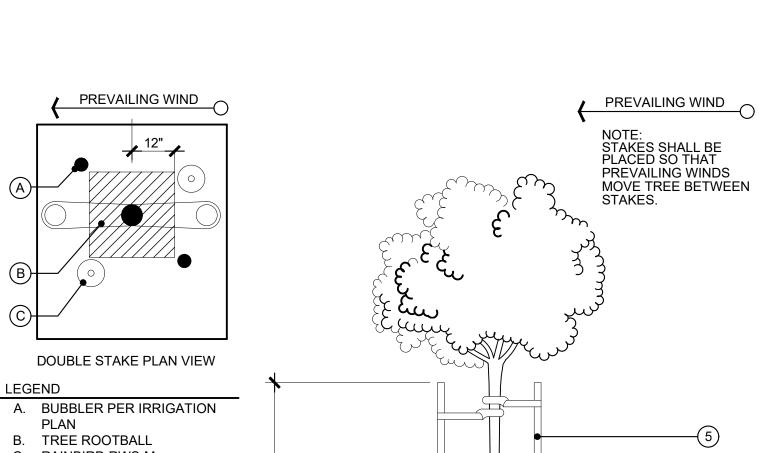
SOUTHERN CALIFORNIA

8163 ROCHESTER AVENUE, SUITE 100

RANCHO CUCAMONGA CALIFORNIA 91730-0729

TEL: 909-987-0909

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B. TREE ROOTBALL C. RAINBIRD RWS-M NOT TO SCALE

	2	21-GRAM FER	RTILIZER TA	ABLET CHAF	RT		
CONTAINER SIZE	1 GAL.	3 GAL.	5 GAL.	15 GAL.	24" BOX	36" BOX	48"BOX
RECOMMENDED	1	2.2	2.2	7.10	15 24	22.26	20.49
QUANITY OF (21 G) PLANT TABLETS	ı	2-3	2-3	7-10	15-24	22-36	30-48

 RWS-M DEEP ROOT WATER. 2 PER TREE.

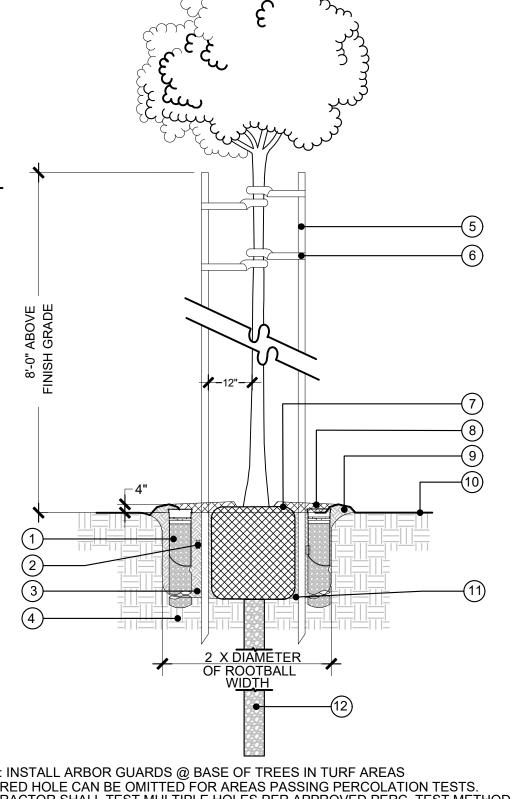
- 2. PLANT TABLET. REFER TO SPECS AND TO TABLET LEGEND. 3. AMENDED BACKFILL. AMEND PER
- AGRONOMIC SOILS REPORT. COMPACTED NATIVE. 5. 2"X12' PINE LODGE POLE STAKE OR APPROVED EQUAL (2 REQU.) 6. RUBBER CINCH TIE (2 REQU.)
- 7. ROOTBALL TO BE SET 1" ABOVE FINISH GRADE. 8. 3" DEPTH OF MULCH REFER TO PLANTING LEGEND FOR TYPE.

9. 3"-4" HIGH BERM AROUND OUTSIDE OF

ROOTBALL. REMOVE PRIOR TO END OF

10. FINISH GRADE 11. PLANT PIT. SLOPE TO DRY SUMP. 12. DRY SUMP. 4" DIAMETER X 6' DEEP MIN FILL WITH $\frac{3}{4}$ " WASHED GRAVEL.

MAINTENANCE.



NOTE: INSTALL ARBOR GUARDS @ BASE OF TREES IN TURF AREAS AUGERED HOLE CAN BE OMITTED FOR AREAS PASSING PERCOLATION TESTS. CONTRACTOR SHALL TEST MULTIPLE HOLES PER APPROVED PERC. TEST METHOD.

ESTABLISHED PLANTS (21 GRAM)
FOR EACH 12-18 INCHES OF PLANT HEIGHT OR SPREAD, OR FOR EACH ¹/₂ INCH OF TREE TRUNK DIAMETER USE: 1. ONE TABLET FOR SLOW GROWING PLANTS

2.TWO TABLETS FOR FAST-GROWING PLANTS OR POOR SOIL SITUATIONS.

DATE: 09/27/2019 **SCALE**: N.T.S. PROJECT NUMBER: 1719800 LANDSCAPE

NOT TO SCALE

PLANTING DETAILS

C-26046

INTEGRATED DESIGN GROUP, LLP.
Landscape Architecture & Planning
1308 Monte Vista Ave. Suite 6 Upland, CA. 91786
Telephone: 909-946-6400 Facsimile: 909-946-6466
ddigss.idg3@gmail.com

1 | 11/14/2019 | BMP | ADDENDUM 1

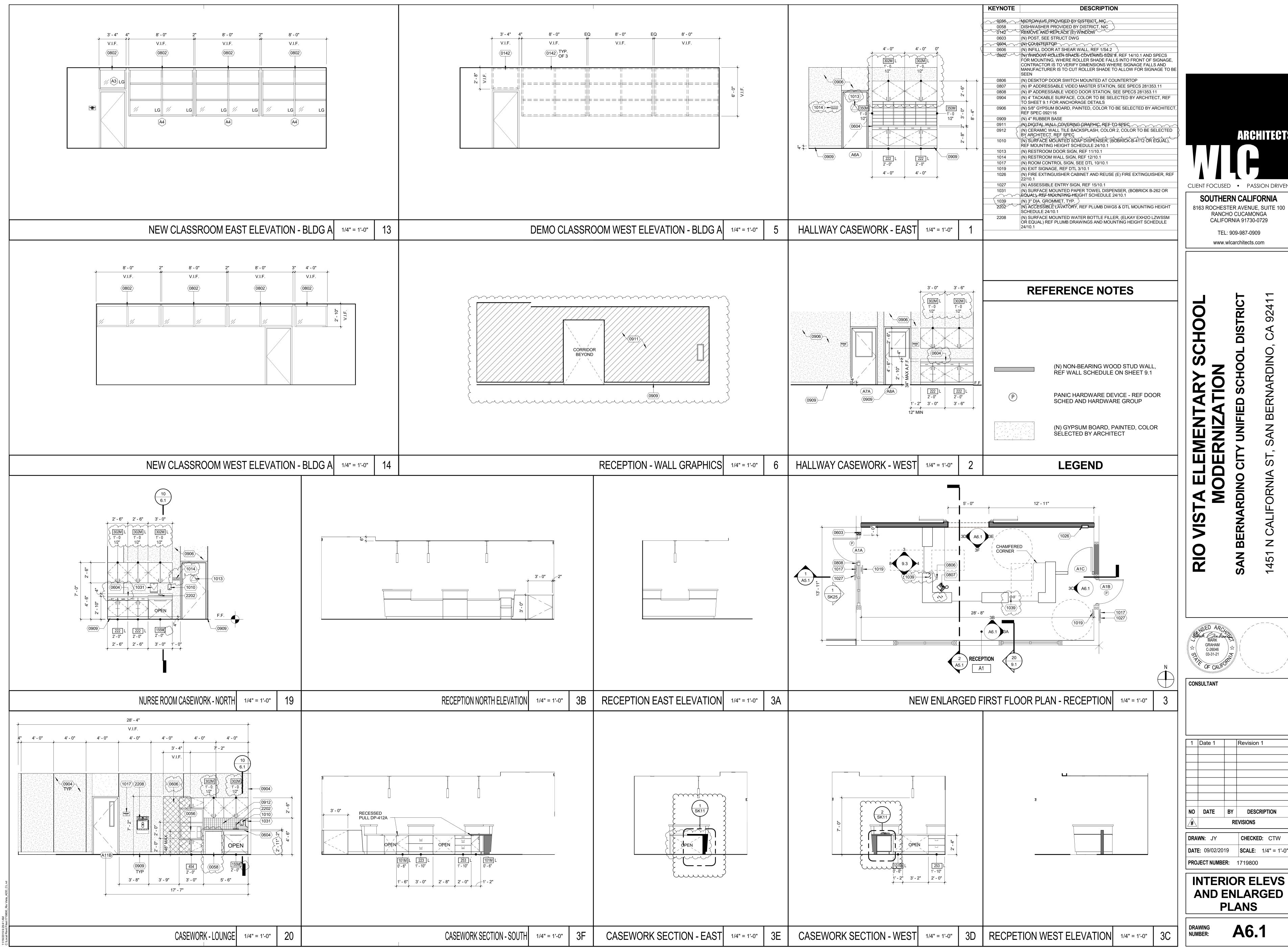
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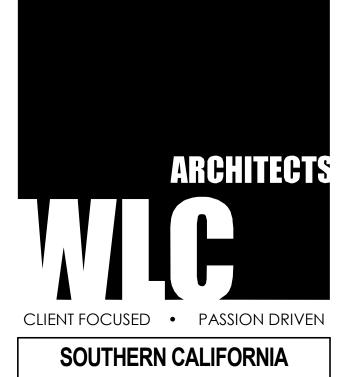
REVISIONS

CHECKED: BMP

CONSULTANT

DRAWN: JV

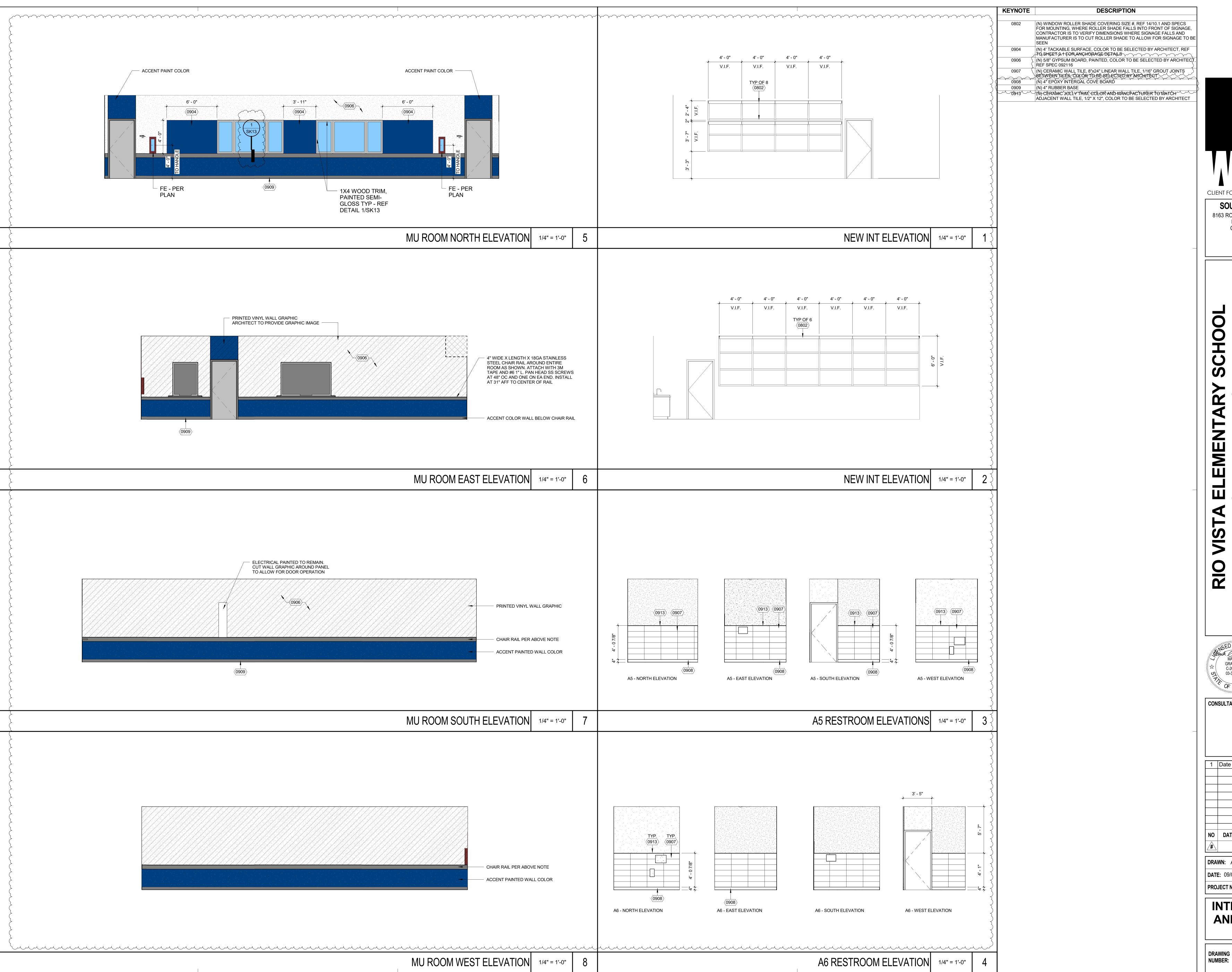




8163 ROCHESTER AVENUE, SUITE 100

DATE: 09/02/2019 | **SCALE**: 1/4" = 1'-0"

AND ENLARGED



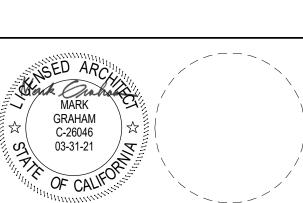


8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA

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CONSULTANT

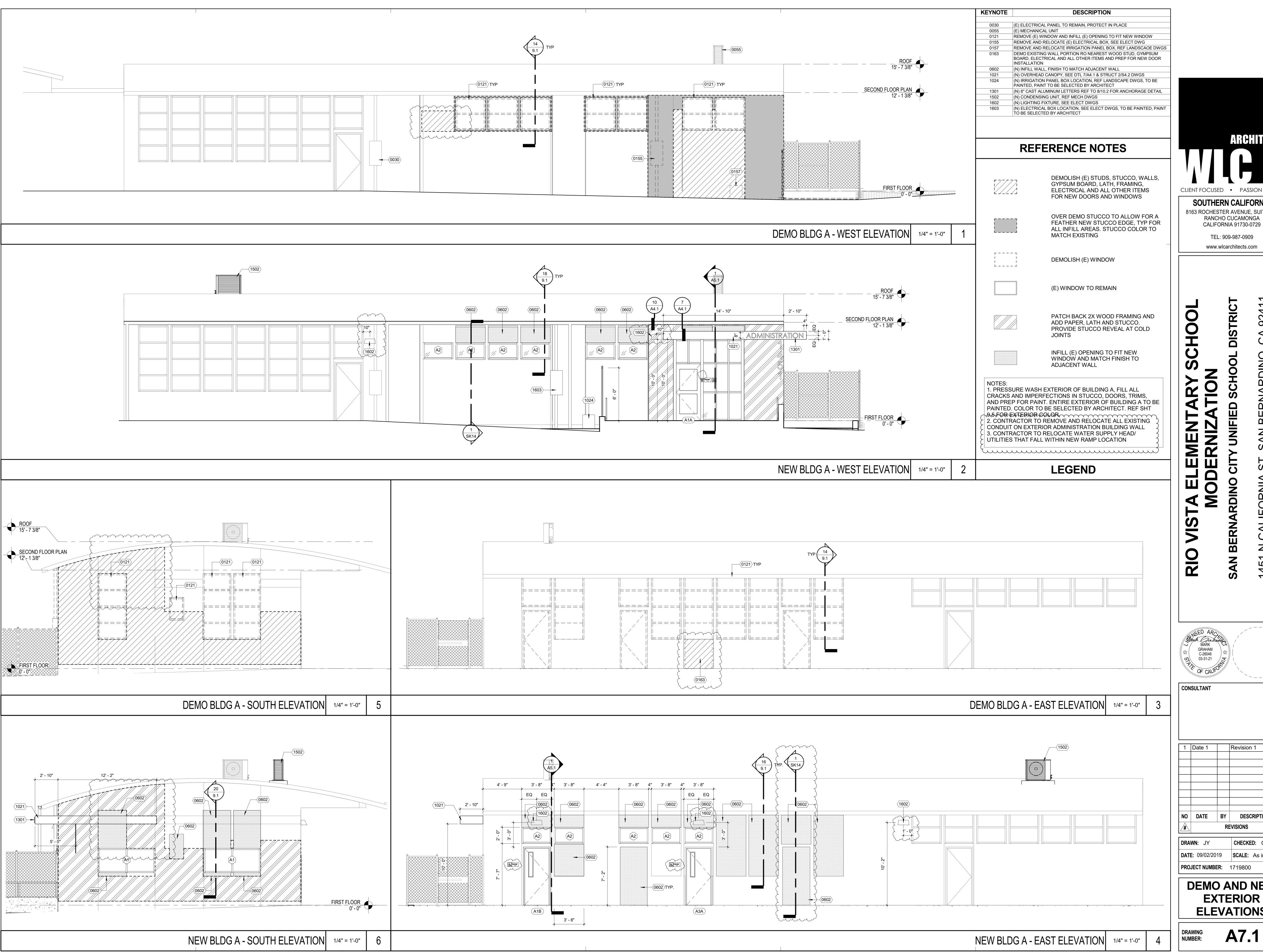
1 Date 1 Revision 1 NO DATE BY DESCRIPTION

REVISIONS CHECKED: Checker

DATE: 09/02/2019 **SCALE**: 1/4" = 1'-0" PROJECT NUMBER: 1719800

INTERIOR ELEVS AND ENLARGED **PLANS**

A6.4



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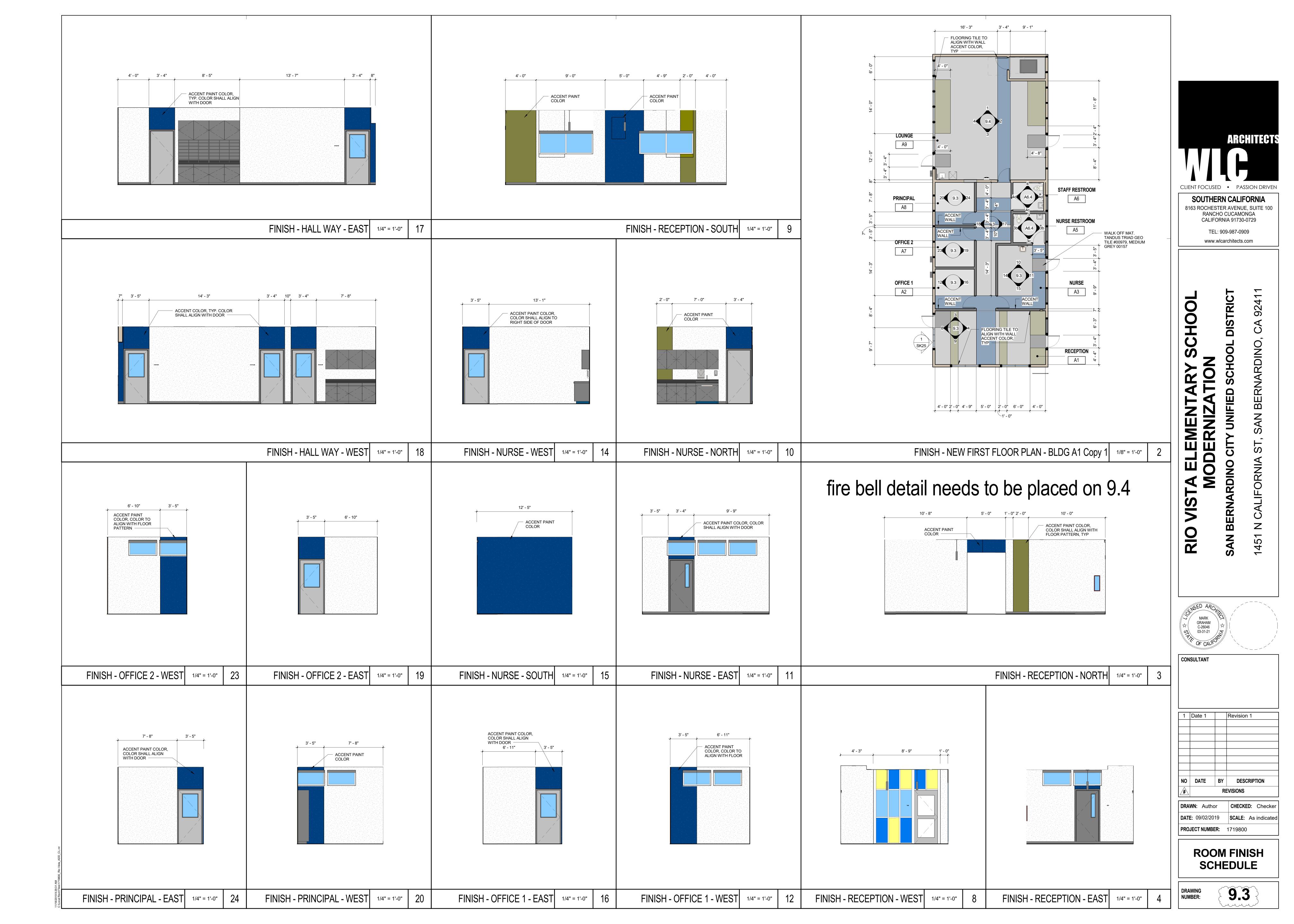
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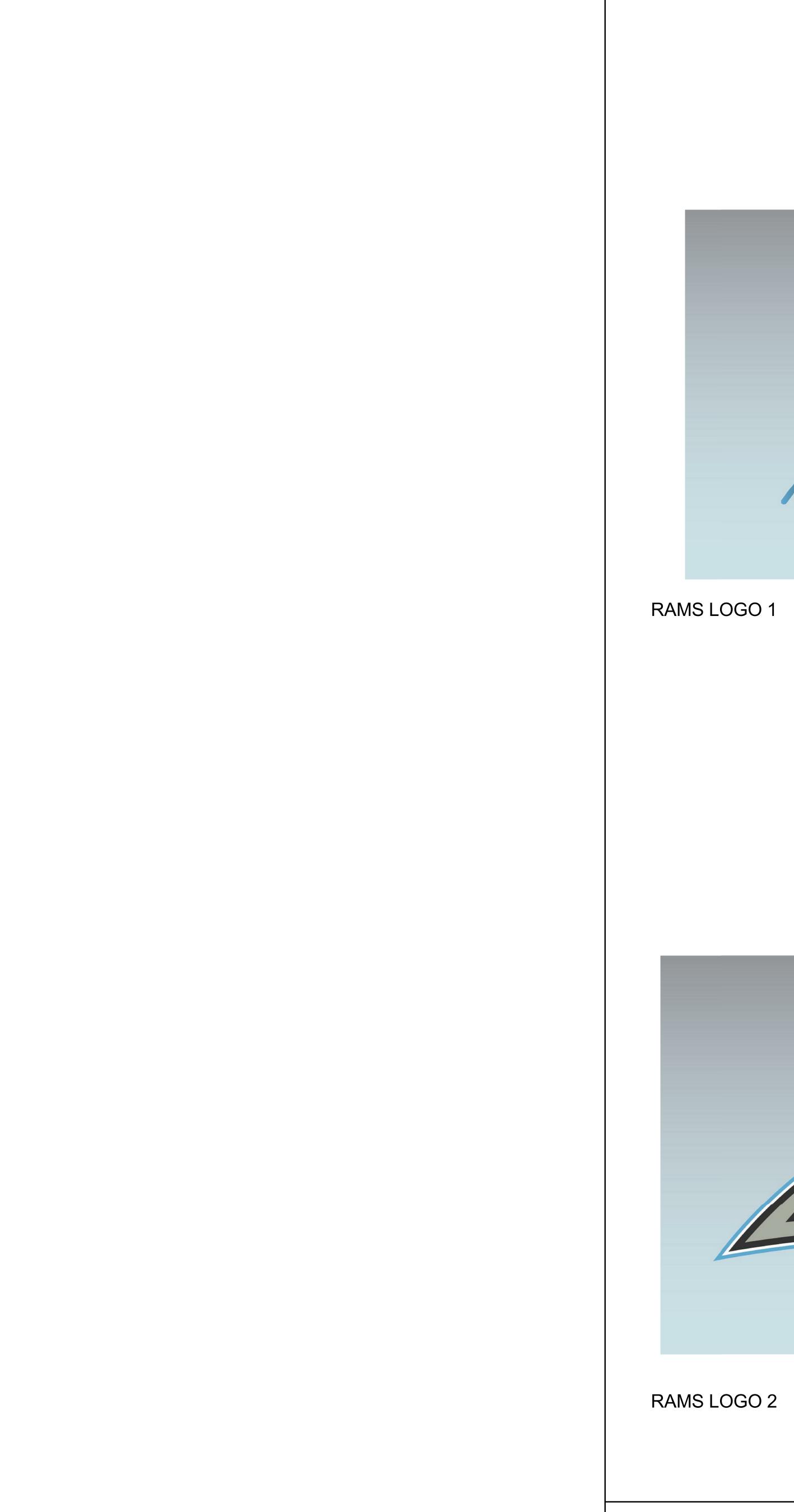
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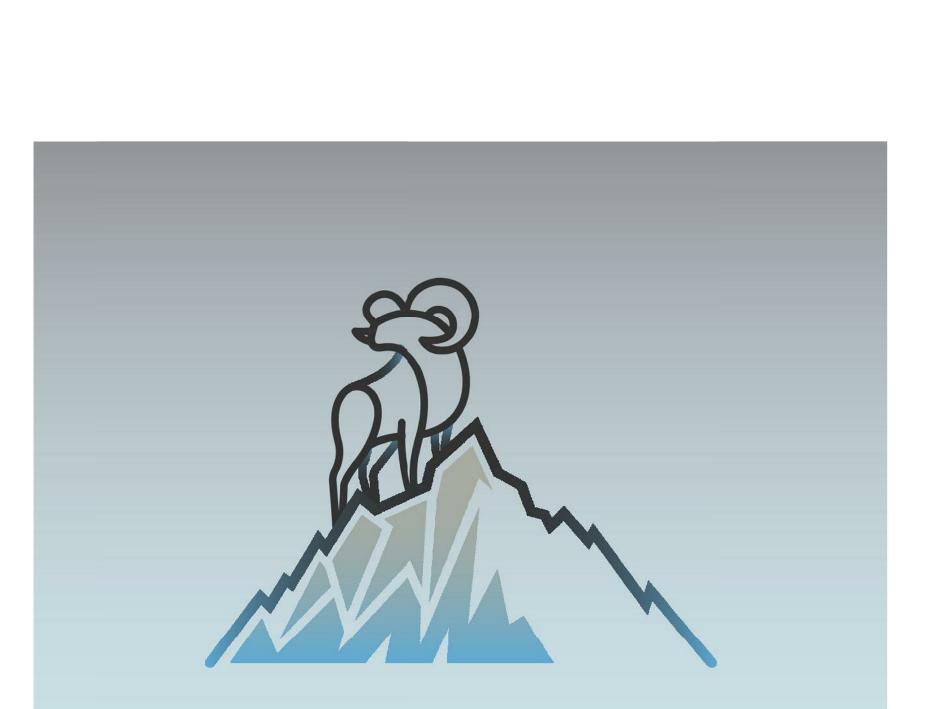
DATE: 09/02/2019 | SCALE: As indicated PROJECT NUMBER: 1719800

DEMO AND NEW EXTERIOR ELEVATIONS

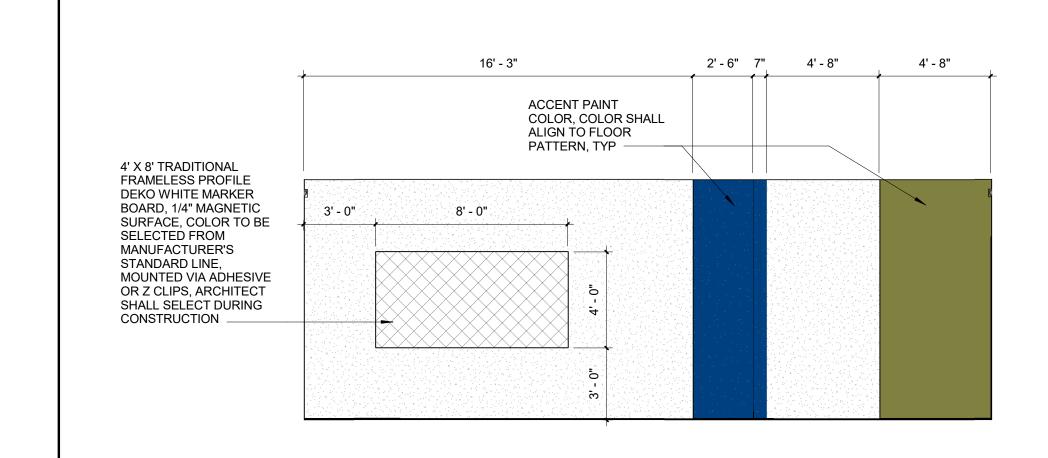
A7.1



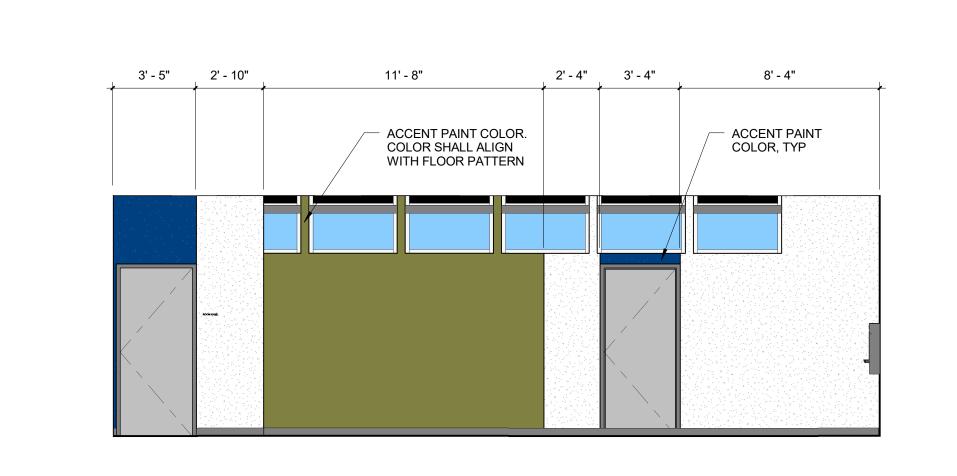










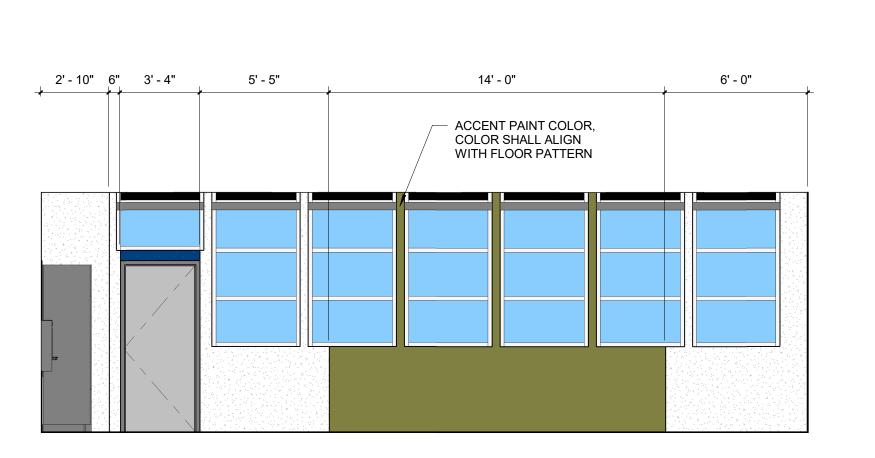


FINISH - LOUNGE - EAST



FINISH - LOUNGE - SOUTH

FINISH - LOUNGE - WEST 1/4" = 1'-0" 4



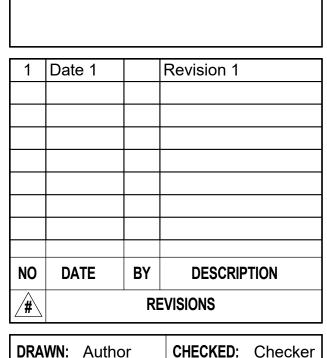


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MARK GRAHAM C-26046 03-31-21

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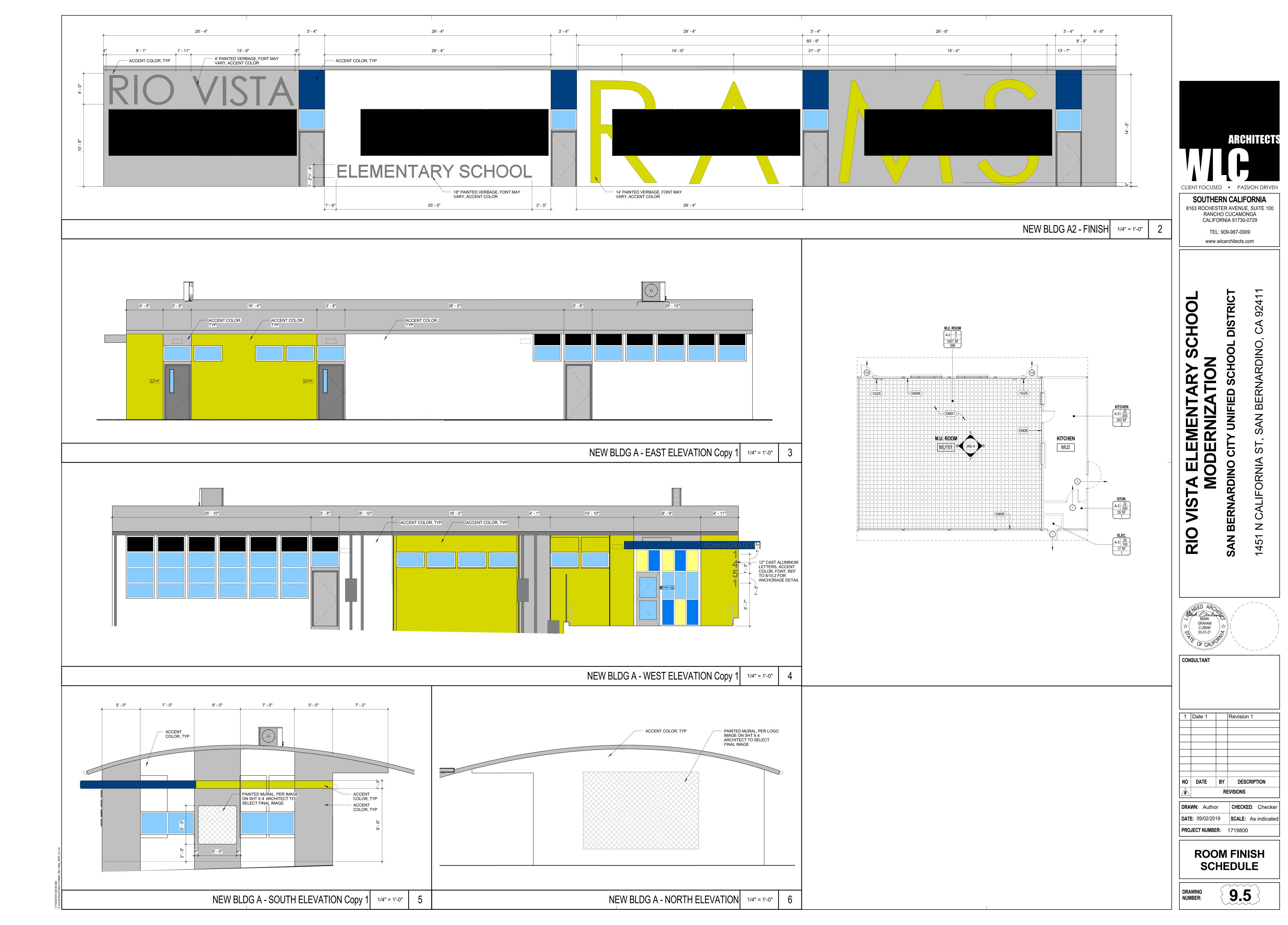


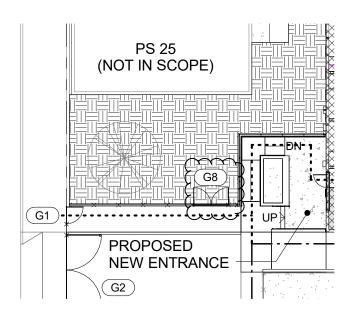
DATE: 09/02/2019 **SCALE**: 1/4" = 1'-0" PROJECT NUMBER: 1719800

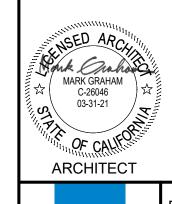
> **ROOM FINISH SCHEDULE**

DRAWING NUMBER:

9.4







APPL. 04-118156 REF. DRAWING NO: 1/A1.1



RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

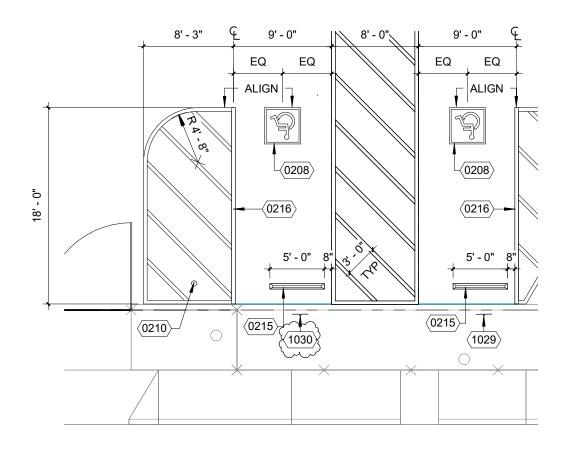
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

NEW	7\/FRALL	SITE PLAN

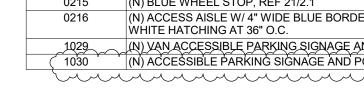
DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1" = 20'-0"
JOB NO:	1719800

ADD-01





KEYNOTE	DESCRIPTION
0208	(N) PAINTED ACCESS SYMBOL, SEE DTL 8/2.1
0210	(N) POST AND LATCH, REF 9/2.1
0215	(N) BLUE WHEEL STOP, REF 21/2.1
0216	(N) ACCESS AISLE W/ 4" WIDE BLUE BORDER STRIPING AND INTERIOR WHITE HATCHING AT 36" O.C.
1029	(N) VAN ACCESSIBLE PARKING SIGNAGE AND POST, REF DTL 2/10.2
(1030	(N) ACCESSIBLE PARKING SIGNAGE AND POST, REF 1/10.2



APPL. 04-118156 REF. DRAWING NO: 3/A1.2



CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL **MODERNIZATION**

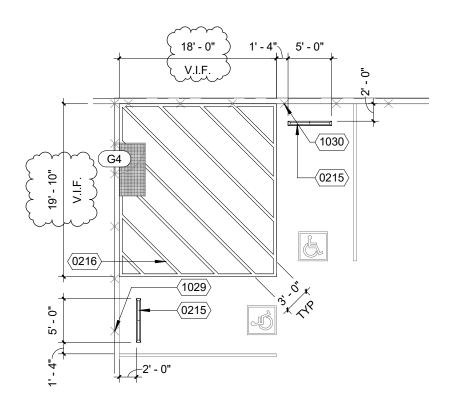
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1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

NEW ENLARGED PARKING LOT

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01



KEYNOTE	DESCRIPTION	
0215	(N) BLUE WHEEL STOP, REF 21/2.1	
0216	(N) ACCESS AISLE W/ 4" WIDE BLUE BORDER STRIPING AND INTERIOR WHITE HATCHING AT 36" O.C.	
1029	(N) VAN ACCESSIBLE PARKING SIGNAGE AND POST, REF DTL 2/10.2	
1030	(N) ACCESSIBLE PARKING SIGNAGE AND POST, REF 1/10.2	



APPL. 04-118156 REF. DRAWING NO: 6/A2.3



RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

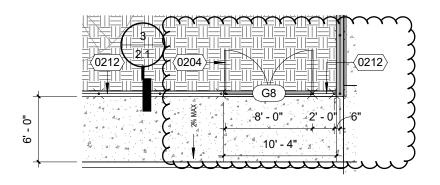
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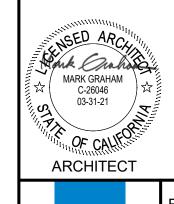
NEW PARKING LOT C	NEW PARKING LOT C
INEW PARKING LOT C	NEW PARKING LOT C
NEW FARRING LOT C	NEW FARRING LOT U
INLW FAINNING LOT O	INL WEATHING LOT O
INE VI I AINING EO I O	
11211 1 / 11 11 11 10 20 1 0	11211 /
11211 1 7 11 11 11 10 20 1 0	

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	1" = 10'-0"
JOB NO:	1719800

ADD-01



KEYNOTE	DESCRIPTION
0204	(N) CHAIN LINK GATE, REF GATE SCHEDULE ON SHEET 2.1
0212	(N) 6'- 0" CHAINLINK FENCE WITH PRIVACY SLATS, SEE DTL 18/10.1



APPL. 04-118156 REF. DRAWING NO: 1/A2.4



RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

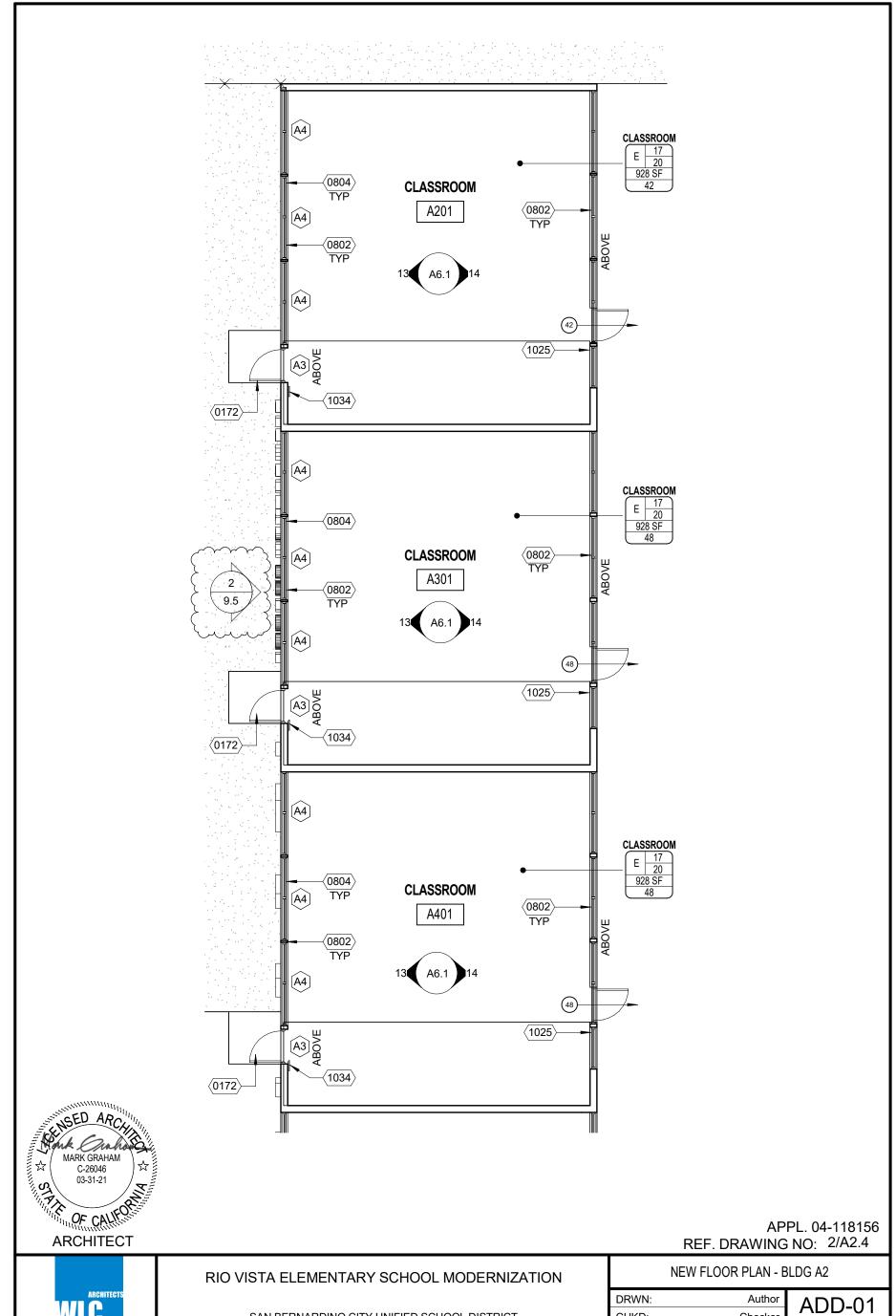
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

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DATE:	11/15/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01



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 Author

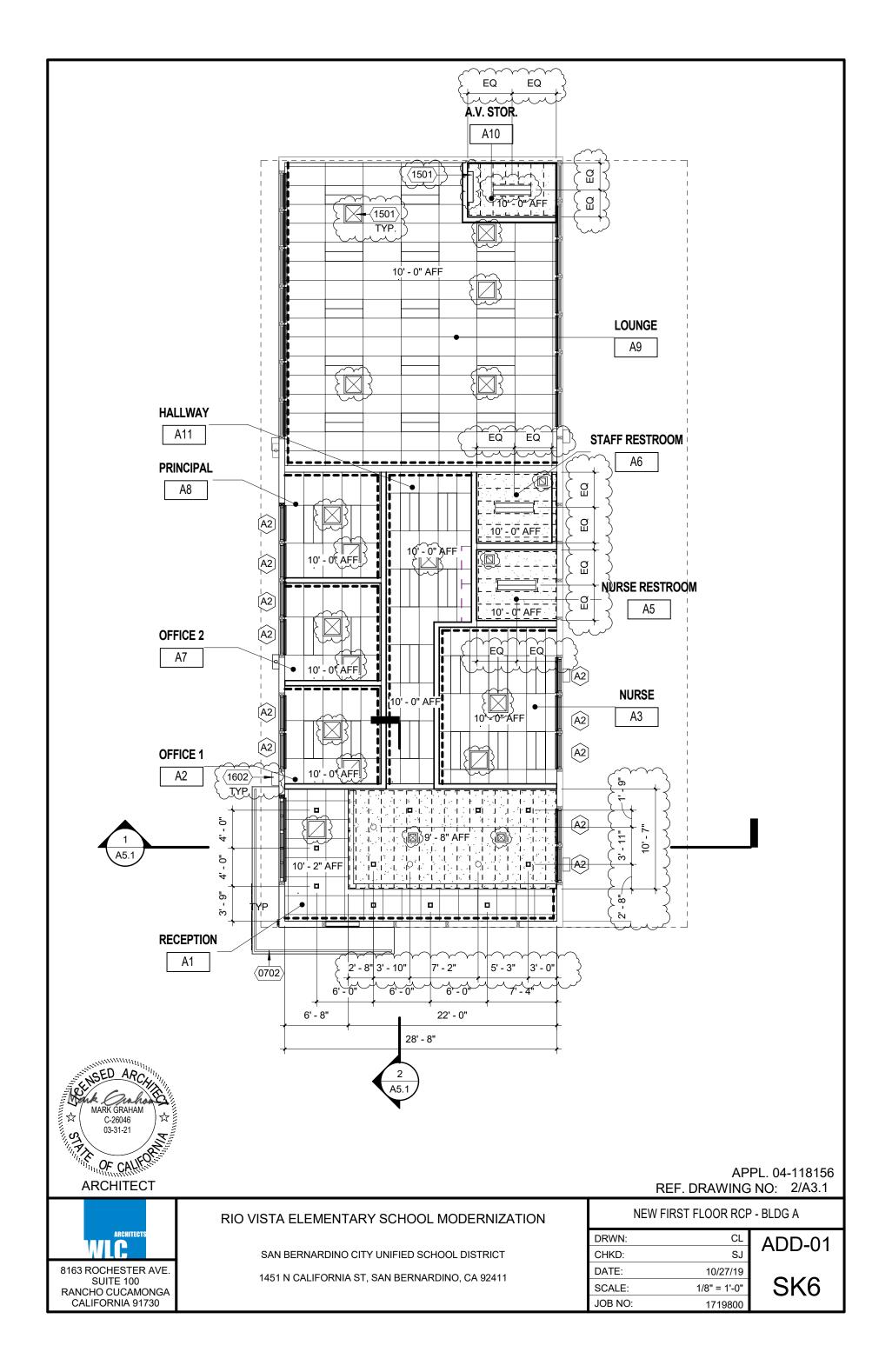
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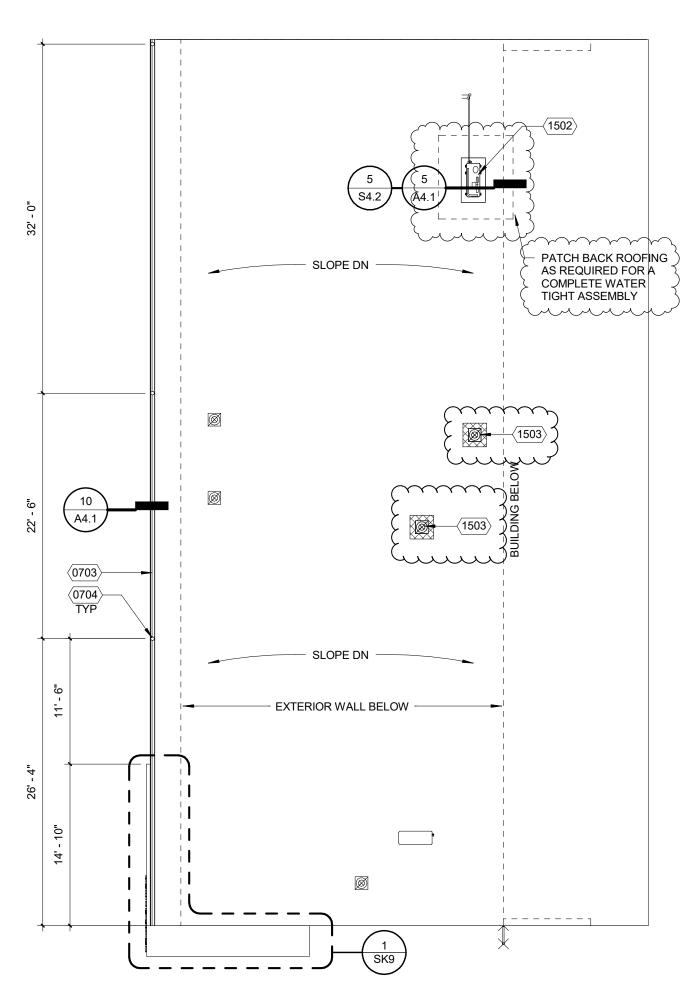
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 11/15/19

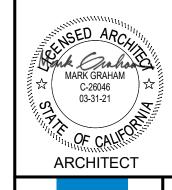
 SCALE:
 1/8" = 1'-0"

 JOB NO:
 1719800

ADD-01







KEYNOTE	DESCRIPTION
0703	(N) GUTTER, PER DTL 10/A4.1
0704	(N) DOWNSPOUT
1502	(N) CONDENSING UNIT, REF-NECH DWGS
1503	(N) ROOF CAPS, REF MECH DWGS

APPL. 04-118156 REF. DRAWING NO: 2/A4.1



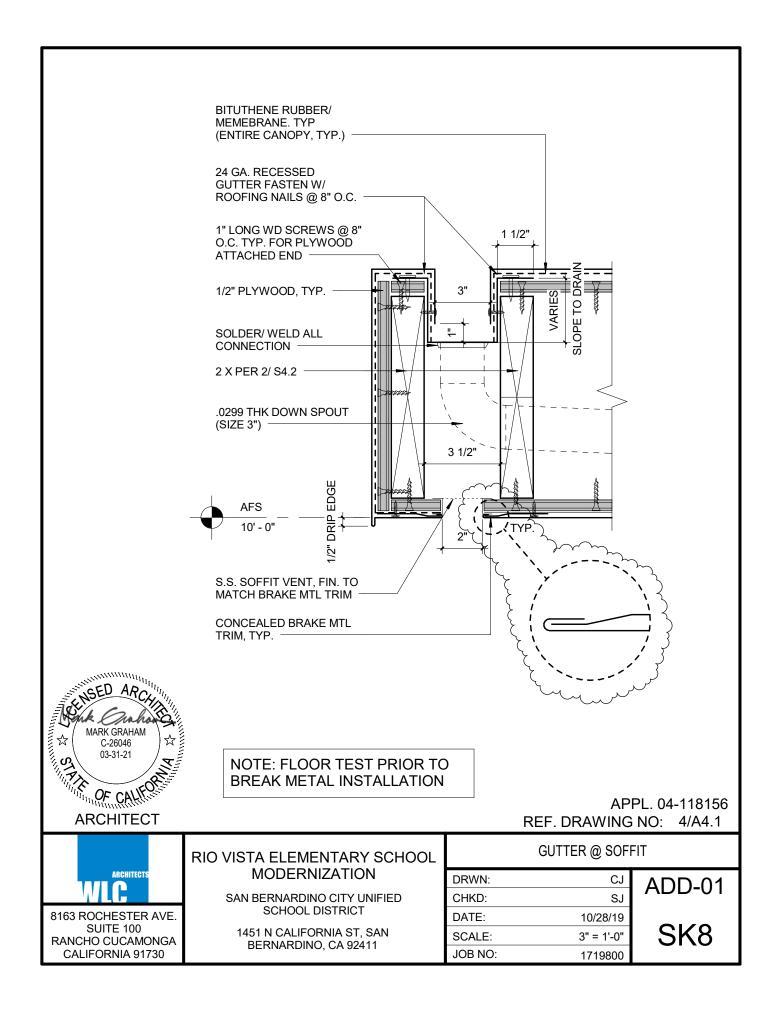
RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

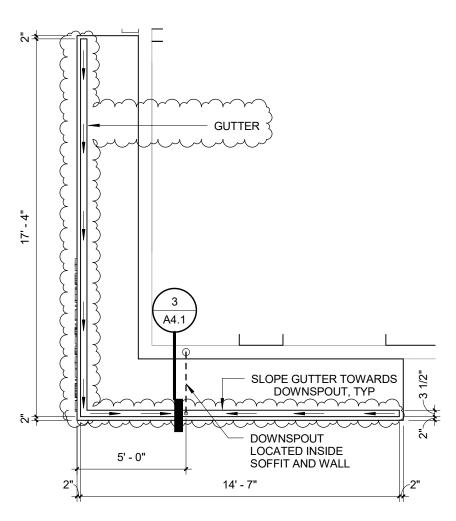
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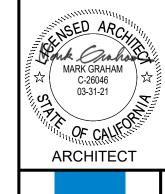
NEW ENLARGED ROOF PLAN - BLDG A

DRWN:	CL
CHKD:	SJ
DATE:	10/27/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01 SK7







APPL. 04-118156 REF. DRAWING NO: 6/A4.1



CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

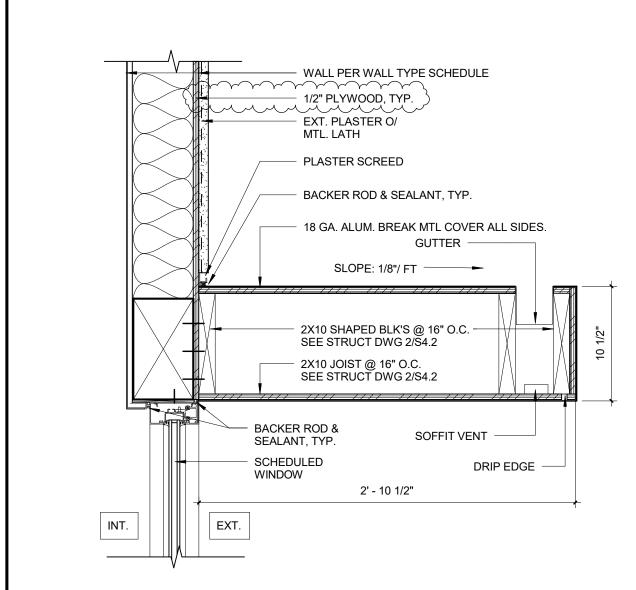
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

ROOF DETAIL
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11001 DEIDIE

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CHKD:	Checker
DATE:	11/15/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01





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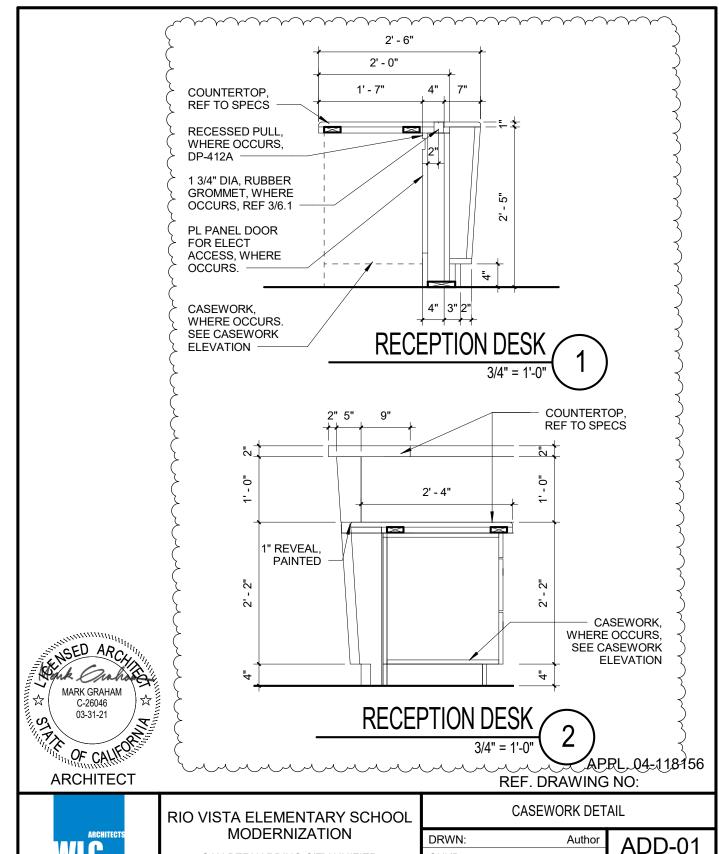
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DREAN	IVIETAL	CANDE

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1 1/2" = 1'-0"
JOB NO:	1719800

ADD-01





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1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

DRWN:	Author
CHKD:	Checker
DATE:	11/18/19
SCALE:	3/4" = 1'-0"
JOB NO:	1719800

NOTES:

1. CONTRACTOR SHALL NEATLY REMOVE ALL DAMAGE TILES, (THESE ARE TILES WITHIN AREA OF SCOPE OF WORK, THAT ARE CHIPPED, CRACKED, HAVE HOLES, NICKS, DINGS, DENTS, BROKEN, OR SCRATCHED). PATCH ALL WALL & FLOOR TILES PRIOR TO INSTALLING FIXTURES AT NEW LOCATION, (WHERE POSSIBLE). GROUT TO MATCH EXISTING TILES. PROVIDE MATCH SUBSTRACT FOR TILE INSTALLATIONS.

1. WHEN RELOCATING GRAB BARS, LAVS, URINALS, CONTRACTOR SHALL PROVIDE NEW BLOACKING AT NEW LOACTIONS PER 11/10.2, TYP.



APPL. 04-118156 REF. DRAWING NO: A6.2



RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

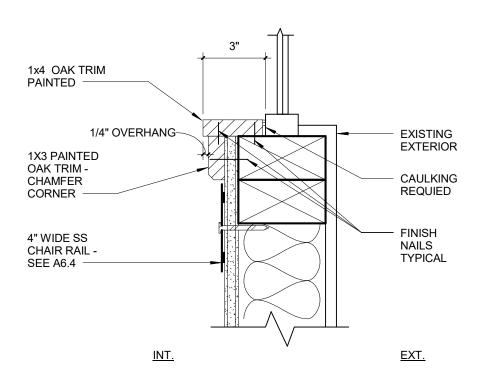
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

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INTERIOR ELEVS AND ENLARGED PLANS

DRWN:	Author
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DATE:	10/28/19
SCALE:	
JOB NO:	1719800

ADD-01





APPL. 04-118156 REF. DRAWING NO:



RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

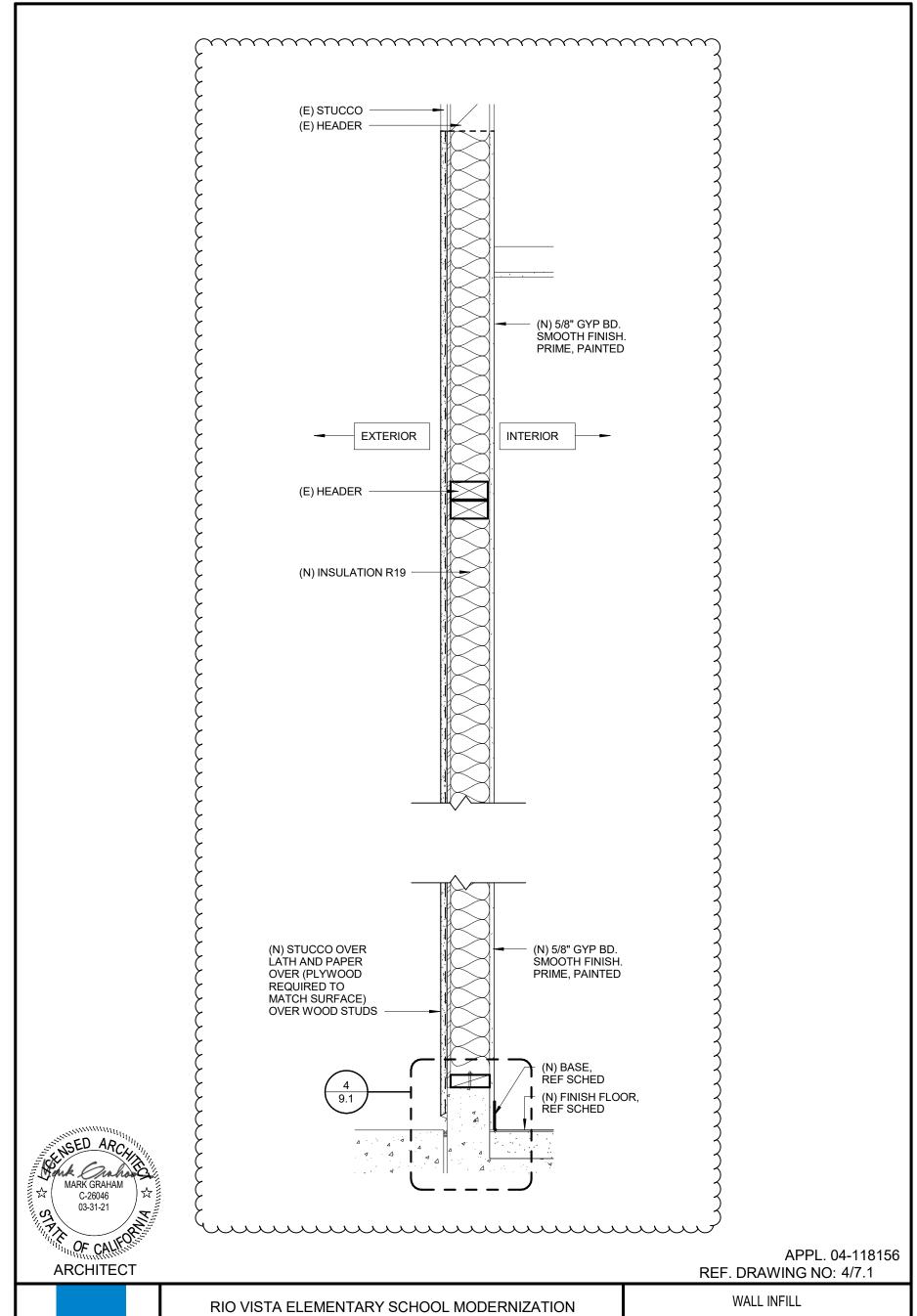
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

WALL SECTION	

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	3" = 1'-0"
JOB NO:	1719800

ADD-01

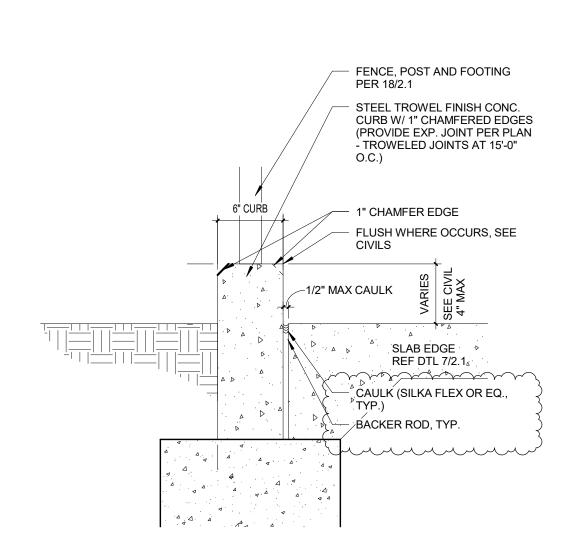


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JOB NO:	1719800

ADD-01 SK14





APPL. 04-118156

REF. DRAWING NO: 3/2.1



CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

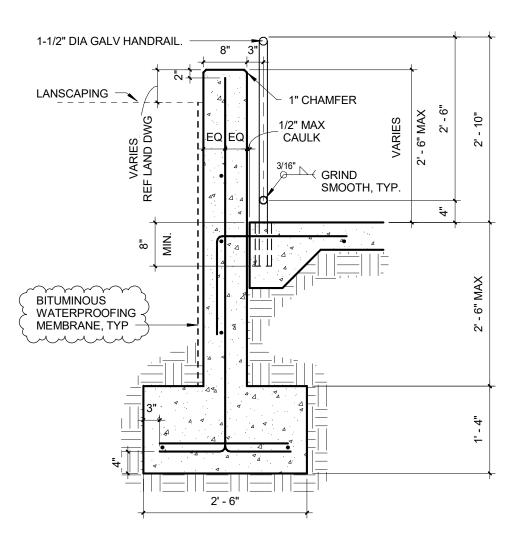
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

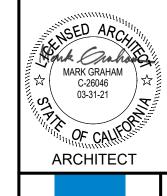
1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

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SCALE:	1 1/2" = 1'-0"
JOB NO:	1719800

ADD-01





APPL. 04-118156 REF. DRAWING NO: 6/2.1



CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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CONC	WALL	(Q)	RAMP

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DATE:	11/14/19
SCALE:	3/4" = 1'-0"
JOB NO:	1719800

ADD-01

	SCHEDULE GATE						
	DO	OR		DOOR		UP	
×	NOMINAL SIZE					8	
DOOR MARK	WIDTH PER LEAF	НТ	TYPE	FINISH	DETAILS	HDWE GF	REMARKS

G1	4' - 0"	7' - 2"	CL		19/2.1	HW-SG	3
G2	8' - 0"	6' - 4"	CL		19/2.1		2,3
G3	4' - 0"	6' - 4"	CL		19/2.1	HW-SG	1
G4	3' - 6"	6' - 4"	CL		19/2.1	HW-SG	1
G5	4' - 0"	6' - 4"	CL		19/2.1	HW-SG	1
G6	3' - 0"	6' - 4"	CL		19/2.1	HW-SG	3
~G7~	4'-Q"~	~6 ' ~4"~	4	~~~	~19/2.1~	HW-SG	\sim
G8	3' - 0"	6' - 4"	CL		19/2.1		3, 4, 5, 6

NOTE:

- 1. EXISTING GATE AS REQUIRED TO COMPLY WITH 5LBS. MAX OPERATING PRESSURE, AND SWING SPEED OF 90 DEGREES OPENED POSITION TO 12 DEGREES OF 5 SEC. MIN.
- 2. NO PANIC HARDWARE OR KICKPLATE ON VEHICLE GATE
- 3. SEE SHEET A2.4 FOR GATE LOVATION
- 4. PER LEAF
- 5. PRIVACY SLATS TO BE PROVIDED PER SPEC
- 6. BUTTERFLY LATCH TO BE PROVIDE PER 23/2.1



APPL. 04-118156 REF. DRAWING NO: 22/2.1

GATE SCHEDULE

3" = 1'-0"

1719800

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

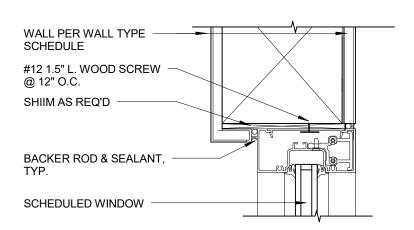
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DATE:	11/15/19

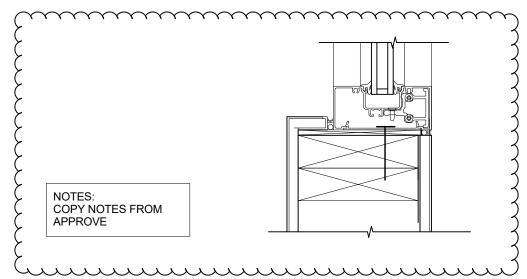
SCALE:

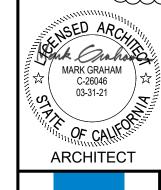
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M	ARCHITECT LC	S
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	O CUCAM ORNIA 91	







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CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

STOREFRONT HEAD/JAMB/SILL

DRWN:	Author
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DATE:	11/14/19
SCALE:	3" = 1'-0"
JOB NO:	1719800

ADD-01

	SCHEDULE DOOR															
			DOOR					FRAME			DET	AILS		ط ا	<u> </u>	
	NOI	MINAL SIZ	ZE	J			ب							GROUP	<u> </u>	
TW	WIDTH PER LEAF	НТ	THK	MATERIAL	ТҮРЕ	FINISH	MATERIAL	ТҮРЕ	FINISH	JAMB	HEAD	SILL	OTHER	HDWE GI	FIRE RATING	REMARKS
A1A	3' - 0"	7' - 0"	1 3/4"	AL	Α	PC	AL	3	PC	6/-	5/-	15/-		1		1,2
A1B	3' - 0"	7' - 0"	1 3/4"	НМ	С	Р	HM	1	Р	9/-	9/-	15/-		2		1
A1C	3' - 0"	3' - 0"	2"	SC	Е	PL	HM	2	Р		-	-		-		
A2A	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	HM	1	Р	13/-	13/-	3/-		4		
A3A	3' - 0"	7' - 0"	1 3/4"	НМ	С	Р	НМ	1	Р	9/-	9/-	15/-		2		1
A3B	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	НМ	1	Р	13/-	13/-	3/-		4		
A5A	3' - 0"	7' - 0"	1 3/4"	SC	В	PL	НМ	1	Р	13/-	13/-	3/-		5		
A6A	3' - 0"	7' - 0"	1 3/4"	SC	В	PL	НМ	1	Р	13/-	13/-	3/-		5		
A7A	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	НМ	1	Р	13/-	13/-	3/-		4		
A8A	3' - 0"	7' - 0"	1 3/4"	SC	D	PL	НМ	1	Р	13/-	13/-	3/-		4		
A10A	3' - 0"	7' - 0"	1 3/4"	SC	В	PL	НМ	1	Р	13/-	13/-	3/-		6		
A11B	3' - 0"	7' - 0"	1 3/4"	SC	С	PL	НМ	1	Р	13/-	13/-	3/-		8		

AL = ALUMINUM ANO = ANODIZED FF = FACTORY PREFINISHED HM = HOLLOW METAL (STEEL) LG = LAMINATED GLASS P = PAINT PC = POWDER COATING PL = PLASTIC LAMINATE SC = SOLID CORE WOOD SIG = SEALED INSULATED GLASS SS = STAINLESS STEEL ST = STAIN STL = GALVANIZED STEEL WD = WOOD

REMARKS

- 1. (N) PANIC HARDWARE, REF SPECS
- 2. REF SK25 FOR COLORED GLASS LOCATION, REF SPECS



APPL. 04-118156 REF. DRAWING NO:

DOOR SCHEDULE

1719800

SOUTHERN CALIFORNIA

ARCHITECTS 81

8163 ROCHESTER AVE. SUITE 100

RANCHO CUCAMONGA CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

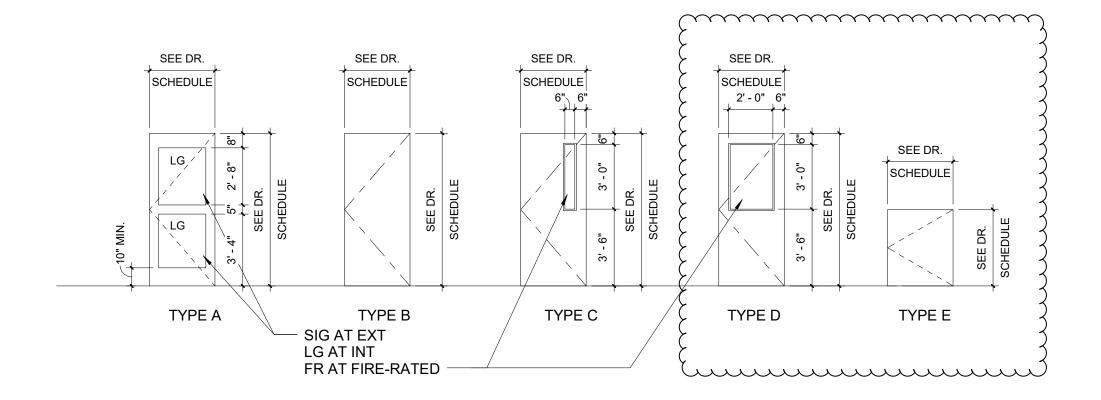
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CHKD:	Checker	<i>'</i>
DATE:	11/17/19	

SCALE:

JOB NO:

Author Checker 11/17/19 1/4" = 1'-0" SK19





APPL. 04-118156

SOUTHERN CALIFORNIA

8163 ROCHESTER AVE. SUITE 100 **ARCHITECTS**

RANCHO CUCAMONGA CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT 1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

REF. DRAWING NO:

DOOR TYPE LEGEND

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01

						WIN	IDOW SC	HEDULE				
ب	SI	ZE	IAL			DETAILS			FIRE RATING			
SYMBOL	WIDTH	HEIGHT	MATERIAL	GLASS	JAMB	HEAD	SILL	SPECIAL DETAIL	LBL	HR	REMARKS	
A1	7' - 0"	3' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 1/ A2.4	
A2	3' - 8"	2' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 2/ A3.1	
A3	3' - 8"	4' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 2/ A2.4	
A4	8' - 0"	6' - 0"	AL	INSUL	5/-	5/-	5/-				SEE 2/ A2.4	



ARCHITECTS

APPL. 04-118156 REF. DRAWING NO: 8.1

SOUTHERN CALIFORNIA

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RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT 1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

WINDOW SCHEDULE

DRWN:	Author
CHKD:	Checker
DATE:	11/14/19
SCALE:	
JOB NO:	1719800

ADD-01 SK21

ABBREVIATIONS

ACT = ACOUSTIC CEILING TILE

C = SEALED CONCRETE

CB = COVED BASE

. CPT = CARPET

EC = EPOXY CHIP

FRP = FIBER REINFORCED PANEL OVER MOISTURE RESISTANT GYPSUM BOARD

GBP = GYPSUM BOARD PAINTED

PT = PAINTED

. RB = RUBBER BASE

· SV = SHEET VINYL

→ TB = TACKBOARD

→ VCT = VINYL COMPOSITION TILE FLOORING

MRG = MOISTURE RESISTANT GYPSUM

BOARD

. (E) = EXISTING

REMARKS:

- 1. REF 3 & 4/A6.4 FOR WALL TILE FINISH - PATTERN, REF SPECS
- ° 2. REF 6/A6.1 FOR WALL GRAPHIC FINISH, ° REF SPECS
- 3. PT (PAINT) COLOR TO BE SELECTED BY ARCHITECT, REF ROOM FINISH SCHEDULE

			F	ROOM FINIS	SH					
	ROOM	1			WALL M	ATERIAL		CEIL	_ING	
NUMBER	NAME	FLOOR M	BASE MT	N	E	S	W	MTL	НТ	REMARKS

A1	RECEPTION	LVT	RB	PT	PT	PT	PT	ACT/GYP	9' - 8"	2,3
A2	OFFICE 1	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A3	NURSE	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A5	NURSE RESTROOM	EC	EC	PT/TL	PT/TL	PT/TL	PT/TL	GBP	10' - 0"	1,3
A6	STAFF RESTROOM	EC	EC	PT/TL	PT/TL	PT/TL	PT/TL	GBP	10' - 0"	1,3
A7	OFFICE 2	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A8	PRINCIPAL	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A9	LOUNGE	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
A10	A.V. STOR.	LVT	RB	PT	PT	PT	PT	GBP	10' - 0"	3
A11	HALLWAY	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3
MU101	M.U. ROOM	LVT	RB	PT	PT	PT	PT	ACT	10' - 0"	3



ARCHITECTS

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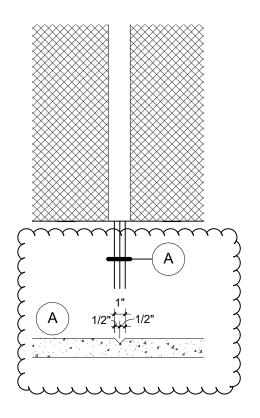
RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

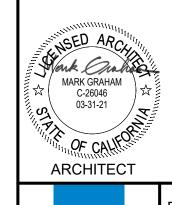
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT 1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

ROOM	FINISH	SCHEDULE
INCOM	1 11 11011	COLIEDOLE

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01





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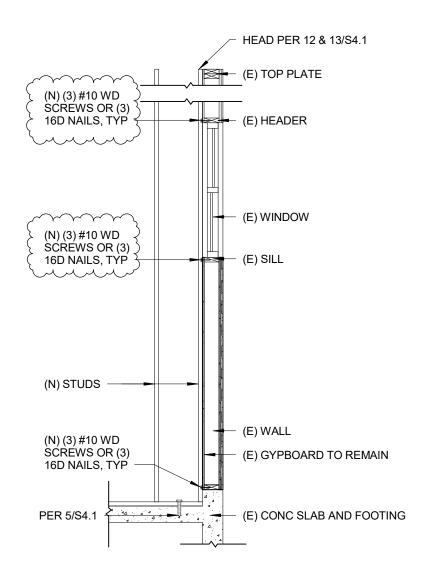
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1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

CAST IN PLACE CHAMFER

DRWN:	Author
CHKD:	Checker
DATE:	11/15/19
SCALE:	1 1/2" = 1'-0"
JOB NO:	1719800

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APPL. 04-118156 REF. DRAWING NO: 5/10.2



RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

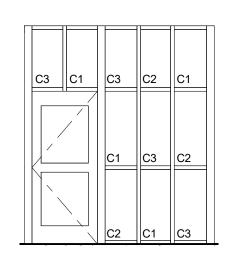
SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

1451 N CALIFORNIA ST, SAN BERNARDINO, CA 92411

WALL	DETAIL

DRWN:	Author
CHKD:	Checker
DATE:	11/17/19
SCALE:	3/8" = 1'-0"
JOB NO:	1719800

ADD-01



NOTES:

COLOR TO BE SELECTED BY ARCHITECT ORDER MAY CHANGE

ABBREVIATIONS:

C1- COLOR #1 VANCEVA

C2- COLOR #2 VANCEVA

C3- COLOR #3 VANCEVA



APPL. 04-118156 REF. DRAWING NO: 9/10.2



CALIFORNIA 91730

RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

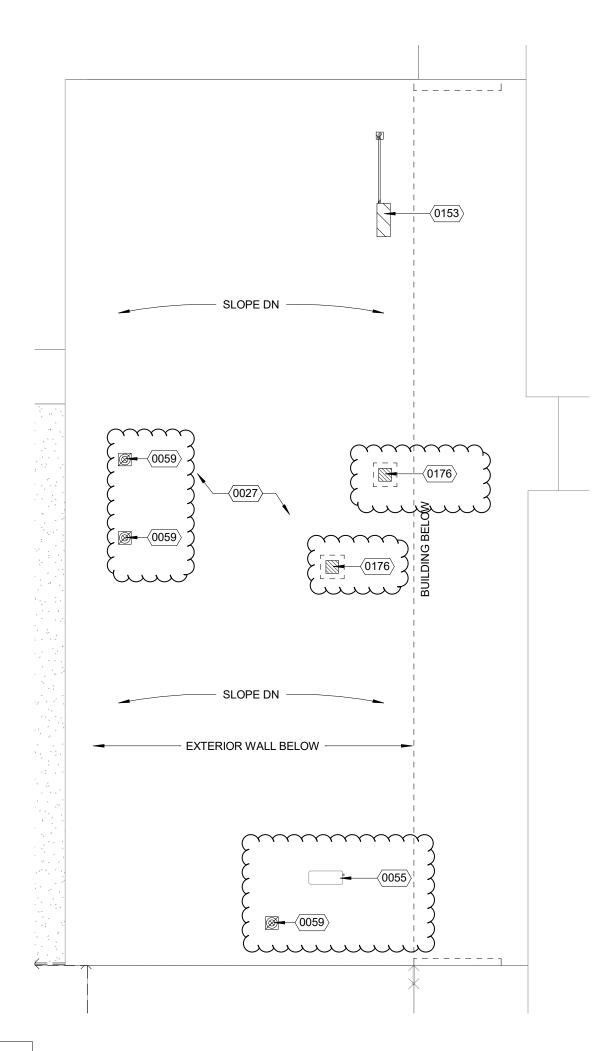
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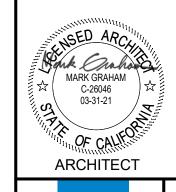
STOREFRONT ELEVATION

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CHKD:	Checker
DATE:	11/15/19
SCALE:	1/4" = 1'-0"
JOB NO:	1719800

ADD-01



NOTE: CLASS B ROOFING



KEYNOTE	DESCRIPTION
0027	(E) ROOF TO REMAIN, PROTECT IN PLACE
_0055~~	(E) MECHANICAL UNIT
(0059	ABONDON (E) VENT CAP, REF MECH DWGS
0153	DEMO (E) BOOF AND PREPARE FOR NEW ROOF UNIT, REF TO MECH DWGS
0176	DEMOLISH (E) ROOF FOR NEW OPENING
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	' ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~

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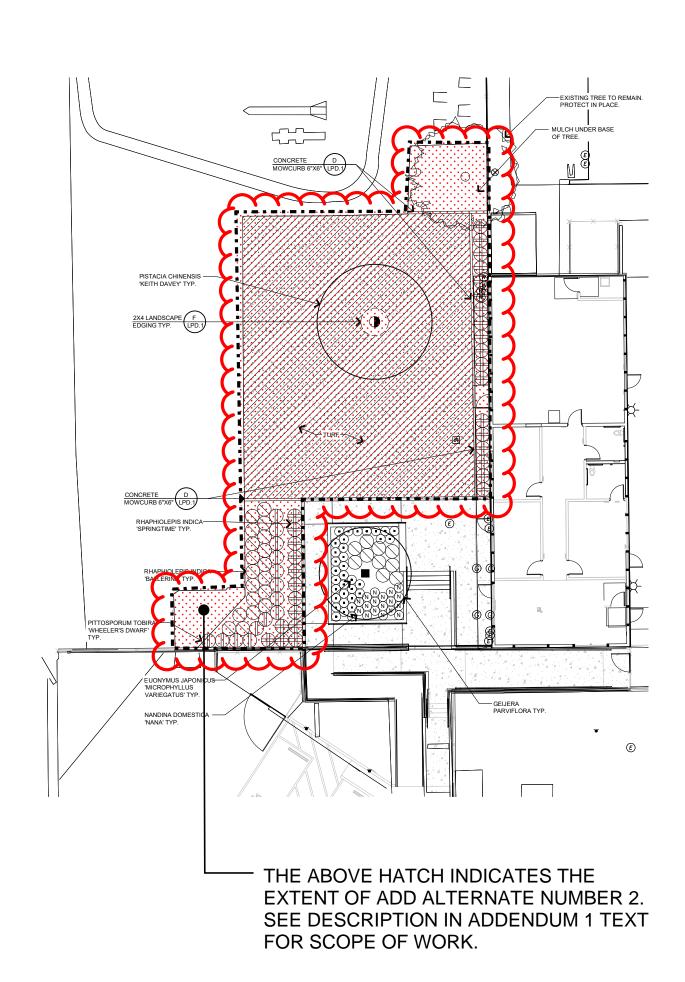
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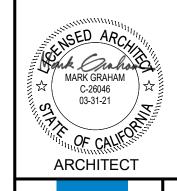
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DEMO ENLARGED ROOF PLAN - BLDG A

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CHKD:	Checker
DATE:	11/17/19
SCALE:	1/8" = 1'-0"
JOB NO:	1719800

ADD-01 SK26





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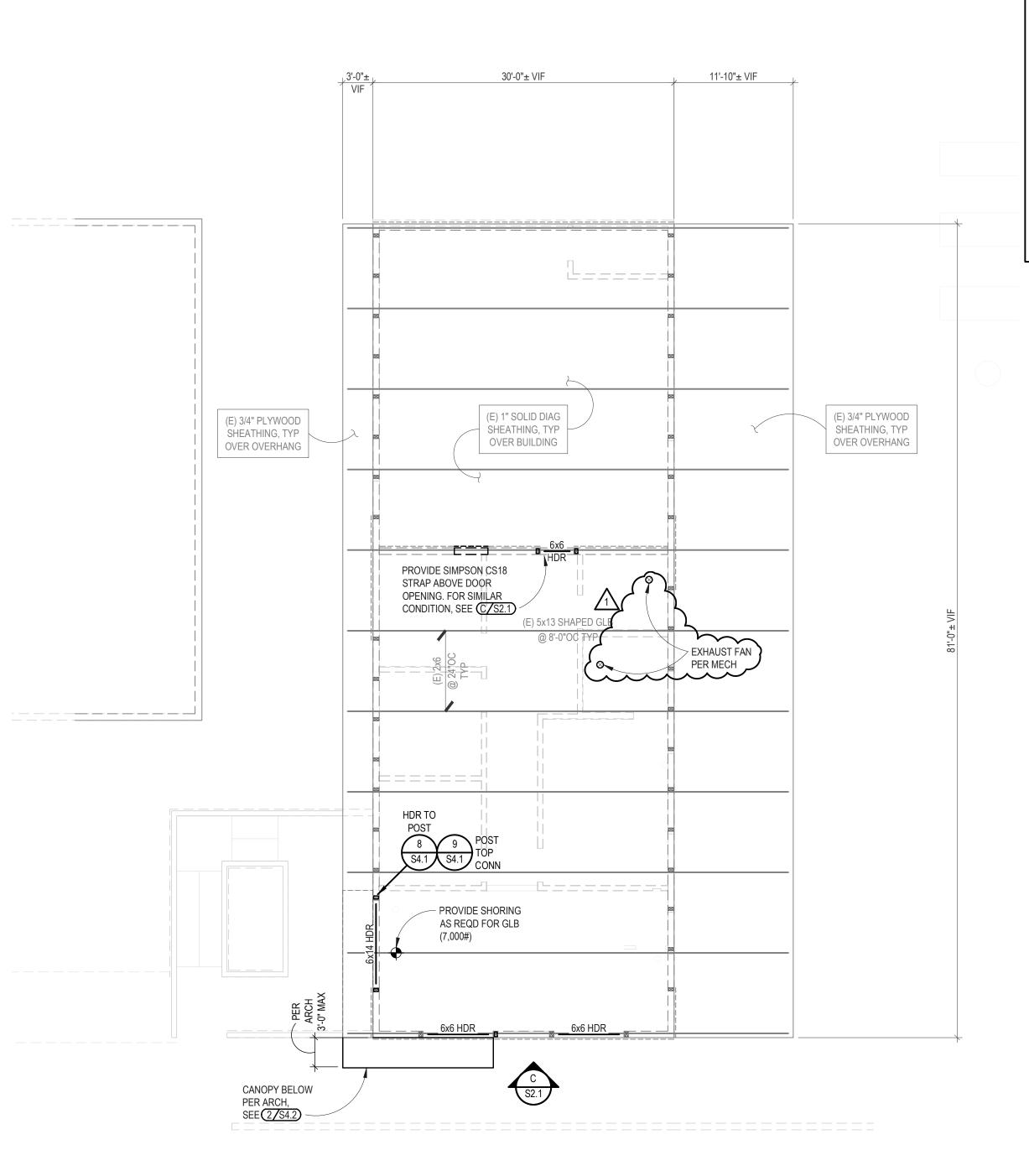
RIO VISTA ELEMENTARY SCHOOL MODERNIZATION

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ADD ALTERNATE - LANDSCAPE

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CHKD:	Checker
DATE:	11/18/19
SCALE:	1/16" = 1'-0"
JOB NO:	1719800

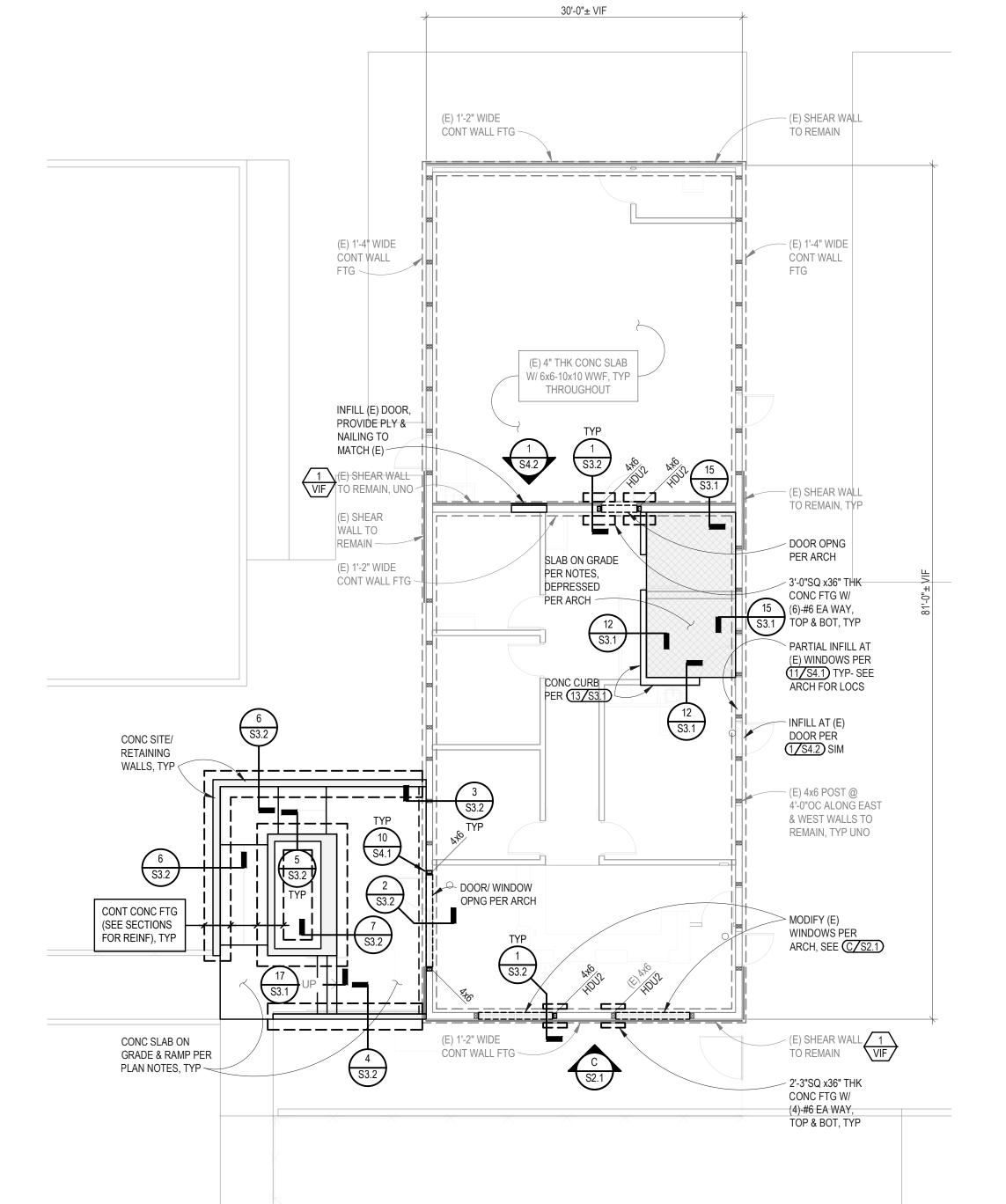
ADD-01



BUILDING A1 - ROOF FRAMING PLAN

FRAMING PLAN NOTES SEE GENERAL NOTES SHEET(S) FOR APPLICABLE NOTES, ABBREVIATIONS AND PLAN SYMBOLS LEGEND. SEE PLAN SHEET FOR LIST OF APPLICABLE TYPICAL DETAILS NOT CALLED OUT ON PLANS.

- EXISTING CONSTRUCTION IS SHOWN FADED AND IS LABELED AS EXISTING OR (E). NEW CONSTRUCTION IS SHOWN DARK AND IS SPECIFICALLY REFERENCED BY DETAILS AND NOTES.
- EXISTING CONDITIONS ARE SHOWN TO THE BEST OF OUR KNOWLEDGE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL CONDITIONS. DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING.
- ALL FRAMING MEMBERS NOT OTHERWISE DIMENSIONED SHALL BE EQUALLY SPACED BETWEEN GIRDERS OR OTHER SUPPORTS.
- SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR PRECISE SIZE AND LOCATIONS OF ROOF PENETRATIONS.
- WHERE MECHANICAL UNIT OCCURS OVER 2x FRAMING OR SUSPENDED BY 2x FRAMING, SISTER (E) 2x JOISTS W/ 2x TO JOIST MATCH DEPTH (2x6 MIN) W/ 16d @ 12"OC. NOT REQUIRED BELOW UNITS WEIGHING 215# OR LESS. ANCHOR UNITS PER DETAILS 3 AND 5 ON SHEET S4.2.
- DIMENSIONS OF EQUIPMENT ANCHOR/ MOUNTING LOCATIONS SHOWN ON PLANS AND/OR DETAILS ARE TO BE COORDINATED WITH ACTUAL EQUIPMENT TO BE
- CONTRACTOR TO VERIFY THE EXACT SIZE AND LOCATION OF ALL EQUIPMENT ANCHOR/ MOUNTING HOLES PRIOR TO INSTALLATION. WHERE ACTUAL EQUIPMENT DIMENSIONS DO NOT FALL WITHIN THE MINIMUM OR MAXIMUM DIMENSIONS PROVIDED ON PLANS AND/OR DETAILS, NOTIFY SEOR AND AWAIT DIRECTION PRIOR TO PROCEEDING WITH WORK.



PLAN NOTES

- SEE GENERAL NOTES SHEET(S) FOR APPLICABLE NOTES, ABBREVIATIONS AND PLAN SYMBOLS LEGEND. SEE PLAN SHEET FOR LIST OF APPLICABLE TYPICAL DETAILS NOT CALLED OUT ON PLANS.
- EXISTING CONSTRUCTION IS SHOWN FADED AND IS LABELED AS EXISTING OR (E). NEW CONSTRUCTION IS SHOWN DARK AND IS SPECIFICALLY REFERENCED BY DETAILS AND NOTES.

THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER

- EXISTING CONDITIONS ARE SHOWN TO THE BEST OF OUR KNOWLEDGE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL CONDITIONS. DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON
- UNLESS NOTED OTHERWISE ON PLAN OR DETAIL, CENTER LINE OF FOUNDATION ELEMENT SHALL MATCH WALL AND/OR COLUMN CENTER LINE.
- FINISH FLOOR ELEVATION = PER ARCHITECT.

PRIOR TO PROCEEDING.

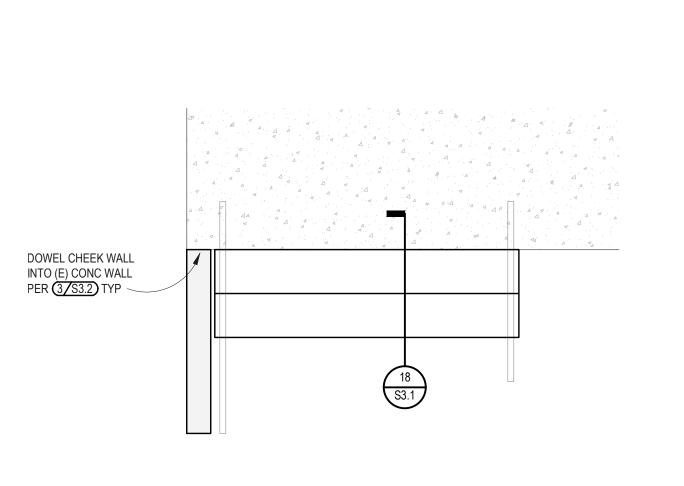
- UNLESS NOTED OTHERWISE, SLAB-ON-GRADE SHALL BE 5" THICK, REINFORCED W/ #4 @ 18"OC EACH WAY, OVER SUB-BASE AND SUB-GRADE PREPARED PER TYPICAL SLAB-ON-GRADE UNDERLAYMENT DETAIL 9 / S3.1.
- SEE ARCHITECTURAL PLANS FOR CURBS, SLAB DEPRESSIONS AND SLOPES NOT SHOWN ON PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR NON-BEARING WALL LOCATIONS AND DIMENSIONS NOT SHOWN ON PLAN.

	1	
DESCRIPTION	DETAIL	SHE
TYPICAL OVER-EXCAVATION AND COMPACTED FILL REQUIREMENTS	1	S3
TYPICAL EXCAVATION ADJACENT TO FOOTING	2	S3
TYPICAL FOOTING POURED AGAINST EARTH	3	S3.
TYPICAL REINFORCING HOOKS	4	S3.
TYPICAL REINFORCING BAR DEVELOPMENT AND LAP SPLICE SCHED	5	S3.
WALL AND FOOTING REINFORCING AT CORNER AND INTERSECTION	6	S3.
TYPICAL STEPPED FOOTING	7	S3.
TYPICAL PIPE / CONDUIT SLEEVES ACROSS FOOTINGS	8	S3.
TYPICAL SLAB-ON-GRADE UNDERLAYMENT	9	S3.
TYPICAL SLAB-ON-GRADE CONTROL AND CONSTRUCTION JOINTS	10	S3.
TYPICAL SLAB EDGE	11	S3.
TYPICAL DEPRESSION IN SLAB-ON-GRADE	12	S3.
TYPICAL CONCRETE CURBS	13	S3.
TYPICAL CONCRETE CURB TO EXISTING CONCRETE SLAB	14	S3.
TYPICAL NEW SLAB TO EXISTING SLAB OR WALL	15	S3.
TYPICAL NEW SLAB STRIP TO EXISTING SLAB OR WALL	16	S3.

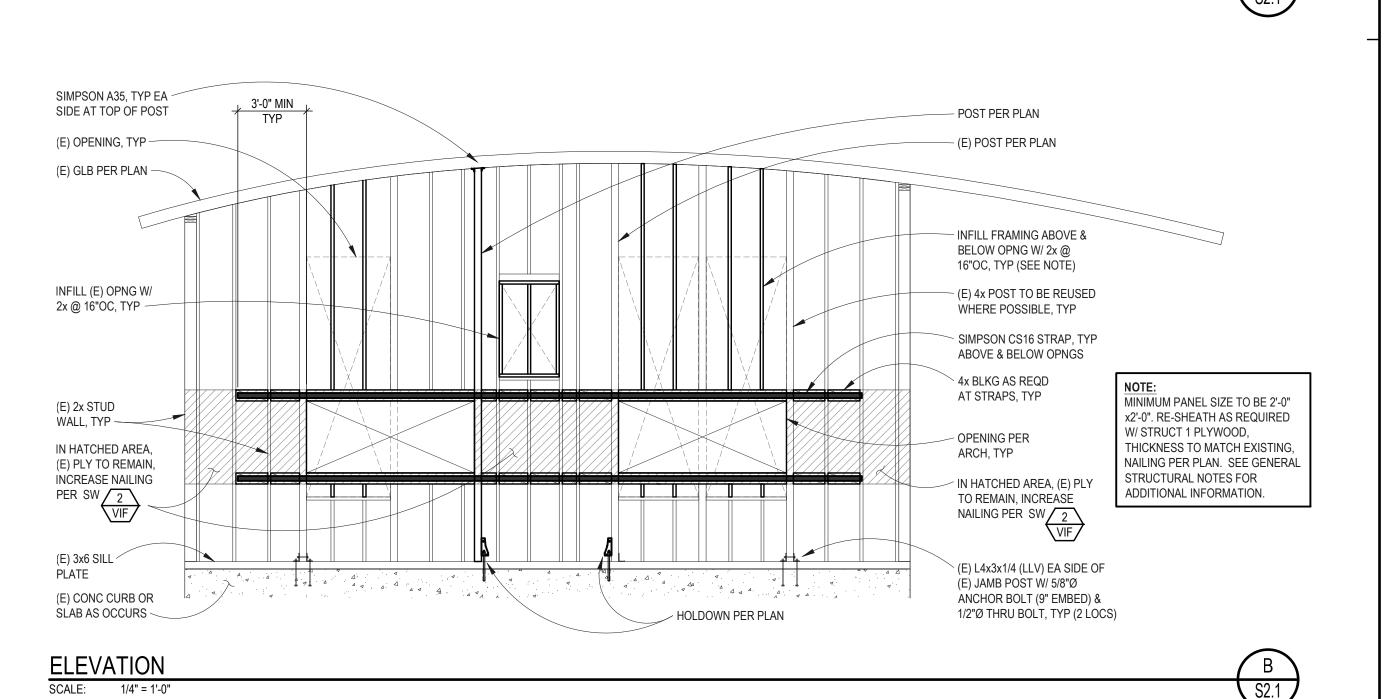
LIST OF APPLICABLE TYPICAL WOOD FRAMING	DETAIL	S
DESCRIPTION	DETAIL	SHEET
TYPICAL SHEAR WALL ELEVATION, SCHEDULE AND NOTES	А	S4.1
TYPICAL SHEAR TRANSFER OPTIONS	1	S4.1
TYPICAL DOUBLE TOP PLATE SPLICE SCHEDULE	2	S4.1
TYPICAL DOUBLE TOP PLATE SPLICE AT STEEL COLUMN	3	S4.1
WOOD BEAM TO WOOD POST	4	S4.1
WOOD STUD WALL TO CONCRETE	5	S4.1
TYPICAL HOLES AND NOTCHES IN WOOD DETAIL	6	S4.1



BUILDING A1 - FOUNDATION PLAN



PARTIAL PLAN AT STAIR



ARCHITECTS

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SOUTHERN CALIFORNIA

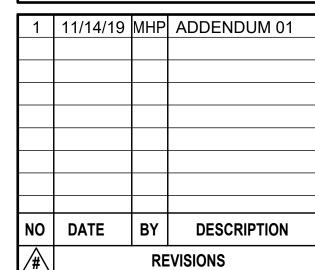
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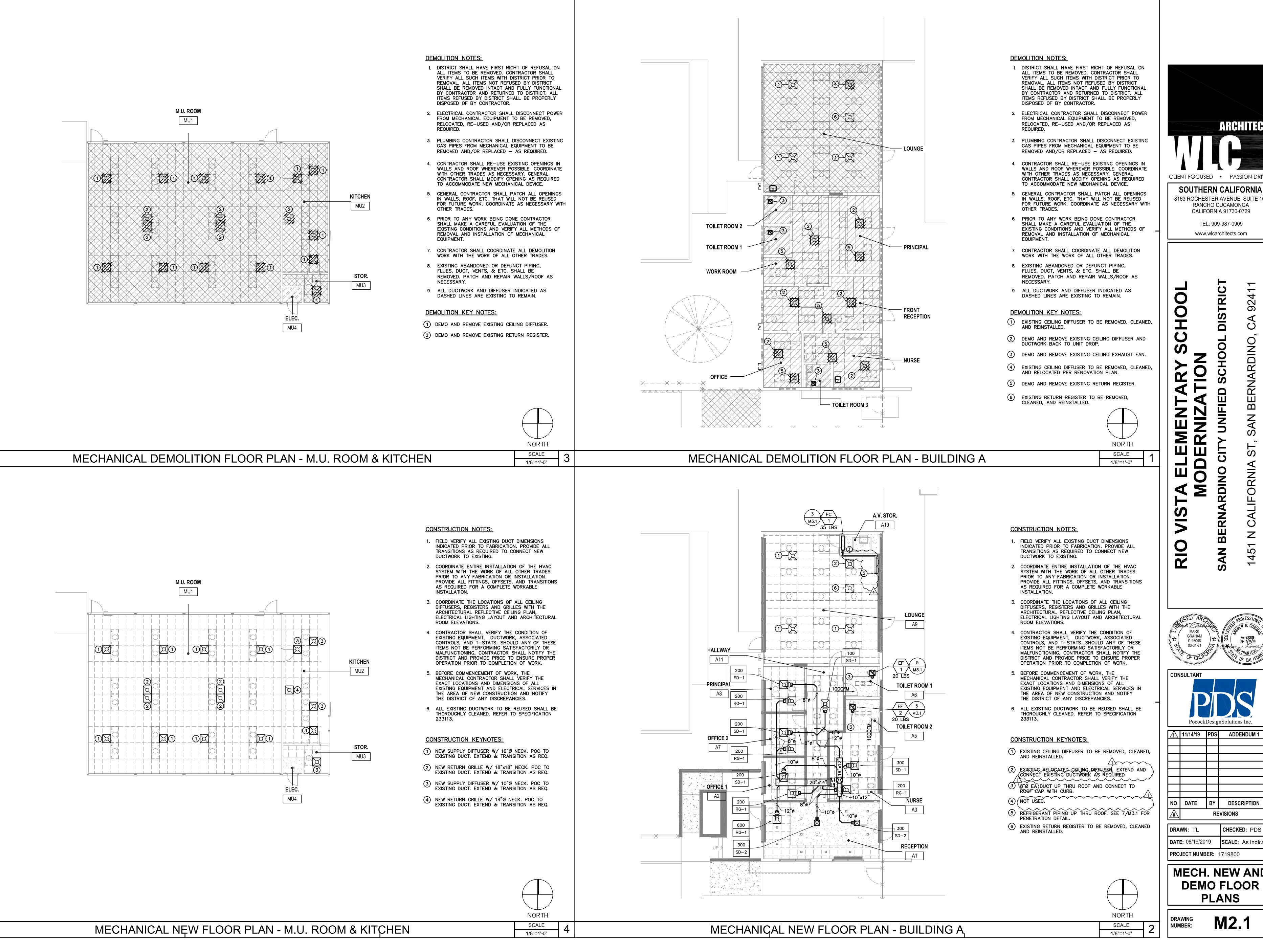
REVISIONS DRAWN: SMA CHECKED: MW / AY **DATE**: 08/19/2019 **SCALE**: AS NOTED

> **BUILDING A1 -PLANS AND ELEVATION**

S2.1

DRAWING NUMBER:

PROJECT NUMBER: 1719800



ARCHITECS CLIENT FOCUSED • PASSION DRIVEN

SOUTHERN CALIFORNIA 8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA

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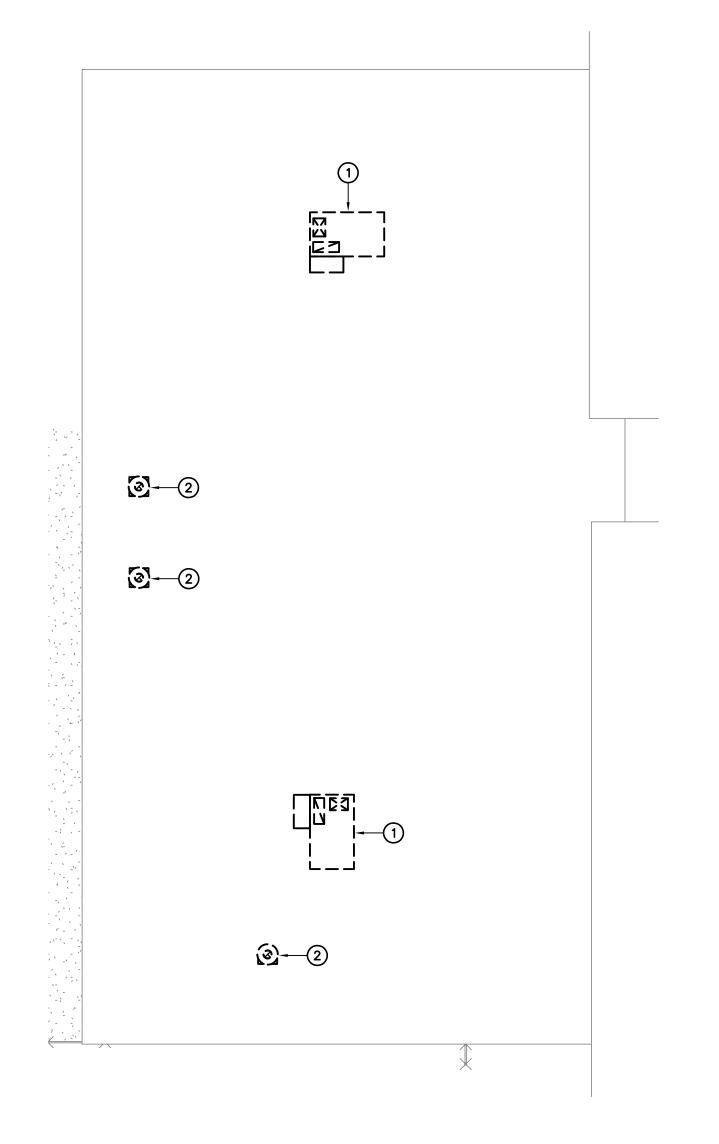


M2.1

REVISIONS

CHECKED: PDS

SCALE: As indicate



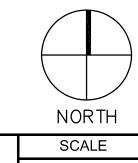
DEMOLITION NOTES:

- 1. DISTRICT SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL ITEMS TO BE REMOVED. CONTRACTOR SHALL VERIFY ALL SUCH ITEMS WITH DISTRICT PRIOR TO REMOVAL. ALL ITEMS NOT REFUSED BY DISTRICT SHALL BE REMOVED INTACT AND FULLY FUNCTIONAL BY CONTRACTOR AND RETURNED TO DISTRICT. ALL ITEMS REFUSED BY DISTRICT SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR.
- 2. ELECTRICAL CONTRACTOR SHALL DISCONNECT POWER FROM MECHANICAL EQUIPMENT TO BE REMOVED, RELOCATED, RE-USED AND/OR REPLACED AS REQUIRED.
- 3. PLUMBING CONTRACTOR SHALL DISCONNECT EXISTING GAS PIPES FROM MECHANICAL EQUIPMENT TO BE REMOVED AND/OR REPLACED -AS REQUIRED.
- 4. CONTRACTOR SHALL RE-USE EXISTING OPENINGS IN WALLS AND ROOF WHEREVER POSSIBLE. COORDINATE WITH OTHER TRADES AS NECESSARY. GENERAL CONTRACTOR SHALL MODIFY OPENING AS REQUIRED TO ACCOMMODATE NEW MECHANICAL DEVICE.
- 5. GENERAL CONTRACTOR SHALL PATCH ALL OPENINGS IN WALLS, ROOF, ETC. THAT WILL NOT BE REUSED FOR FUTURE WORK. COORDINATE AS NECESSARY WITH OTHER TRADES.
- 6. PRIOR TO ANY WORK BEING DONE CONTRACTOR SHALL MAKE A CAREFUL EVALUATION OF THE EXISTING CONDITIONS AND VERIFY ALL METHODS OF REMOVAL AND INSTALLATION OF MECHANICAL EQUIPMENT.
- 7. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE WORK OF ALL OTHER TRADES.
- 8. FRESH AIR INTAKES SHALL BE 10'-0" MIN. AWAY FROM ALL EXHAUST OUTLETS, PLUMBING VENTS, AND FLUES.
- 9. MAINTAIN MANUFACTURER MIN. CLEARANCES ON ALL ROOF-TOP MECHANICAL EQUIPMENT.

DEMOLITION KEY NOTES:

1) EXISTING UNIT TO REMAIN.

(2) ABANDON EXISTING VENT CAP IN PLACE.

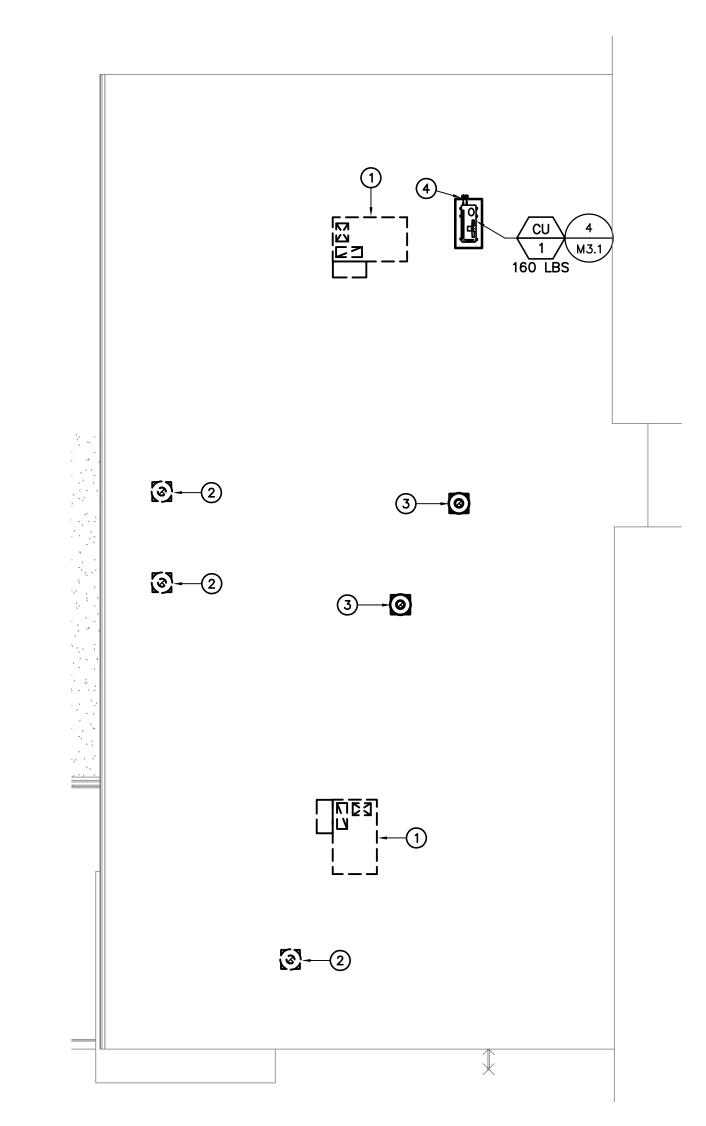


1/8"=1'-0"

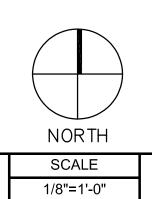
- **CONSTRUCTION NOTES:** 1. COORDINATE ENTIRE INSTALLATION OF THE HVAC SYSTEM WITH THE WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY THE CONDITION OF EXISTING EQUIPMENT, DUCTWORK, ASSOCIATED CONTROLS, AND T-STATS. SHOULD ANY OF THESE ITEMS NOT BE PERFORMING SATISFACTORILY OR MALFUNCTIONING, CONTRACTOR SHALL NOTIFY THE DISTRICT AND PROVIDE PRICE TO ENSURE PROPER OPERATION PRIOR TO COMPLETION OF WORK.
- 3. BEFORE COMMENCEMENT OF WORK, THE MECHANICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS AND DIMENSIONS OF ALL EXISTING EQUIPMENT AND ELECTRICAL SERVICES IN THE AREA OF NEW CONSTRUCTION AND NOTIFY THE DISTRICT OF ANY DISCREPANCIES.
- 4. FRESH AIR INTAKES SHALL BE 10'-0" MIN. AWAY FROM ALL EXHAUST OUTLETS, PLUMBING VENTS, AND FLUES.
- 5. MAINTAIN MANUFACTURER MIN. CLEARANCES ON ALL ROOF-TOP MECHANICAL EQUIPMENT.

CONSTRUCTION KEYNOTES:

- 1 EXISTING UNIT TO REMAIN.
- (2) ABANDON EXISTING VENT CAP IN PLACE.
- 3 GRSR-8 ROOF CAP OR EQUAL W/ CURB AND 8"Ø EA DUCT DOWN THRU ROOF. SEE 5/M3.1 FOR PENETRATION DETAIL.
- 4 REFRIGERANT PIPING DOWN THRU ROOF. SEE 7/M3.1 FOR PENETRATION DETAIL.



MECHANICAL DEMOLITION ROOF PLAN - BUILDING A



C-26046 03-31-21 CONSULTANT

ARCHITECTS

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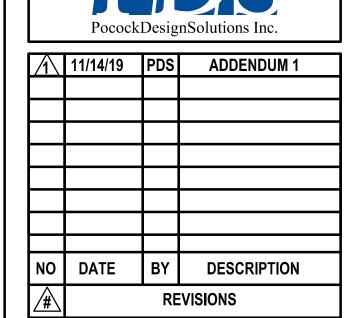
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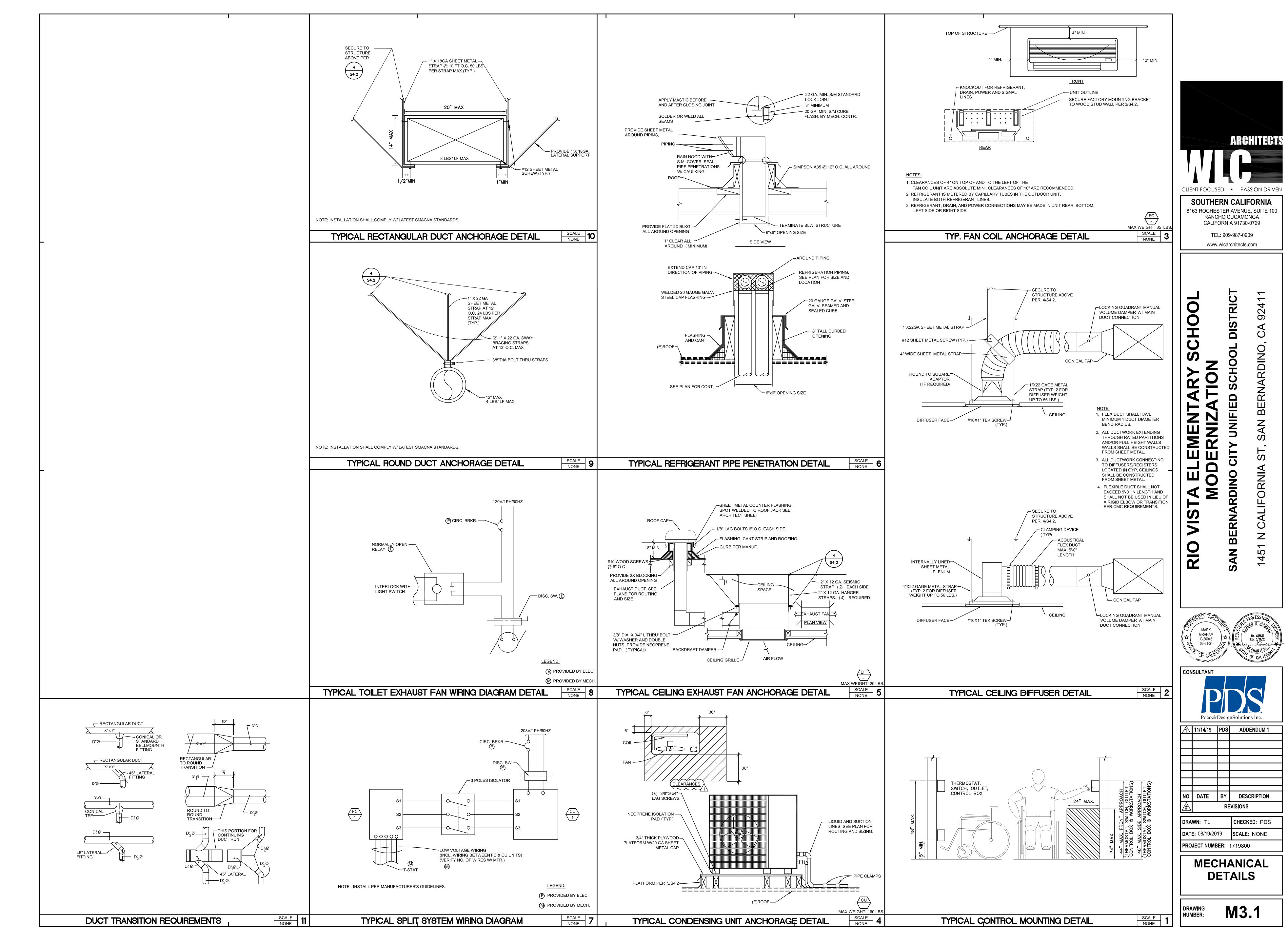


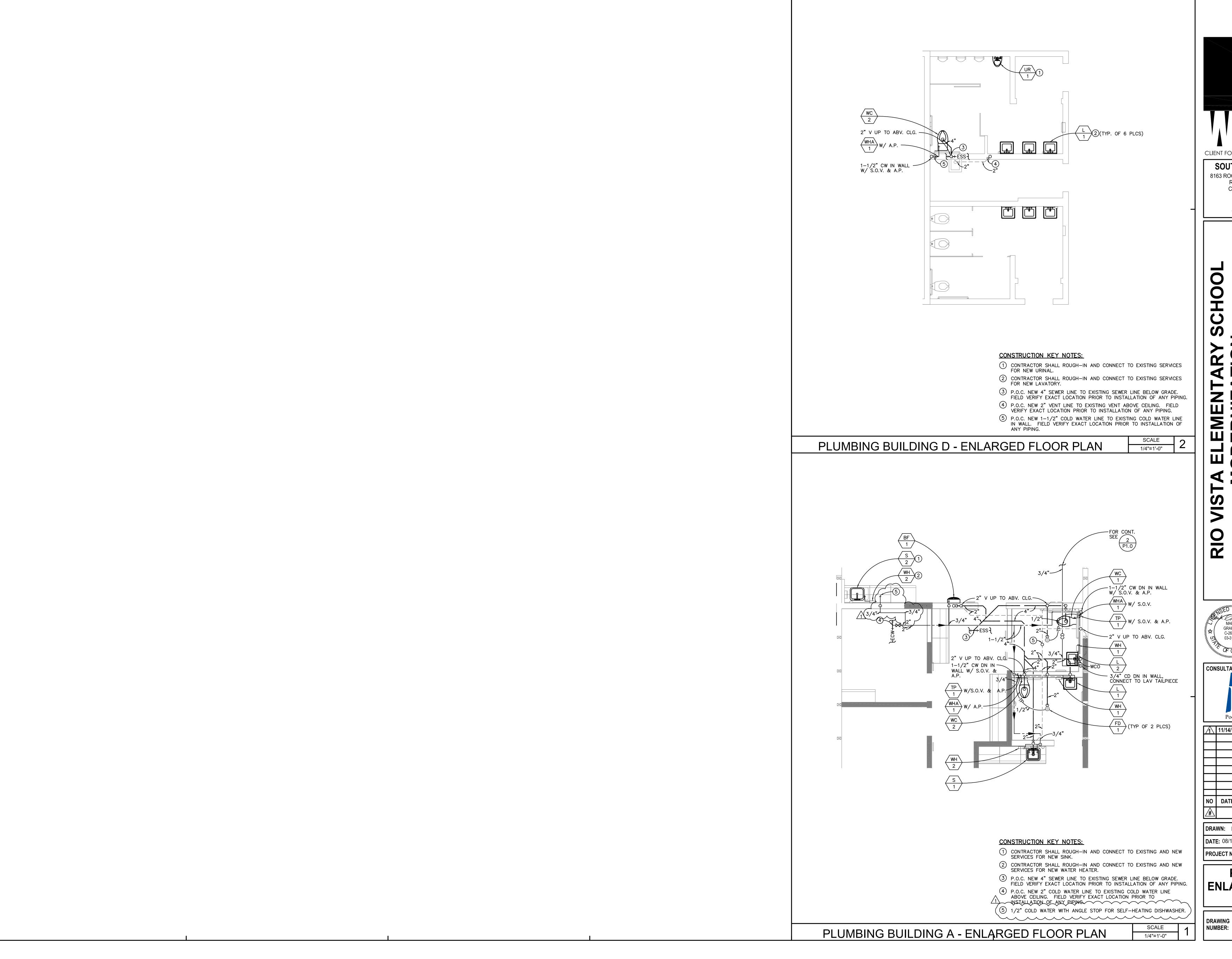
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MECH. NEW AND **DEMO ROOF PLANS**

M2.2

MECHANICAL NEW ROOF PLAN - BUILDING A









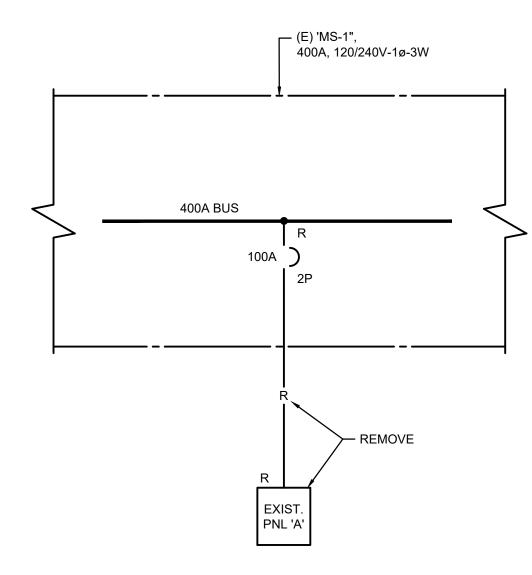
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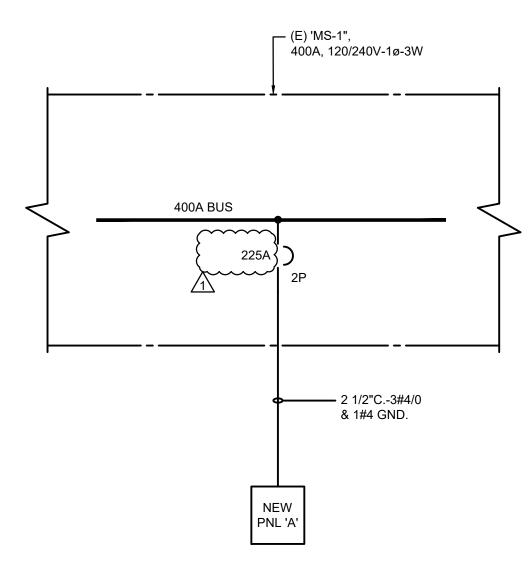
PLUMBING ENLARGED FLOOR **PLANS**

DRAWING

P4.1



DMOLITION SINGLE LINE NTS



REMODEL SINGLE LINE

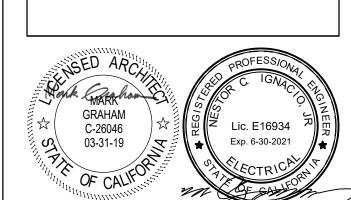
	LIGH	IING		URE SCHEDU	LE .
TYPE	DESCRIPTION	FINISH	LAMP(S)	REMARKS	MANUFACTURER & NO.
Α	2'X4' LED FIXTURE, WITH 0-10V DIMMING DRIVER, 120-277V	WHITE	38W 4800LUM 4000K LED	RECESSED IN T-BAR CEILING	METALUX #24SR-LD2-48C-UNV-L840-CD1
AE	SAME AS "A" EXCEPT WITH A 14 WATT;120-277V EMERGENCY BATTERY PACK, 90 MINUTES.	WHITE	38W 4800LUM 4000K LED	RECESSED IN T-BAR CEILING	METALUX #24SR-LD2-48C-UNV-L840-EL14W-CD1
В	1'X4' LED FIXTURE, WITH 0-10V DIMMING DRIVER, 120-277V.	WHITE	38W 4500LUM 4000K LED	RECESSED IN T-BAR CEILING	METALUX #14SR-LD2-45C-UNV-L840-CD1
С	6" SQUARE LED FIXTURE, 120/277V, 0-10V, DIMMING TO 1%.	WHITE	21W 2000LUM LED	MOUNTED ON CEILING	HALO #PRS6-PS24-D010,ST1624SPS, 615WDMW
CE	6" SQUARE LED FIXTURE, 120/277V, 0-10V, DIMMING TO 1%., WITH A 90 MINUTE EMERGENCY BATTERY BACK UP.	WHITE	21W 2000LUM LED	RECESSED IN CEILING	HALO #PRS6-FS24-D010,REM14, SM624SFS, 615WDMW
D	PENDANT CYLINDER, 120V, WHITE SHADE	WHITE	60W INC	MOUNT FROM CEILING	HALO #H1CYLBRZA15PWH
F	WALL MOUNT LED FIXTURE, 120V, WP WITH A 90 MINUTE EMERGENCY BATTERY BACK UP	BRONZE	45W 3000K LED	MOUNT AT +30" ABOVE DOOR	McGRAW-EDISON #(S) AF800LEDE3T3BZ-8030BBB
X	LED EXIT SIGN, RED LETTERS WITH A 90 MINTE EMERGENCY BATTERY PACK.	WHITE	1W LED		SURE-LITES #SLX75DR

	MOUNTING: SURFACE			P	ANI	ΞL·	-A	1)	NEW)						LOCATION:	BLDG A, RM. 4	
	VOLTAGE: 120/240V,1P,3W								10,0	000	AIC				225 AMP	BUS	225A-2P MAIN CB	
N O T E	DESCRIPTION	VOLT—A	MPERES B	L T G	R E C	M - S C	P O L E	B K R	C C I R C C	K R	P O L E	M - S C		L T G	VOLT-A	MPERES B	DESCRIPTION	
	LIGHTS RMS. 4 & 13	572		15				20	1 2				1		1500		MDF-WPS, RM. 13	_
	LIGHTS RMS. 8,9,10,11,12,1		829	19					3 4		_		_			1500	_	_
	LIGHTS RM. 5	451		15	1 1		1		5 6		2		1		1456		CU-1, ROOF	
1	EXTERIOR LTG.		225	5			1		7 8		_		_			1456		
	PLUG MOLD RM. 4	360			2		1		9 10		2		1		24		FC-1, RM. 13	_
	PLUG MOLD RM. 4		540		3				11 12		_		_			24	_	
	RECEPT. RMS. 104,9,10,12	900			5		_		13 14		1		1		360		MDF, RM. 13	
	RECEPT. RMS. 12, 5		720		4				15 16				1			360	MDF, RM. 13	
	RECPT. RMS. 4, 8, 14	900			5		1		17 18				1		360		MDF, RM. 13	_
	RECEPT. RMS. 104, 14, 11		900		5		1		19 20				1			360	MDF, RM. 13	
	RECEPT. RMS. 11, 5	900			3	1	1	20	21 22	20	1		1		360		TELEPHONE BKBD.	
2	FIRE ALARM		500			1	1	20	23 24	20	1		1			1200	PRINTER	
	RECEPT. RM A11	720			4		1	20	25 26	20	1		1		360		IRRIGATION CONTROL	
	RECEPT. RM A11		720		3	1	1	20	27 28	40	2	1				4160	INSTA-HOT, WH-2	
	DISPOSAL	804			1		1	20	29 30	-	-	_			4160		_	
	MICROWAVE		1000		1		1	20	31 32	40	2	1				4160	INSTA-HOT, WH-2	
	MICROWAVE	1000			1		1	20	33 34		_	_			4160		_	
	VENDING MACH	~~~~	1000		1		1	20	35 36	20	2	1				2080	INSTA-HOT, WH-1	
~~	REF	1000		~~	2	\sim	1	20	37 38	_	-	_			2080		_	
	HAND DRYER		500			1	1	20	39 40	20	2	1				2080	INSTA-HOT, WH-1	
	HAND DRYER VA PER PHASE	500				1	1	20	41 42	-	_	_			2080		-	
	VA PER PHASE	8107	6934												16900	17380	VA PER PHASE	
															25007	24314	TOTAL VA PER PHASE	
	CONTINUOUS LOAD		_				VA								49321		TOTAL CONNECTED VA	
			OTHER=														NOTES	
		TOTA	AL LOAD=	= 49	840)	VA		208			ΑM	IPS		1	-	HROUGH A 24HR-7 DAY TO	С
	CEILING OUTLETS =														2	PROVIDE	LOCK-ON DEVICE	
	CONV. OUTLETS =	50		TH	IIS F	PANE	EL IS	S FE	D BY:	0					3			
	MISC. OUTLETS =	9													4			



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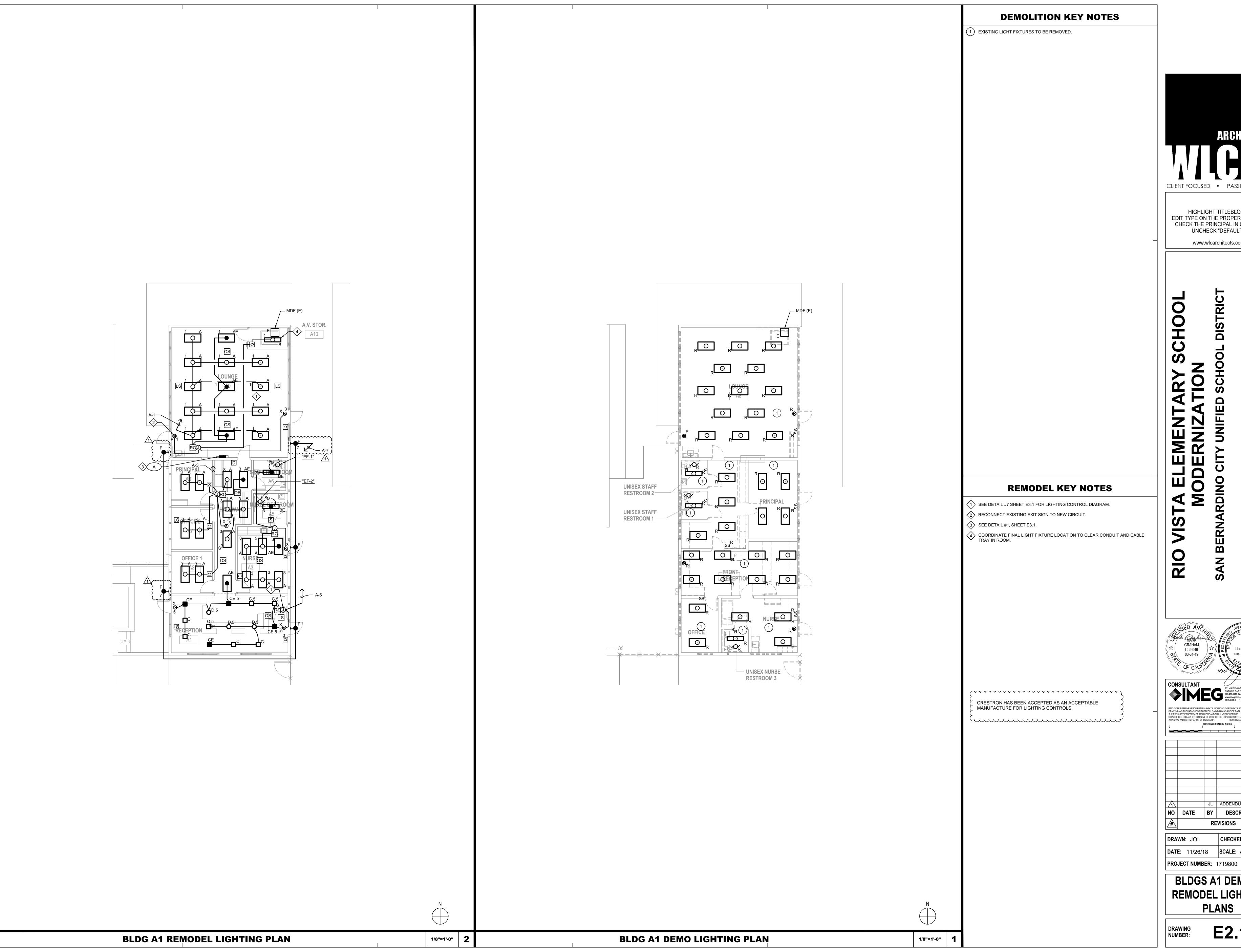


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DATE: 11/26/18 SCALE: AS NOTED PROJECT NUMBER: 1719800

SINGLE LINE DIAGRAM & PANEL **SCHEDULES**

DRAWING NUMBER: **E0.2**





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JL ADDENDUM#1

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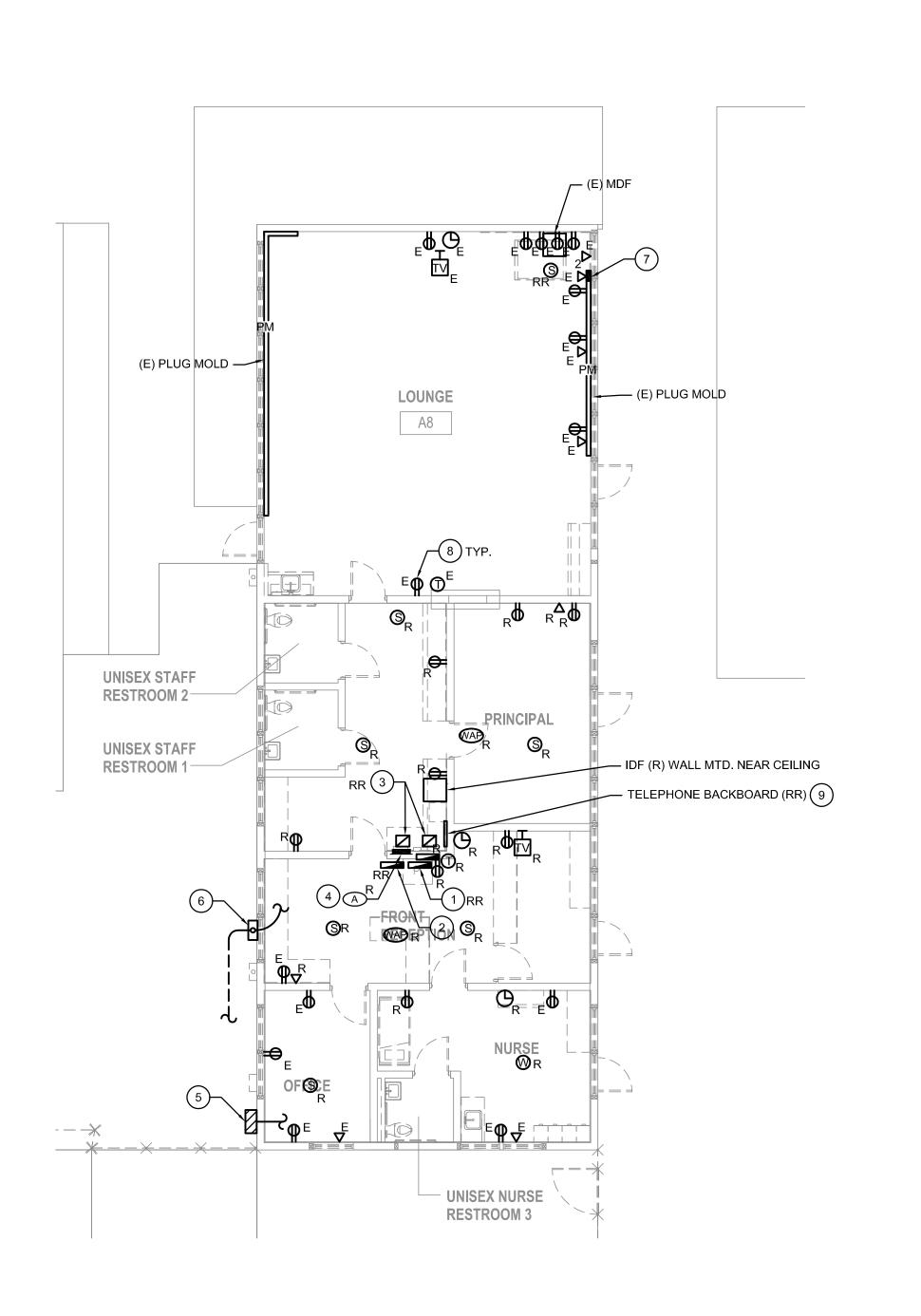
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DATE: 11/26/18 SCALE: AS NOTED

BLDGS A1 DEMO & REMODEL LIGHTING **PLANS**

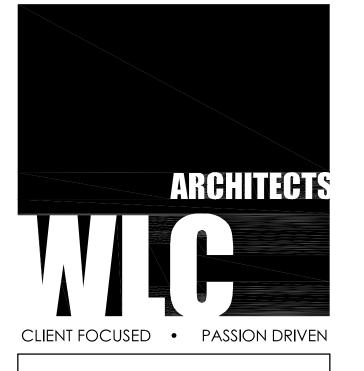
E2.1

SEE DETAIL #3 3/4"C-2#12 \ &1#312GND &1#12GND 3/4"C-2#8 & CSS 1#10 GND. FOR DISPOSAL **BELOW COUNTER** 60AS-2P ----40AFU, BELOW COUNTER



DEMOLITION KEY NOTES

- (1) EXISTING PASSING BELL PANEL, SIMPLEX.
- (2) EXISTING PASSING BELL CABINET, SIMPLEX.
- (3) EXISTING EMS CABINET, TO BE RELOCATED.
- (4) EXISTING PANEL "A" TO BE REMOVED. REMOVE UNDERGROUND FEEDER WIRING BACK TO SWITCHBOARD "MS-1". CAP CONDUIT FLUSH WITH FLOOR. REMOVE BRANCH CIRCUIT CONDUCTORS AND PROVIDE NEW HOME RUNS TO NEW PANEL
- (5) EXISTING IRRIGATION CONTROLLER CABINET WITH A 120V-1P WP RECEPTACLE, TO
- (6) EXISTING IT PULLBOX WITH OPTICAL CABLE, TO BE RELOCATED.
- 7 EXISTING VERTICAL WIREMOLD RISER TO ABOVE CEILING TO BE REMOVED AND HORIZONTAL WIREMOLD TO BE REMOVED SOUTH 24". PROTECT WIRING FOR INSTALLATION OF NEW WIREMOLD.
- 8 EXISTING RECEPTACLES TO REMAIN WILL BE RECIRCUITED AS DETAIL #2 THIS
- 9 RELOCATE THE PA AND SECURITY HEADEND TO THE "MDF".



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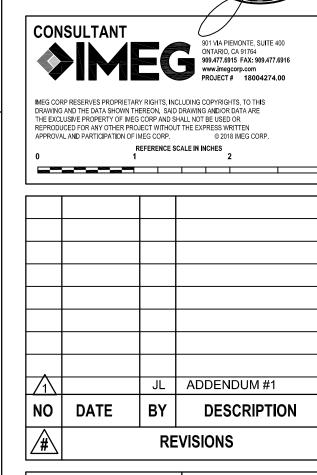
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REMODEL KEY NOTES

- 1 RELEASE BUTTON FOR GATE ELECTRONIC STRIKE. J-BOX BELOW COUNTER FOR LOW VOLTAGE TRANSFORMER.
- 30A-208V-2P RECEPTACLE FOR "MDF" UPS. VERIFY RECEPTACLE NEMA NUMBER
- TELEPHONE BACKBOARD "TB" 4'x2'x3/4" TK PLYWOOD. MOUNT ON WALL AT 3" BELOW CEILING. SEE DETAIL #4, SHEET E3.1.
- 4 3/4"C. 1#6 TO GROUND.
- $\langle 5 \rangle$ FOR MDF, UPS.

- (12) INTERCEPT EXISTING TELEPHONE "MPOE" AND EXTEND TO NEW TELEPHONE
-x

- (6) EXISTING RELOCATED EMS CABINET.
- (7) EXISTING RELOCATED IT PULLBOX.
- 8 INTERCEPT EXISTING 4"C. AND EXTEND TO NEW PULLBOX LOCATION, DO NOT SPLICE OPTICAL FIBER CABLES UNDERGROUND. USE SPARE CABLE COILED IN BOX TO EXTEND.
- 9 EXISTING RELOCATED IRRIGATION CONTROLLER CABINET AND WP RECEPTACLE, RECONNECT TO NEW CIRCUIT. COORDINATE WITH IRRIGATION CONSULTANT.
- 10 PROVIDE NEW VERTICAL WIREMOLD RISER AND INTERCEPT EXISTING HORIZONTAL WIREMOLD AND CONNECT TO NEW PANEL "A" C/B.
- PROVIDE TWO CHANNEL (POWER, DATA) WIREMOLD TO UNDERSIDE OF COUNTER. COORDINATE EXACT LOCATION WITH ARCHITECTURAL MILL WORK.
- 13 REFER TO MOUNTING REQUIREMENTS OF HAND DRYER MANUFACTURER.



DATE: 11/26/18 **SCALE**: AS NOTED PROJECT NUMBER: 1719800

BLDGS A1 DEMO & REMODEL POWER & SIGNAL PLANS

E2.2

1/8"=1'-0"

1/8"=1'-0"

BLDG A1 REMODEL POWER & SIGNAL PLAN

BLDG A1 DEMO POWER & SIGNAL PLAN

