



October 24, 2019

TO: All Bidders
PROJECT: SINGLE POINT ENTRY – LYTLE CREEK, NEWMARK, SALINAS, URBITA, VERMONT
RE: ADDENDUM 1

This addendum forms a part of the contract documents for the above-named project and modifies the original drawings and project manual provided in the subject Bid. All portions of the contract documents not specifically modified in this Addendum remain in full force and effect.

Careful note of the Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades shall be fully advised in the performance of the work which will be required of them.

Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

RFI RESPONSE

- 1.1 The ALPHONE system is included in the contractor's scope of work, the contractor is responsible to install a complete and functioning system at each of the 5 facilities included in this project. The specifications are located at 28 13 53.11 - IP Network Compatible Intercom (IX System) The locations of the exterior devices and interior devices are located in the drawings. Contractor shall delete any references to work by others or any reference that appears to limit the work to anything less than a complete and operating system.

PROJECT MANUAL

- 1.2 Section 01 10 00 SUMMARY OF WORK
 - 1.2.1 Replace this section with the section contained within this addendum.
- 1.3 Section 01 33 00 SUBMITTAL PROCEDURES
 - 1.3.1 At 1.02.I Submittal Procedures
 - 1.3.1.1 Add the following sentence at the end of this section: The contractor shall be limited to (1) one submittal per specification section listed in the table of contents. All related material samples are to be included with the submittal.
 - 1.3.2 At 1.03.B Schedule for Submittals
 - 1.3.2.1 Change (30) days to (15) days, and delete the words "or in accordance with the Project Schedule, whichever is sooner".
 - 1.3.2.2 Add the following sentence to the end of the paragraph: All submittal shall be submitted within (60) days from the Notice of Award.

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1.4 Section 28 13 53 .11 IP NETWORK COMPATIBLE INTERCOM (IX SYSTEM)

1.4.1 At 2.02 System Design, Item D.3

1.4.1.1 Delete the word “Optional” and “(Unit price items to be used at District option)”.

1.4.1.2 Delete items b. thru d. in their entirety.

1.4.1.3 Add Items as follows:

1.4.1.3.1 b. PEO Switch – compatible and sized as required for the system.

1.5 Section 09 65 00 RESILIENT FLOORING

1.5.1 At 2.02 Tile Flooring

1.5.1.1 Add line 9 as follows; LVT Basis of Design Material shall be MetroFlor -Engage Genesis 2000MW.

1.6 Section 09 68 13 TILE CARPETING

1.6.1 At 2.03 Materials

1.6.1.1 Add line 14 as follows; Basis of Design carpet shall be Shaw Contract Linage Tile, Style 59106

DRAWINGS

LYTLE CREEK

1.7 Replace Sheet AS1.1 ENLARGED SITE PLAN with the sheet contained within this addendum.

1.8 Replace Sheet A-1.0 FLOOR PLANS with the sheet contained within this addendum.

1.9 Replace Sheet A-2.0 INTERIOR ELEVATIONS AND DETAILS with the sheet contained within this addendum.

NEWMARK

1.10 Replace Sheet AS1.1 ENLARGED SITE DEMO PLAN with the sheet contained within this addendum.

1.11 Replace Sheet AS1.2 ENLARGED SITE PLAN with the sheet contained within this addendum.

SALINAS

1.12 Replace Sheet AS1.1 SITE DEMO/PROPOSED PLAN with the sheet contained within this addendum.

1.13 Replace Sheet AS1.2 ENLARGED SITE PLAN with the sheet contained within this addendum.

1.14 Replace Sheet A-1.0 FLOOR/CEILING PLANS & DETAILS with the sheet contained within this addendum.

1.15 Sheet A-2.0 RESTROOM PLANS & ELEVATIONS

1.15.1 Change the heading in the upper right hand corner from (N) RESTROOM ACCESSORIES SCHEDULE to (E) RESTROOM ACCESSORIES SCHEDULE.

1.16 Replace Sheet A-2.1 ELEVATIONS AND DETAILS with the sheet contained within this addendum.

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1.17 Sheet A-3.0 ELEVATIONS AND DETAILS

1.17.1 DOOR SCHEDULE, CHANGE DOORS 106, 107, 108 AND 102A to “EXISTING”.

1.18 Sheet SD-1 DETAILS

1.18.1 At Elevation 1A, Add plywood to match the shear panel to the remainder of Elevation 1A under the 2 windows and around the new door..

URBITA

1.19 Replace Sheet AS1.1 ENLARGED SITE PLAN with the sheet contained within this addendum.

1.20 Replace Sheet A-1.0 FLOOR PLANS with the sheet contained within this addendum.

1.21 Sheet A-1.1 DETAILS

1.21.1 At Elevation 2, add the following text “provide new plywood to match shearwall around new doorway”.

1.22 Sheet A-2.0 DETAILS

1.22.1 At Detail 9, change title to read “CASED OPENNING JAMB (HEAD SIM).

1.22.2 At DOOR SCHEDULE, change Door 104A to “EXISTING DOOR AND HARDWARE”.

1.23 Sheet A-3.0 RESTROOM PLANS, ELEVATIONS, DETAILS

1.23.1 At Detail 1, Add the indication for floor tile F-1 at the floor plan.

1.24 Sheet SD-1 DETAILS

1.24.1 At Elevation 1, Add plywood to the remainder of Elevation 1.

VERMONT

1.25 Replace Sheet AS1.2 ENLARGED SITE PLAN with the sheet contained within this addendum.

1.26 Replace Sheet A-1.0 FLOOR/CEILING PLAN, ELEVATIONS with the sheet contained within this addendum.

1.27 Sheet A-1.2 DOOR SCHEDULE, DETAILS AND SIGNAGE

1.27.1 Change the “NOTES” column to read “EXISTING DOOR AND HARDWARE “ FOR DOORS 101, 102, 104 and 107.

Sincerely,

Brian Gridley

Brian Gridley, Architect

Project Architect

SECTION 01 10 00 SUMMARY

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Summary of the Work of these Contract Documents for the construction of:
Single Point Entry, Lytle Creek, Newmark, Salinas, Urbita, Vermont.
Architect's Name: TR Design Group, Brian Gridley, Architect 951 742 7179

1.02 GENERAL

- A. Work under this Contract includes furnishing all labor, materials, services and transportation which is required for completion of the Project at Lytle Creek, Newmark, Salinas, Urbita, Vermont Elementary schools in accordance with the Contract Documents.
- B. The Contract Time for completion shall be that shown in the Construction Progress Schedule.

Once the CONTRACTOR has received a notice to proceed, the CONTRACTOR shall complete the work within 178 Calendar Days from receipt of the notice to proceed. It is expressly understood that time is of the essence.
- C. At each school site, the work is to be performed within a portion of an active school campus. All work shall be conducted in a manner that does not impact the health and safety of school staff, students, site workers and project personnel, adjacent property owners, and/or the general public. Contractor shall at all times employ safety practices and environmental controls which take into consideration the fact that work is being performed on an active school campus. All work shall be performed in a manner which maximizes safety.

The access to this site is limited, the interior of the Administration Building at Manuel A. Salinas Creative Arts Elementary School is only available from 6/8/20 thru 7/17/20, all interior work and work that affects the interior such as exterior doors and windows shall be completed during this time period.
- D. Contract Drawings: The Drawings provided with and identified in the Project Manual are the Drawings referenced in the Agreement.
1. The location, extent and configuration of the required construction and improvements are shown and noted on Drawings.
 - a. The Drawings are referenced in the Agreement.
 - b. An index of Drawings is included in the set of Drawings.
 2. Drawings are arranged into series according to design discipline. Such organization and all references to trades, subcontractor, specialty contractor or supplier shall not control the Contractor in dividing the Work among subcontractors or in establishing the extent of the Work to be performed by any trade.

3. Where the terms "as shown", "as indicated", "as noted", "as detailed", "as scheduled", or terms of like meaning, are used in the Drawings or Specifications, it shall be understood that reference is being made to the Drawings referenced in the Agreement.
 4. Where reference to the word "plans" is made anywhere in Drawings, Specifications and related Contract Documents, it shall be understood to mean the Drawings referenced in the Agreement.
- E. Contractor's Safety Performance Requirement: SBCUSD places safety and safe work practices at a premium, especially in regard to operations on active District campuses.
 - F. All work shall be performed in a manner that minimizes impact to the environment, minimizes waste and maximizes the amount of salvageable material recovered throughout the project(s).
 - G. All work shall be performed in a manner that minimizes noise and vibration impacts to the adjacent classrooms, school operations and surrounding neighborhood. In some cases, loud or high vibration activities may have to be rescheduled to accommodate school instructional or testing activities. Such activities may require work on weekends or during holiday breaks. Cost of rescheduling and of off hours' work shall be at Contractor's expense. Holiday break periods for the 2019-20 school year are as follows:
 - Winter Break: 12/23/19-1/10/20
 - MLK Day: 1/20/20
 - Lincoln's Birthday: 2/10/20
 - President's Day: 2/17/20
 - Spring Break 3/23/20 – 4/3/20
 - Memorial Day: 5/25/20
 - Summer Break: Begins 6/08/20, Ends approx. 7/17/20
 - H. All work shall be performed in a manner that protects existing infrastructure, landscaping, and other structures designated to remain.
 - I. All work shall be performed in a manner that meets the District's expectation for safe work execution, as well as adherence to schedule and project budget.

1.03 Background

- E. Project Scopes: The following is a brief description of the scopes of work at each project site, see the plans and project manual for the work required.
Entry Modifications, located at:
 1. Manuel A. Salinas Creative Arts Elementary School
 - a. The access to this site is limited, the interior of the Project Area of the Administration Building is only available from 6/8/20 thru 7/17/20, all interior work and work that affects the interior such as exterior doors and windows shall be completed during this time period.
 - b. This project consists of creating a new entry point at the front of the existing administration building.
 - c. New chain-link fencing with gates will be added to direct visitors to the new entry point of the new access.

- d. The new entry point door will penetrate the existing stud wall/window system of the west side of the existing administration building office.
 - e. Some modifications to interior door locations and in fill of existing walls.
 - f. Additionally, existing casework will be removed in the interior of the existing office with minor electrical being relocated.
 - g. Interior floor finishes as well as interior paint will also complete the scope of work
 - h. New parking lot slurry and painting for accessible parking stalls will be added.
 - i. Demolition and replacement of concrete paving.
2. Lytle Creek Elementary School
- a. This project consists of creating a new entry point at the front of the existing administration (off campus side) building.
 - b. New chain-link fencing with gate will be added to direct visitors to the new entry point of the new access.
 - c. The new entry point door will penetrate the existing stud wall of the south side of the existing administration building office.
 - d. Additionally, non-bearing framing will be removed on the exterior of the new entry route wall to remove an abandoned fire hose box.
 - e. Using the existing water line, a hose bib will be added on the same wall that the existing fire hose framing demolition will be performed on.
 - f. Interior floor finishes as well as interior and exterior paint will also complete the scope of work
 - g. No new ADA parking stalls for accessible parking will be added as existing stalls are complaint (see a#106011).
3. Newmark Elementary School
- a. This project consists of creating a new entry point at the front of the existing administration building.
 - b. New chain-link fencing with gates will be added to direct visitors to the new entry point of the new access.
 - c. The new entry point door will penetrate the existing stud wall/window system of the west side of the existing administration building office.
 - d. Additionally, non-barring wall framing will be removed in the interior of the existing office.
 - e. Interior floor finishes as well as interior and exterior paint will also complete the scope of work
 - f. New ADA parking stalls for accessible parking will be added.
 - f. No new ADA parking stalls for accessible parking will be added as existing stalls are complaint
4. Urbita Elementary School
- a. This project consists of creating a new entry point at the front of the existing administration building.
 - b. The new entry point door will penetrate the existing stud wall/window system of the west side of the existing administration building office.
 - c. Additionally, existing casework will be removed in the interior of the existing office with minor electrical being relocated.

- d. Interior floor finishes as well as interior and exterior paint will also complete the scope of work
 - e. A new ADA parking stall for accessible parking will be added.
5. Vermont Elementary School
- a. This project consists of creating a new entry point at the front of the existing administration building.
 - b. New chain-link fencing with gates will be added to direct visitors to the new entry point of the new access.
 - c. The new entry point door will penetrate the existing stud wall/window system of the west side of the existing administration building office.
 - d. Additionally, existing telephone data cabinet will be removed in the interior of the existing office with minor electrical being relocated.
 - e. Interior floor finishes as well as interior and exterior paint will also complete the scope of work
 - f. A new ADA parking stall for accessible parking will be added in the north parking lot with the path of travel using the public way to the new entry point.
 - d.

1.04 BIDDER'S INVESTIGATIONS

- A. **Bidder's Investigation:** Bidder shall visit site and become familiar with site conditions at the project site.
- 1. Bidder may, at Bidder's own expense and prior to bidding, make soil surveys and investigations Bidder considers necessary, following written notification to and approval by the District representative.
 - 2. Bidder assumes risk that soil and underground conditions may be other than that indicated in soil investigation data.
- B. **Procedures:**
- 1. Obtain authorization from authorized District Representative prior to start of borings or subsurface investigations.
 - 2. Immediately upon completion of Bidder's subsurface investigation, return site areas affected by investigations to condition existing prior to start of Bidder subsurface investigations as directed by District Representative.

1.05 WORK COMPONENTS

The following work components are required by the Contract, Technical Specifications and Bid Proposal Exhibits and text of this RFP:

A. **Activities Prior to Start of On-site Work**

- 1. Obtain ALL permits necessary to perform the scope of work.
- 2. Prepare and file all required notifications, including but not limited to South Coast Air Quality Management District (SCAQMD) Rule 1403 required notifications. SCAQMD Notifications must be filed at least 10 days before the start of work.
- 3. Submit and fully adhere to Contractor's health and safety plan in full compliance with CalOSHA, SCAQMD, and project specifications. Site work may not proceed until this plan is delivered to and accepted by District.

4. District has contracted a survey of asbestos, lead-based paint and other hazardous wastes to confirm presence of these materials. (See survey reports – Attached in Specifications).
5. Identify and procure the services of licensed waste haulers and properly permitted Waste Disposal/Management Facilities for the transportation and disposal of all material generated during hazardous materials abatement and demolition activities.
6. Submit a detailed work schedule for the project for review and acceptance by District.

B Campus Systems to Remain Operational

1. All campus systems and utilities shall remain operational throughout the project, including but not limited to:
 - a) Electrical service
 - b) Water
 - c) Irrigation
 - d) Storm drains
 - e) Sewer
 - f) Natural gas
 - g) Telephone
 - h) Data (Ethernet, WiFi and or cable service)
 - i) Public Address System
 - j) Campus synchronized clocks & bells
 - k) Security system(s)
 - l) including cameras, sensors, and electronic strikes

C Demolition

1. All employees engaged in selective demolition activities shall be instructed regarding the contents of the Contractor's Health & Safety Plan(s).
2. Any/all demolition shall be performed in a manner that emphasizes and maximizes the safety of students, staff, area residents as well as project personnel and support staff.
3. Demolition shall be performed in a manner that does not encroach upon or cause damage to adjacent properties and structures.
4. Demolition shall be performed in a manner that facilitates safe and efficient handling and load out of materials for disposal.
5. The sequence of Demolition, material stockpiling, loadout, transport, and disposal shall be performed in a manner that promotes a smooth workflow to meet schedule milestones.
6. Contactor shall take measures to protect in place adjacent trees and landscaping designated to remain.

E Construction

1. All employees engaged in construction activities shall be instructed regarding the contents of the Contractor's Health & Safety Plan(s).
2. Any/all construction shall be performed in a manner that emphasizes and maximizes the safety of students, staff, area residents as well as project personnel and support staff.
3. Any/all construction shall be performed in full compliance with project plans, specifications, and documents.
4. Any/all construction shall be performed in full compliance with regulatory requirements.

1.06 SEQUENCING OF WORK

- A. Proper regulatory notifications must be filed and Health & Safety plans be submitted, and permits be secured prior to commencing site work. Proof of filing of regulatory agency notifications will be required prior to start of work.
- B. Installation of perimeter fencing and screening must be completed prior to initiation of other site activities.
- C. Hazardous Materials Abatement work must be completed, inspected and approved by the District representative and/or District consultant prior to the start of any demolition.

1.07 PERMITS, LICENSES AND FEES

A. Permits:

1. For Work included in the Contract, Contractor shall obtain all permits from authorities having jurisdiction including but not limited to City of San Bernardino, serving utility companies and other state and local regulatory agencies.
2. District will reimburse Contractor for amount charged for such permits, without mark-up.

B. Licenses and certifications:

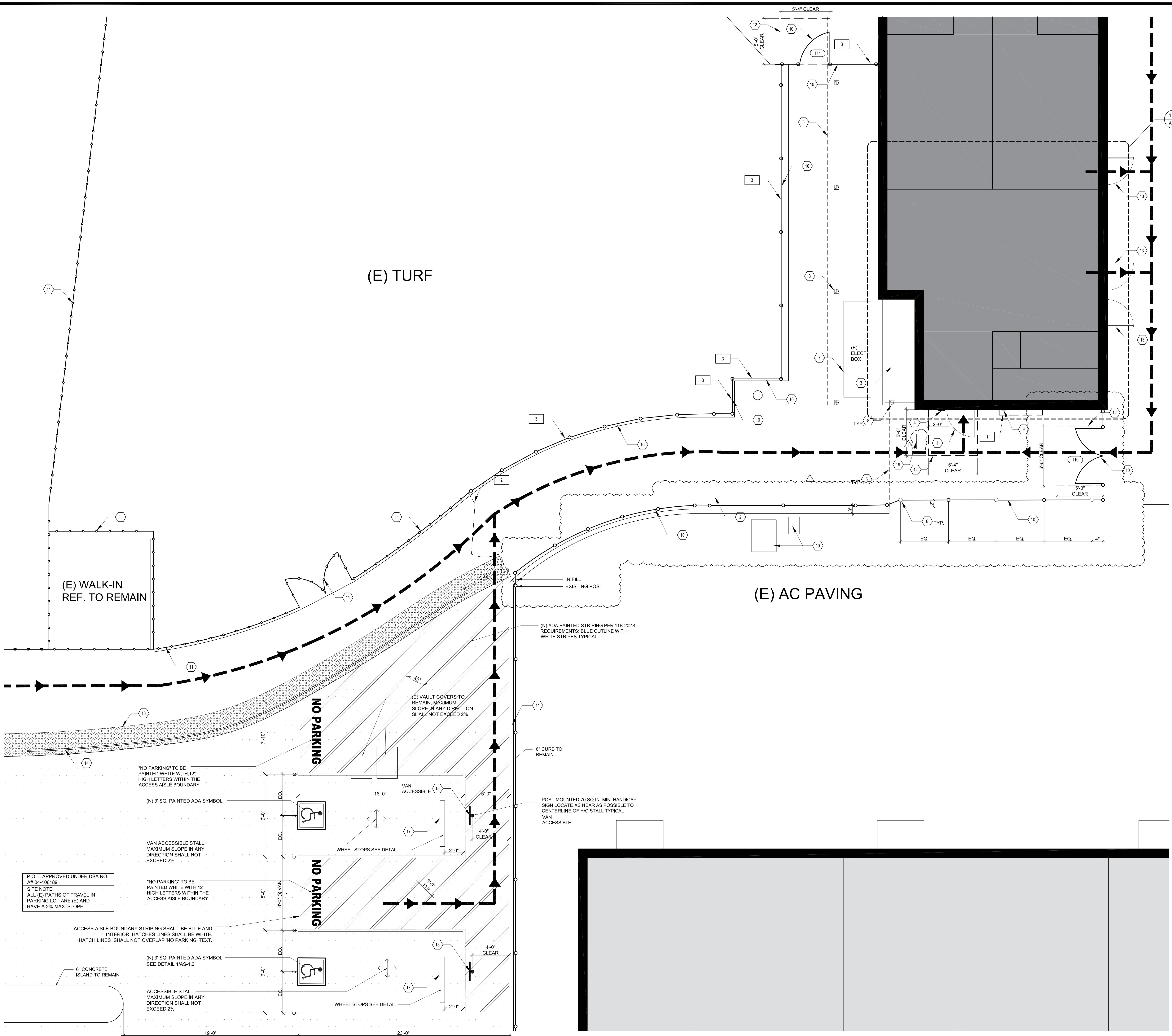
1. Contractor shall obtain and pay all licenses and certifications associated with project demolition, abatement and construction activities, such as business licenses, contractors' licenses and vehicle and equipment licenses.
2. All costs for licenses shall be included in the Contract Sum.

C. Assessments:

1. District will pay all assessments and utility service connection fees. Costs of assessments shall not be included in the Contract Sum.

D. Test and Inspection Fees:

1. Contractor shall pay all fees charged by authorities having jurisdiction and from serving utility companies and agencies, for tests and inspections conducted by those authorities, companies and agencies.
2. District will reimburse Contractor for actual amount of such fees, without mark-up.



FLOOR PLAN KEYNOTES

- 1 (N) ENTRY POINT WITH (N) DOOR, AND FRAME; SEE SPECIFICATIONS; PAINT ALL TO MATCH (E)
- 2 (E) CONCRETE WALKWAY PROTECT N PLACE
- 3 (E) PLANTER TO REMAIN; PROTECT IN PLACE
- 4 (N) NEW ADA ACCESS SIGN; SEE DTL.
- 5 (E) ROOF OVERHANG TO REMAIN
- 6 (E) STEEL POST TO REMAIN
- 7 (E) ELECTRICAL BOX TO REMAIN; PROTECT IN PLACE
- 8 (E) POST TO REMAIN
- 9 (N) HOSE BIB LOCATION FROM (E) RELOCATED WATER LINE
- 10 (N) 6'-0" CHAIN-LINK FENCING W/ GATE(S); SEE DTL. AND DOOR SCHEDULE
- 11 (E) 8'-0" CHAIN-LINK FENCING WITH GATE(S) TO REMAIN; PROTECT IN PLACE
- 12 LEVEL MANEUVERING CLEARANCE PER 11B-404.2.4 SEE DETAIL 8/AS-1.2
- 13 (E) DOOR TO (E) ROOMS TO REMAIN; PROTECT IN PLACE
- 14 (E) GUARDRAIL TO REMAIN; PROTECT IN PLACE
- 15 (N) ADA PARKING SIGN WITH MIN. 250 TEXT SEE DTL.
- 16 (E) TRUNCATED DOMES TO REMAIN; PROTECT IN PLACE
- 17 (E) WHEEL STOP TO REMAIN; P.I.P.
- 18 (E) FLOOR PLAQUE; P.I.P.
- 19 UTILITY IN GROUND BOXES; P.I.P.

DEMOLITION NOTES

- 1 (E) WOOD FRAMED FIRE HOSE CABINET TO BE DEMOLISHED; RELOCATE WATER LINE TO CREATE A (N) HOSE BIB IN WALL; PATCH, REPAIR, TEXTURE AND PAINT WALL TO MATCH (E).
- 2 (E) CHAIN-LINK FENCE/GATE TO BE DEMOLISHED AND NOT REPLACED; PATCH OR REPAIR CONCRETE / GRIND SMOOTH POST; PROTECT ADJACENT FENCING IN PLACE
- 3 (E) 4'-0" (LOW CHAIN-LINK) FENCE TO BE DEMOLISHED (ONLY AT THIS AREA); REPLACE WITH (N) 6'-0" CHAIN-LINK FENCING WITH GATE(S)

- 1. PATCH EXISTING EXTERIOR WALLS TO MATCH (E) TEXTURE AND PAINT COLOR
- 2. NOT USED

GENERAL NOTES

- 1. NOT USED

LEGEND

- > PATH OF TRAVEL
- NOTE: ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- LIMITS OF WORK LINE



APPLICANT:



SAN BERNARDINO CITY UNIFIED SCHOOL DISTRICT

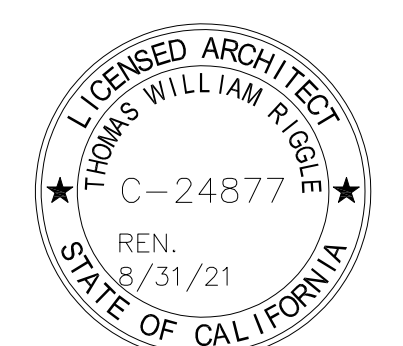
BOARD OF EDUCATION BUILDING
777 NORTH F STREET
SAN BERNARDINO, CA 92410
(909) 381-1100

PROJECT:



LYTLE CREEK ELEMENTARY SCHOOL
275 SOUTH K STREET
SAN BERNARDINO, CA 92410
(909) 388-6382

ENLARGED SITE PLAN



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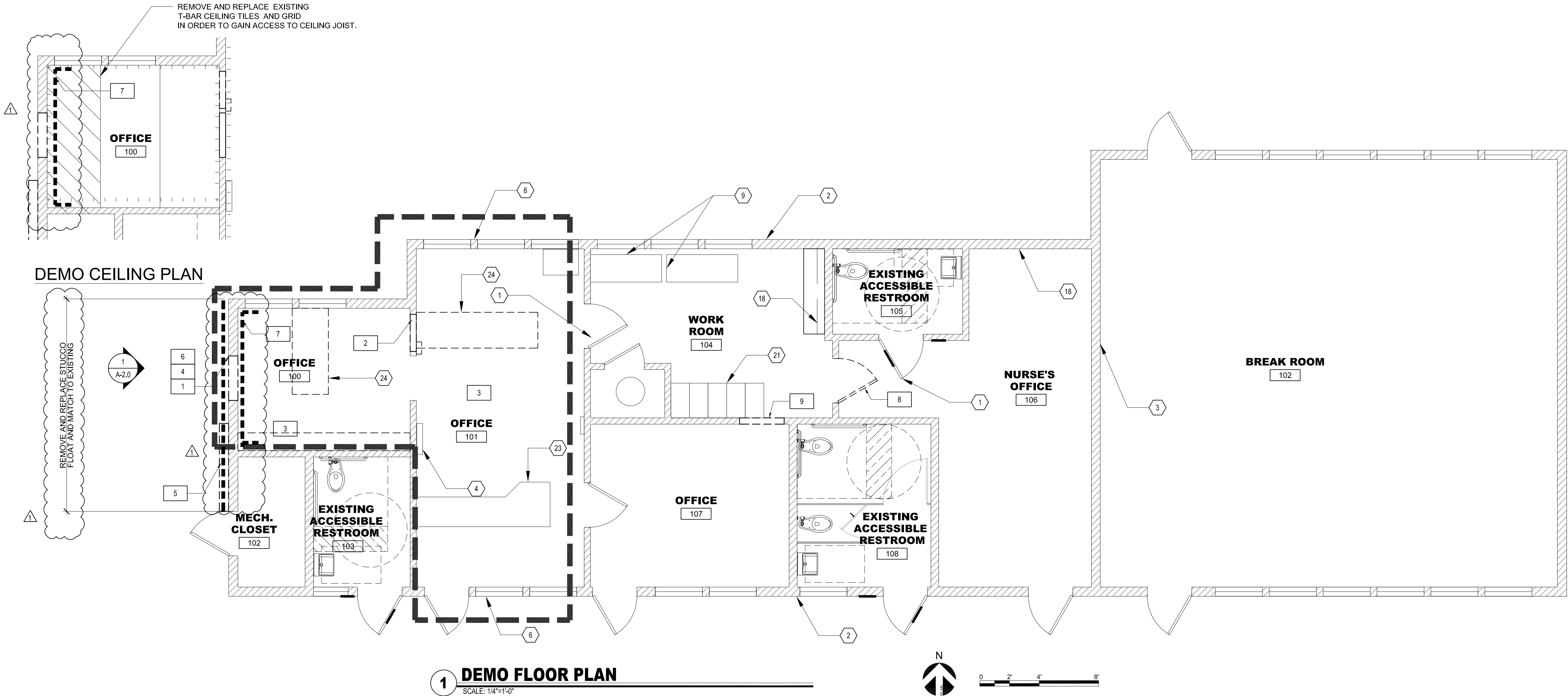
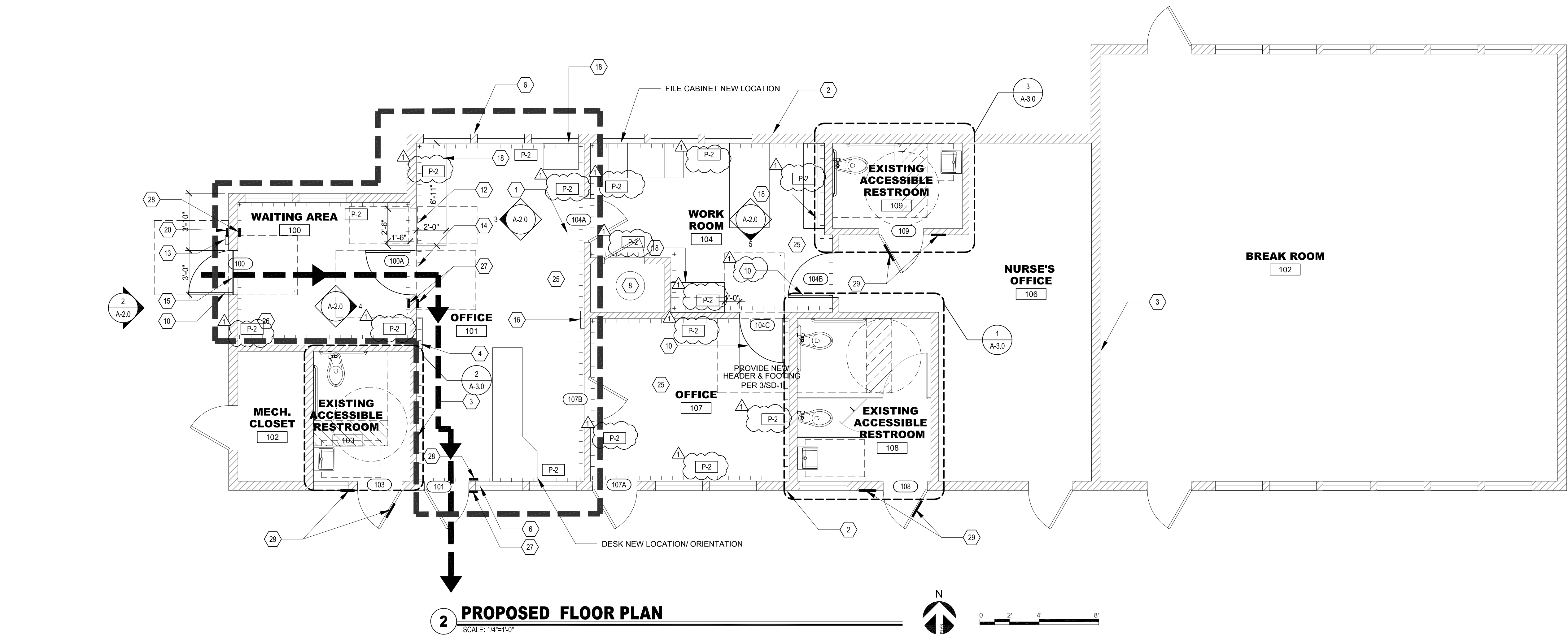
REV.	REVISION	DATE	BY
1	ADDENDUM 1	10/23/21	TRD

PRINTED: 10/23/2019
DRAWN: ----
JOB #: 18-059
DATE: 10/23/19
SCALE: x/x" = 1'-0"

SHEET NO:
AS-1.1

1 ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"

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DEMOLITION NOTES

- 1 DEMO EXISTING WALL. FOR THE INSTALLATION OF NEW WORK; RELOCATE ANY ELECTRICAL BOX AND CONDUIT AS REQUIRED.
- 2 DEMO EXISTING WALL. FOR CASEMENT OPENING, PATCH & PAINT WALLS AS REQUIRED.
- 3 DEMO FLOORING & BASE, PATCH WALLS AS REQUIRED.
- 4 DEMO WALL CURB AT NEW DOOR ROUGH OPENING
- 5 DEMO EXTERIOR WATER HOSE CASEMENT; CAP ALL EXPOSED PLUMBING PIPE.
- 6 DEMO WALL AS REQUIRED FOR ACCESS CONTROL DEVISE, SEE ELECTRICAL PLANS
- 7 DEMO INTERIOR SECTION OF DRYWALL TO ALLOW PLYWOOD TO BE INSTALLED. SEE STRUCTURAL
- 8 DEMO DOOR
- 9 DEMO WALL AS REQUIRED FOR ROUGH OPENING OF DOOR

FLOOR PLAN KEYNOTES

- 1 (E) DOOR, TYP.
- 2 (E) EXTERIOR 2X6 STUD WALL WITH CEMENT PLASTER EXTERIOR & PLASTER OVER GYP BD LATH INTERIOR.
- 3 (E) INTERIOR 3X4 STUD WALL WITH PLASTER OVER GYP BD LATH, TYP BOTH SIDES.
- 4 (E) FIRE ALARM PANEL, P.I.P.
- 5 (E) SCHOOL TIME CONTROL CENTER, P.I.P.
- 6 (E) EXTERIOR WINDOW
- 7 (E) ELECTRIC ITEM TO REMAIN
- 8 (E) WATER HEATER
- 9 (E) ROLLING CABINETS ARE TO BE REMOVED AND RELOCATED ON CAMPUS AT THE DISCRETION OF THE SCHOOL DISTRICT.
- 10 (N) DOOR & FRAME, SEE DOOR SCHEDULE
- 11 NOT USED
- 12 (N) CASEMENT OPENING
- 13 (N) WALL MOUNTED AIPHONE DEVICE, SEE SPEC & ELEC. PLANS
- 14 (N) FLOORING TRANSITIONS, TYP. AT LVT TO CARPET JOINTS. SEE DETAIL 8A/A-2.0
- 15 (N) DOOR HEADER SEE STRCTURAL
- 16 (E) ELECTRICAL PANEL "A", SEE ELEC. PLANS
- 17 PATCH AND REPAIR EXISTING PLASTER FINISH, PAINT TO MATCH
- 18 (E) CASEWORK TO REMAIN, PROTECT IN PLACE
- 19 (N) CASEWORK, SEE ELEVATIONS ON A-2.0
- 20 (N) ACCESSIBLE ENTRY SIGN PER DETAIL 17/A-2.0
- 21 (E) FILE CABINET TO BE RELOCATED TO NEW LOCATION
- 22 NOT USED
- 23 (E) DESK AND CASE WORK IS TO BE RELOCATED TO NEW LOCATION
- 24 REMOVE EXISTING FURNITURE FROM WORK AREA AND BE PROVIDED TO SCHOOL DISTRICT TO RELOCATE
- 25 (N) 2X2 CARPET TILES COLOR AND PATTERN ARE TO BE APPROVED BY ARCHITECT AND DISTRICT
- 26 (N) LVT, COLOR AND PATTERN ARE TO BE TO APPROVED BY DISTRICT AND ARCHITECT
- 27 (N) ACCESSIBLE WALL MOUNTED ROOM NAME SIGN; SIGNAGE, TEXT AND COLOR IS TO BE APPROVED BY ARCHITECT AND DISTRICT BEFORE INSTALLATION. SEE DETAIL 16/A-2.0
- 28 (N) ACCESSIBLE WALL MOUNTED EXIT SIGN SEE DETAIL 17/A-2.0
- 29 (N) GENDER NEUTRAL SIGN; SEE DETAIL 15/A-2.0

GENERAL NOTES

1. G.C. SHALL PAINT INTERIOR WALLS WITHIN ROOMS 100, 102 EXTERIOR EAST FACE OF AFFECTED ADMINISTRATION BUILDING, SEE SPEC.
2. G.C. SHALL TAKE CARE IN THE REMOVAL & REINSTALLATION OF ALL CEILING MOUNTED EQUIPMENT OR FIXTURES.
3. G.C. SHALL PROVIDE DISTRICT REPRESENTATIVE WITH PRODUCT SAMPLES OF FLOORING & BASE FOR SELECTION.
4. G.C. SHALL PATCH & REPAIR WALLS AS REQUIRED FOR NEW WORK.
5. PLANS ARE DIAGRAMMATIC IN NATURE, G.C. IS REQUIRED TO CONSTRUCT BASED ON THE DESIGN INTENT.
6. PRIOR TO BID G.C. SHALL VISIT SITE TO BECOME FAMILIAR WITH SITE CONDITIONS & SCOPE.
7. IF CONFLICTING INFORMATION IS FOUND WITHIN THE CONTRACT DOCUMENTS THE G.C. SHALL PROVIDE THE HIGHER PRICED ITEM &/OR LABOR.
8. G.C. SHALL REFER TO ALL SHEETS & SPEC'S WITHIN THIS CONTRACT DOCUMENT FOR FULL SCOPE OF WORK.
9. G.C. SHALL PROTECT IN PLACE ALL WALL MOUNTED EQUIPMENT, ELECTRICAL CABINET, AND BOXES UNLESS SPECIFIC OTHERWISE.

LEGEND

---> PATH OF TRAVEL

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX., & AT LEAST 48" IN WIDTH, SURFACE IS STABLE, FIRM & SLIP RESISTANT, CROSS SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, & PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL & ABOVE 27" & LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

--- BUILDING LIMITS OF WORK LINE

NOTE:
ACCESSIBLE RESTROOMS LOCATED ELSEWHERE SEE SITE PLAN.

AREA TO BE PAINTED



APPLICANT:



**SAN BERNARDINO CITY
UNIFIED SCHOOL
DISTRICT**

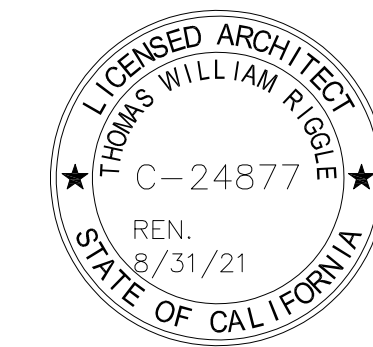
BOARD OF EDUCATION
BUILDING
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SAN BERNARDINO, CA
92410
(909) 381-1100

PROJECT:



**LYTLE CREEK
ELEMENTARY SCHOOL**
275 SOUTH K STREET
SAN BERNARDINO, CA
92410
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FLOOR PLANS



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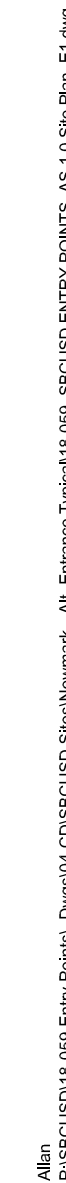
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JOB #: 18-059
DATE: 10/23/19
SCALE: x/x" = 1'-0"

SHEET NO:

A-1.0



1	(N) P.O.T. TO ADMINISTRATION BUILDING WITH (N) ENTRY POINT LOCATION
2	(E) CHAIN-LINK FENCE/GATES TO REMAIN; PROTECT IN PLACE
3	(E) CONCRETE WALKWAY TO REMAIN; PROTECT IN PLACE
4	(N) CONCRETE WALKWAY INTO THE (N) ENTRY POINT
5	NOT USED
6	(E) FLAG POLE TO REMAIN; PROTECT IN PLACE
7	(E) 90° ACCESSIBLE PARKING STALLS AND REGULAR 90° STALLS TO REMAIN
8	(E) ELECTRICAL BOX TO REMAIN; PROTECT IN PLACE
9	(E) CONCRETE SIDEWALK (AND CURB WHERE OCCURS) TO REMAIN
10	(E) UTILITY VAULT TO REMAIN; PROTECT IN PLACE
11	NOT USED
12	NOT USED
13	NOT USED
14	(E) EDGE OF SIDEWALK
15	(E) ROOF OVERHANG TO REMAIN
16	NOT USED
17	NOT USED
18	NOT USED
19	(N) TURF AND (N) IRRIGATION SYSTEM (IN ADJACENT AREA OF (N) WORK) PER DISTRICT STANDARDS
20	(E) WATER LINES (2) AND VALVE BOX - RELOCATE TO NEW

1	(E) FENCING AND GATES TO BE DEMOLISHED
2	RELOCATE ALL (E) IRRIGATION VALVES & BOXES, LINES AND HEADS THAT ARE IN THE AREA OF WORK
3	EXISTING PARKING STRIPING IS TO BE COVER WITH ASPHALT OVERLAY AND NOT USED
7	DEMOLITION ALL SHRUBS THAT ARE IN THE AREAS OF THE WORK
8	REMOVE (E) ELECT. BOX - SEE ELECT. PLANS
9	DEMOLITION (E) CONCRETE WALK AND CURB CUT CONTRACTOR TO OBTAIN ANY CITY PERMITS FOR OFFSITE WORK
10	MOVE FENCE BACK AS NEEDED FOR NEW CURB RAMP

1. PARKING LOT SHALL RECEIVE (N) PARKING STRIPING FOR (N) 90° ADA AND (N) 90° REGULAR PARKING STALLS

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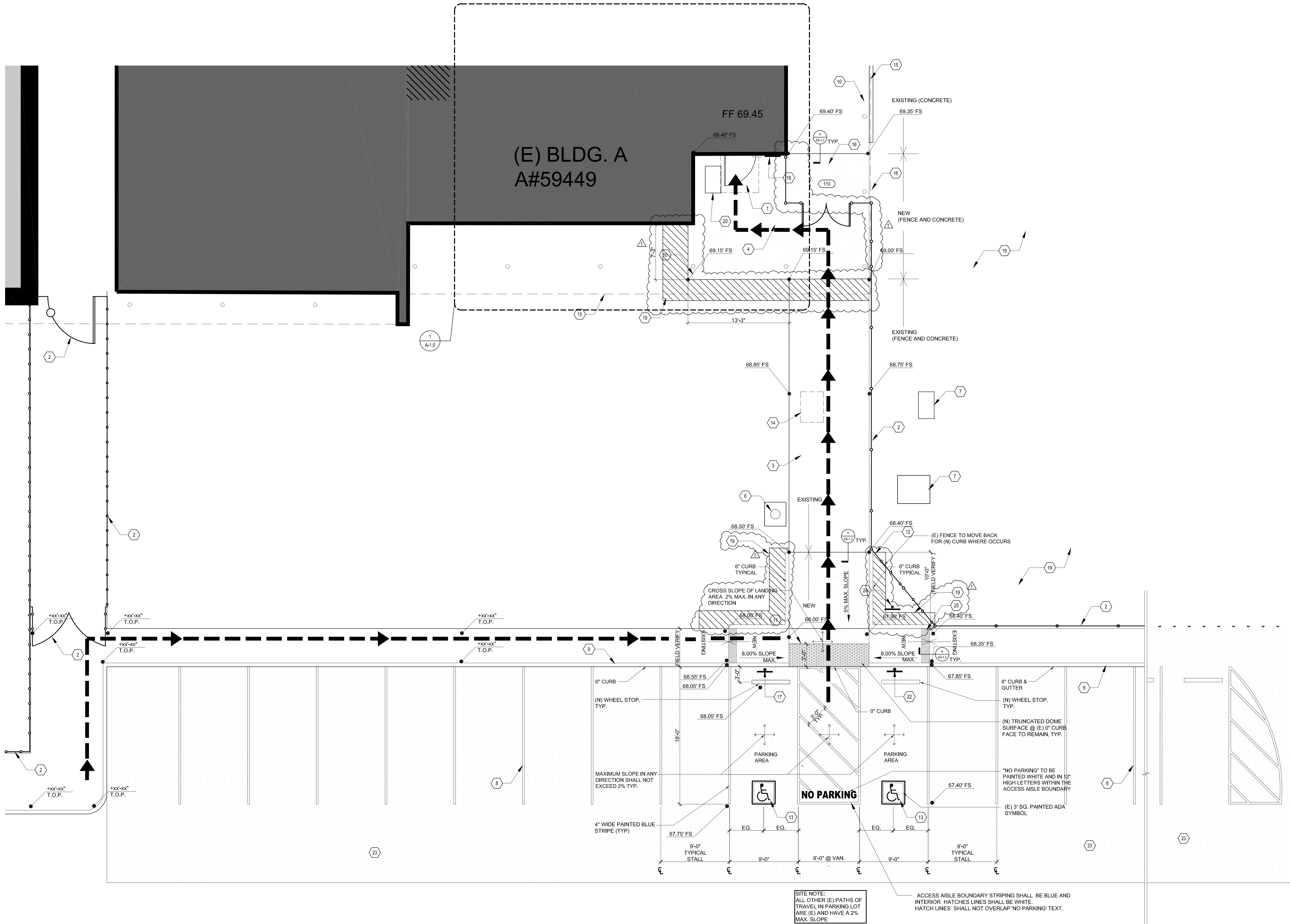
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ENLARGED SITE
DEMO PLAN

PRINTED: 10/23/2019

SHEET NO:

AS-1.1



1 ENLARGED SITE PLAN
SCALE: 3/16"=1'-0"

SITE PLAN KEYNOTES

- (N) P.O.T. TO ADMINISTRATION BUILDING WITH (N) ENTRY POINT LOCATION
- (E) CHAIN-LINK FENCE/GATES TO REMAIN; PROTECT IN PLACE
- (E) CONCRETE WALKWAY TO REMAIN; PROTECT IN PLACE
- (N) CONCRETE WALKWAY INTO THE (N) ENTRY POINT
- NOT USED
- (E) FLAG POLE TO REMAIN
- (E) ELECTRICAL BOX TO REMAIN; PROTECT IN PLACE
- (N) 90° STRIPPING; TYPICAL
- (E) CONCRETE PUBLIC SIDEWALK (AND CURB & GUTTER) WHERE OCCURS); TO REMAIN; PROTECT IN PLACE
- (E) POLE TO REMAIN; PROTECT IN PLACE
- (N) TRUNCATED DOMES SEE DTL
- REPLACE (E) RELOCATED FENCING WITH (N) CHAIN-LINK FENCING TO MATCH (E)
- (N) ADA SYMBOL; SEE DTL
- (E) UTILITY VAULT TO REMAIN; PROTECT IN PLACE
- (E) ROOF OVERHANG TO REMAIN
- (N) 6'-0" CHAIN-LINK FENCING/GATES; SEE DTL
- (N) ACCESSIBLE PARKING SIGN ON DETAIL 7/AS-1.3 WITH SIGNS A,B,C
- (N) ACCESSIBLE ENTRY SIGN; SEE DETAIL CONTRACTOR PROVIDED
- PATCH CONSTRUCTION DAMAGED TURF AND IRRIGATION WITH (N) TURF AND (N) IRRIGATION SYSTEM (AT ADJACENT AREAS OF (N) WORK) PER DISTRICT STANDARDS
- (N) CONCRETE VAULT FOR RELOCATED IRRIGATION VALVES
- (N) DIRECTIONAL SIGNAGE POINTING TO THE NEW ENTRY POINT; CONTRACTOR PROVIDED
- (N) ADA PARKING SIGN WITH MIN. \$250 TEXT SEE DETAIL 7/AS-1.3 WITH SIGNS A & B
- (N) SEAL COAT OVER EXISTING ASPHALT PAVING AND STRIPING
- (N) TOW-AWAY SIGN PER CBC 11B-502.6; PER DETAIL 6/AS-1.3
- (N) GROOVE CONCRETE STRIPS AT RAMP SEE DETAILS/AS-1.3

SITE PLAN NOTES

- PARKING LOT SHALL RECEIVE (N) PARKING STRIPING
- TRUNCATED DOME DETECTABLE WARNING SURFACE IS REQUIRED ON CURB RAMPS PER 2016 CBC SEC. 11B-406.5.12 & 11B-705.1.2.2, CHANGE IN ELEVATION GREATER THAN 6" REQUIRES HANDRAILS. RAMP SLOPE NOT TO EXCEED 8.33% AND FLARED SIDES NOT TO EXCEED 10%

SITE PLAN LEGENDS

---> PATH OF TRAVEL

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

--- LIMITS OF WORK LINE



APPLICANT:



SAN BERNARDINO CITY
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DISTRICT

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SAN BERNARDINO, CA
92410

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PROJECT:

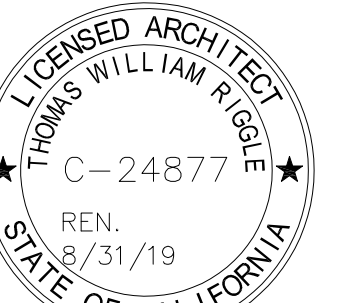


NEWMARK
ELEMENTARY SCHOOL

4121 N 3RD AVENUE
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92407

(909) 881-8192

ENLARGED SITE PLAN



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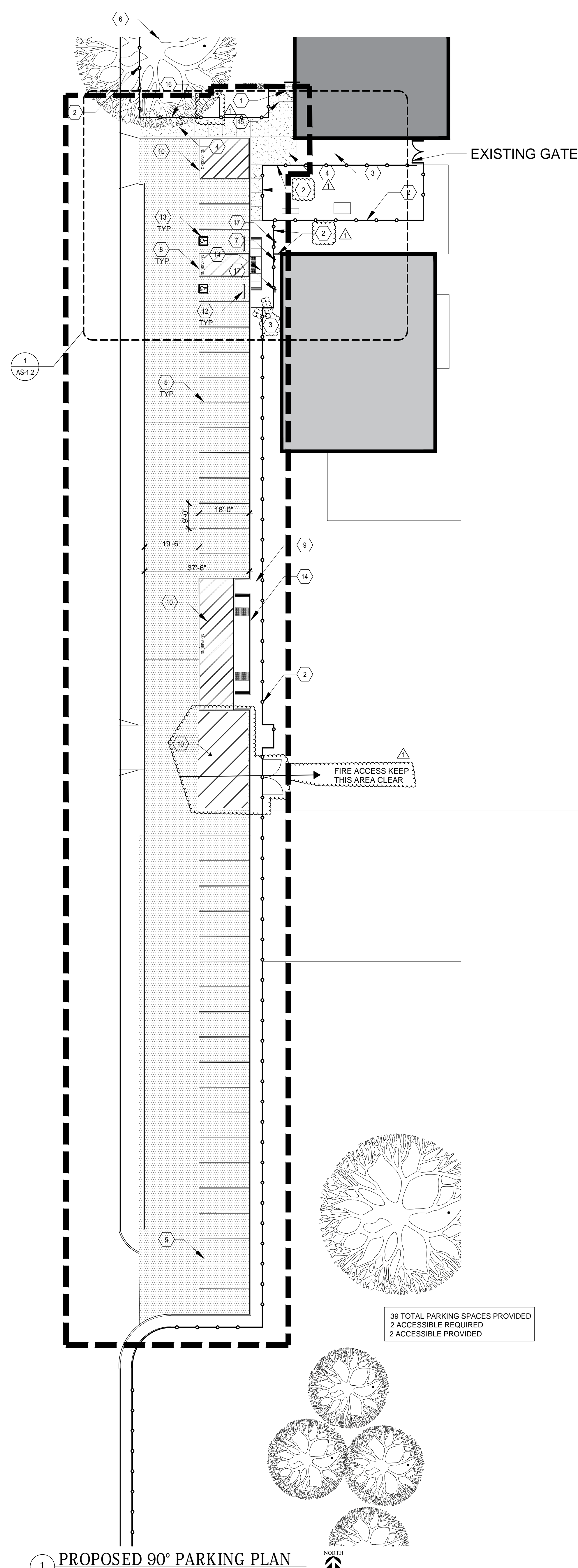
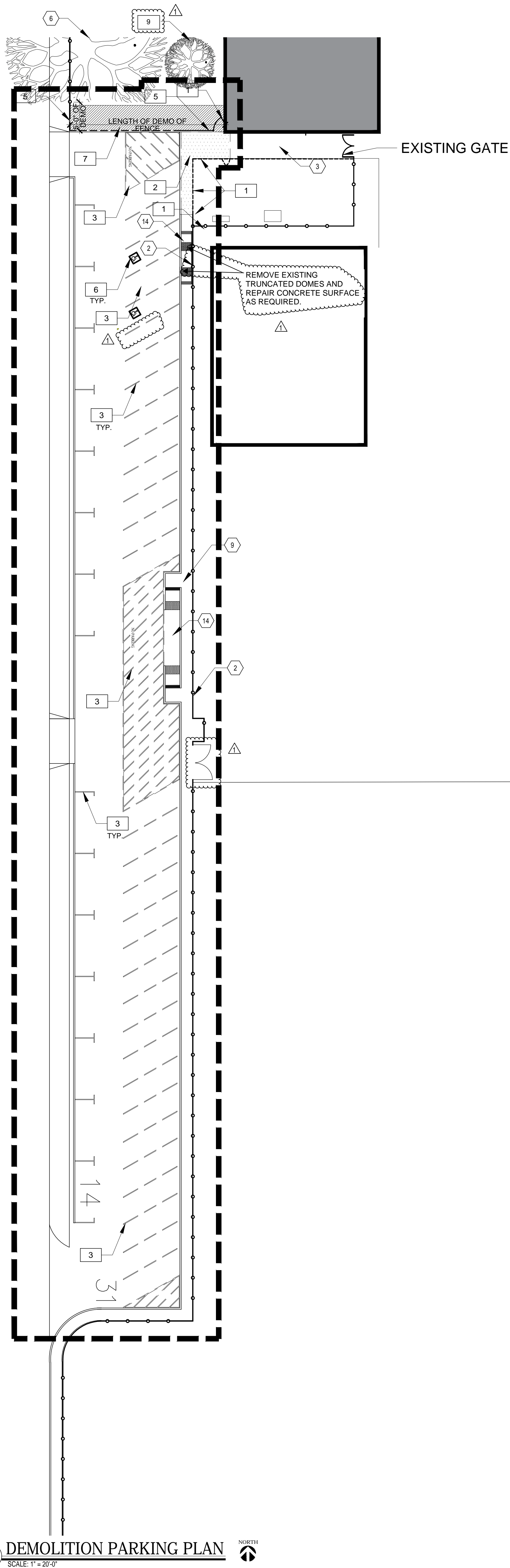
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SCALE: x/x" = 1'-0"

SHEET NO:

AS-1.2



SITE PLAN KEYNOTES

- (N) ENTRY POINT WITH (N) DOOR, AND FRAME; SEE SPECIFICATIONS; PAINT ALL TO MATCH (E)
- (E) CHAIN-LINK FENCE/GATES TO REMAIN; PROTECT IN PLACE
- (E) CONCRETE WALKWAY TO REMAIN; PROTECT IN PLACE
- (N) CONCRETE WALKWAY INTO THE (N) ENTRY POINT
- (N) 90° PARKING LOT STRIPING
- (E) TREES TO REMAIN; PROTECT IN PLACE
- (N) NEW ADA ACCESS WARNING SIGN; SEE DTL. 8
AS-1.3
- (N) 90° ADA STRIPING; TYPICAL
- (E) CONCRETE SIDEWALK (AND CURB WHERE OCCURS) TO REMAIN
- (N) PARKING STRIPING
- NOT USED
- (N) WHEEL STOP FOR ADA PARKING LAYOUT 2
AS-1.3
- (N) ADA SYMBOL; SEE DTL. 1
AS-1.3
- (E) CURB RAMP @ 1/12 MAX. TO REMAIN
- LEVEL MANEUVERING CLEARANCE PER 11B-404.2.4
- (N) 6'-0" CHAIN-LINK FENCING; SEE DTL. 1
AS-1.4
- (N) ADA PARKING SIGN WITH MIN. \$250 TEXT SEE DTL. 7
AS-1.3

DEMOLITION NOTES

- (E) FENCING AND GATE TO BE DEMOLISHED
- (E) CONCRETE WALKWAY TO BE DEMOLISHED
- (E) PAINT STRIPING TO BE OVERLAID WITH ASPHALT AND NOT USED
- (E) WHEEL STOP TO BE DEMOLISHED
- RELOCATE ALL (E) IRRIGATION VALVES & BOXES, LINES AND HEADS IN THE AREA OF WORK
- (E) ADA SYMBOL TO BE OVERLAID WITH ASPHALT AND NOT USED
- DEMOLITION, EXCAVATION AND GRADING OF DIRT AND SHRUBS IN THE AREA OF 4'-0" SIDEWALK
- DEMO EXISTING FENCE AND GATES. RETURN GATES TO DISTRICT FOR RE-USE
- REMOVE EXISTING TREE AND ROOTS IN AREA OF NEW CONCRETE

SITE PLAN NOTES

- PARKING LOT SHALL RECEIVE (N) PARKING STRIPING FOR (N) 90° ADA STALLS AND ADJACENT REGULAR STALLS
- PROTECT (E) TREES IN PLACE DURING CONSTRUCTION; CONTRACTOR TO NOTIFY THE ARCHITECT AND DISTRICT IN WRITING BEFORE REMOVING ANY TREES
- RELOCATE ALL SHRUBS, IRRIGATION VALVE & BOX, LINES AND SPRINKLER HEADS IN THE AREAS OF THE NEW WORK
- TRUNCATED DOME DETECTABLE WARNING SURFACE IS REQUIRED ON CURB RAMPS PER 2016 CBC SEC. 11B-402.5.12 & 11B-705.1.2.2
CHANGE IN ELEVATION GREATER THAN 6"
REQUIRES HANDRAILS.
RAMP SLOPE NOT TO EXCEED 8.33% AND FLARED SIDES NOT TO EXCEED 10%

SITE PLAN LEGENDS

- FENCE
- PATH OF TRAVEL

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. UNLESS OTHERWISE INDICATED, ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

- LIMITS OF WORK LINE



APPLICANT:



SAN BERNARDINO CITY
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DISTRICT

BOARD OF EDUCATION
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777 NORTH F STREET
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92410

(909) 381-1100

PROJECT:



SALINAS CREATIVE
ARTS ELEMENTARY
SCHOOL

2699 N CALIFORNIA ST.
SAN BERNARDINO, CA
92407

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SITE DEMO / PROPOSED
PLAN



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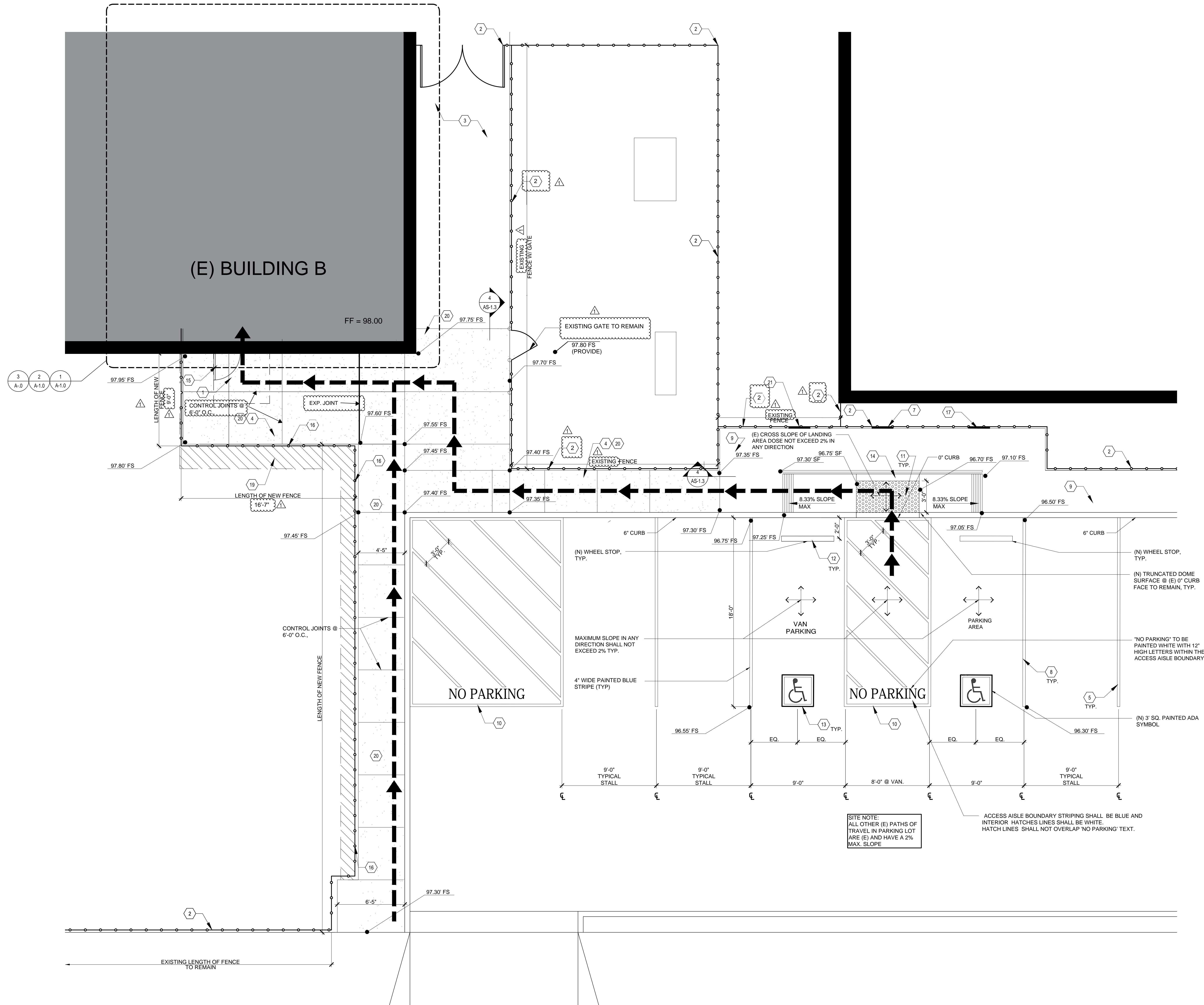
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DATE: 7/24/19

SCALE: AS NOTED

SHEET NO:

AS-1.1



1 PROPOSED 90° PARKING PLAN
SCALE: 1/4" = 1'-0"



SITE PLAN KEYNOTES

- 1 (N) ENTRY POINT WITH (N) DOOR, AND FRAME; SEE SPECIFICATIONS; PAINT ALL TO MATCH (E)
- 2 (E) CHAIN-LINK FENCE/GATES TO REMAIN; PROTECT IN PLACE
- 3 (E) CONCRETE WALKWAY TO REMAIN; PROTECT IN PLACE
- 4 (N) CONCRETE WALKWAY INTO THE (N) ENTRY POINT
- 5 (N) 90° PARKING LOT STRIPING
- 6 (E) TREES TO REMAIN; PROTECT IN PLACE
- 7 (N) NEW ADA ACCESS WARNING SIGN; SEE DTL. 8 AS-1.3
- 8 (N) 90° ADA STRIPING; TYPICAL
- 9 (E) CONCRETE SIDEWALK (AND CURB WHERE OCCURS) TO REMAIN
- 10 (N) PARKING STRIPING
- 11 (N) TRUNCATED DOMES SEE DTL. 3 AS-1.3
- 12 (N) WHEEL STOP FOR ADA PARKING LAYOUT 2 AS-1.3
- 13 (N) ADA SYMBOL; SEE DTL. 1 AS-1.3
- 14 (E) CURB RAMP @ 1/12 MAX. TO REMAIN
- 15 LEVEL MANEUVERING CLEARANCE PER 11B-404.2.4 8 AS-1.3
- 16 (N) 6'-0" CHAIN-LINK FENCING; SEE DTL. 1 AS-1.4
- 17 (N) ADA PARKING SIGN WITH MIN. \$250 TEXT SEE DTL. 7 AS-1.3
- 18 NOT USED
- 19 (N) TURF AND (N) IRRIGATION SYSTEM PER DISTRICT STANDARDS
- 20 4" THICK REINFORCED CONC. SIDEWALK w/ MEDIUM BROOM FINISH.
- 21 (N) VAN ACCESSIBLE PARKING SIGN WITH MIN. \$250 TEXT SEE DTL. 1 AS-1.3

SITE PLAN NOTES

1. PARKING LOT SHALL RECEIVE (N) PARKING STRIPING FOR (N) ADA STALLS AND ADJACENT REGULAR STALLS
2. PROTECT (E) TREES IN PLACE DURING CONSTRUCTION; CONTRACTOR TO NOTIFY THE ARCHITECT AND DISTRICT IN WRITING BEFORE REMOVING ANY TREES
3. RELOCATE ALL SHRUBS, IRRIGATION VALVE & BOX, LINES AND SPRINKLER HEADS IN THE AREAS OF THE NEW WORK
4. TRUNCATED DOME DETECTABLE WARNING SURFACE IS REQUIRED ON CURB RAMP PER 2016 CBC SEC. 11B-402.5.12 & 11B-705.1.2.2 CHANGE IN ELEVATION GREATER THAN 6" REQUIRES HANDRAILS. RAMP SLOPE NOT TO EXCEED 8.33% AND FLARED SIDES NOT TO EXCEED 10%

SITE PLAN LEGENDS

- FENCE
- (N) CONC SIDEWALK
- PATH OF TRAVEL

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. UNLESS OTHERWISE INDICATED, ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.



APPLICANT:



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PROJECT:



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ENLARGED SITE PLAN



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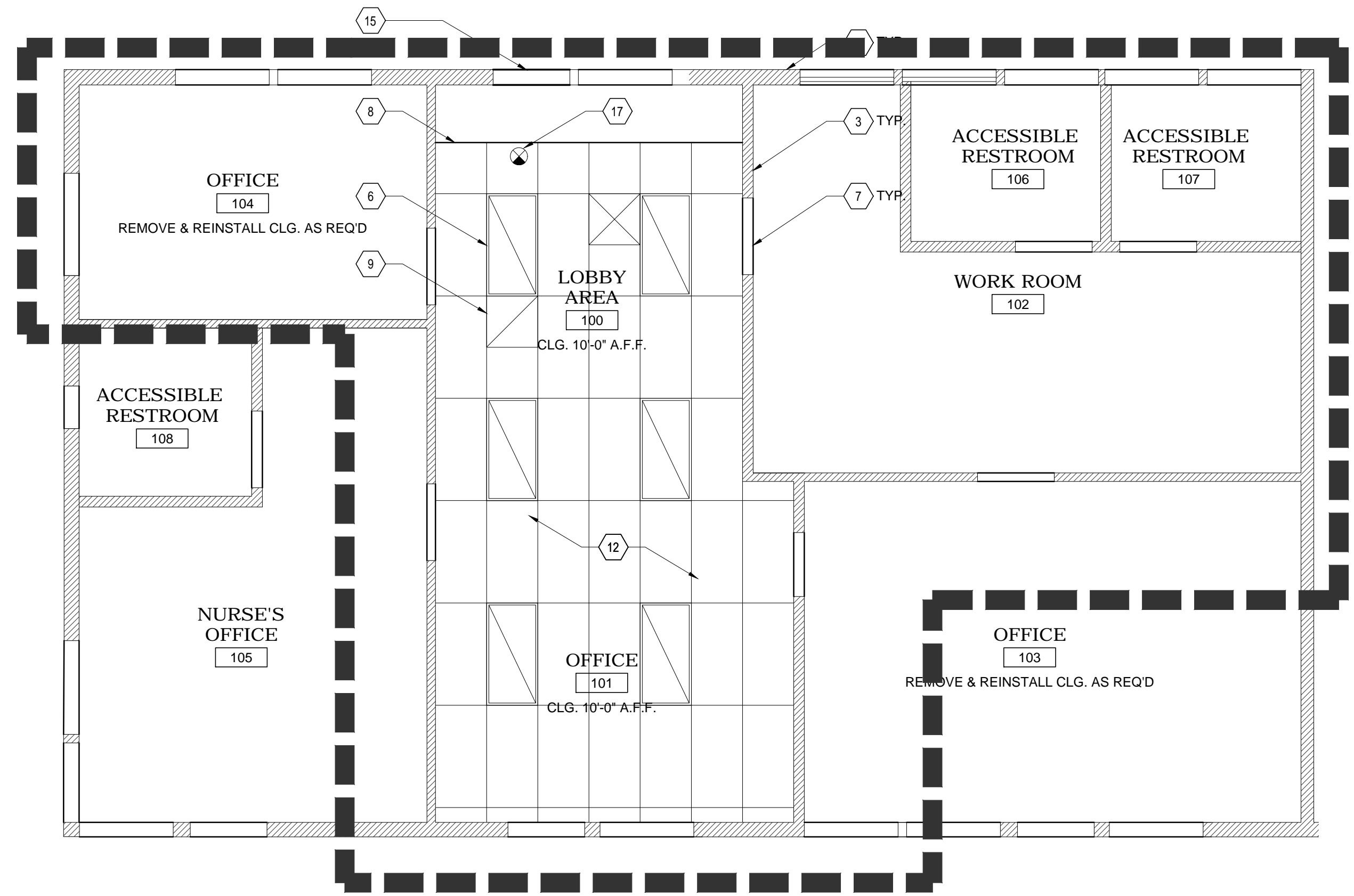
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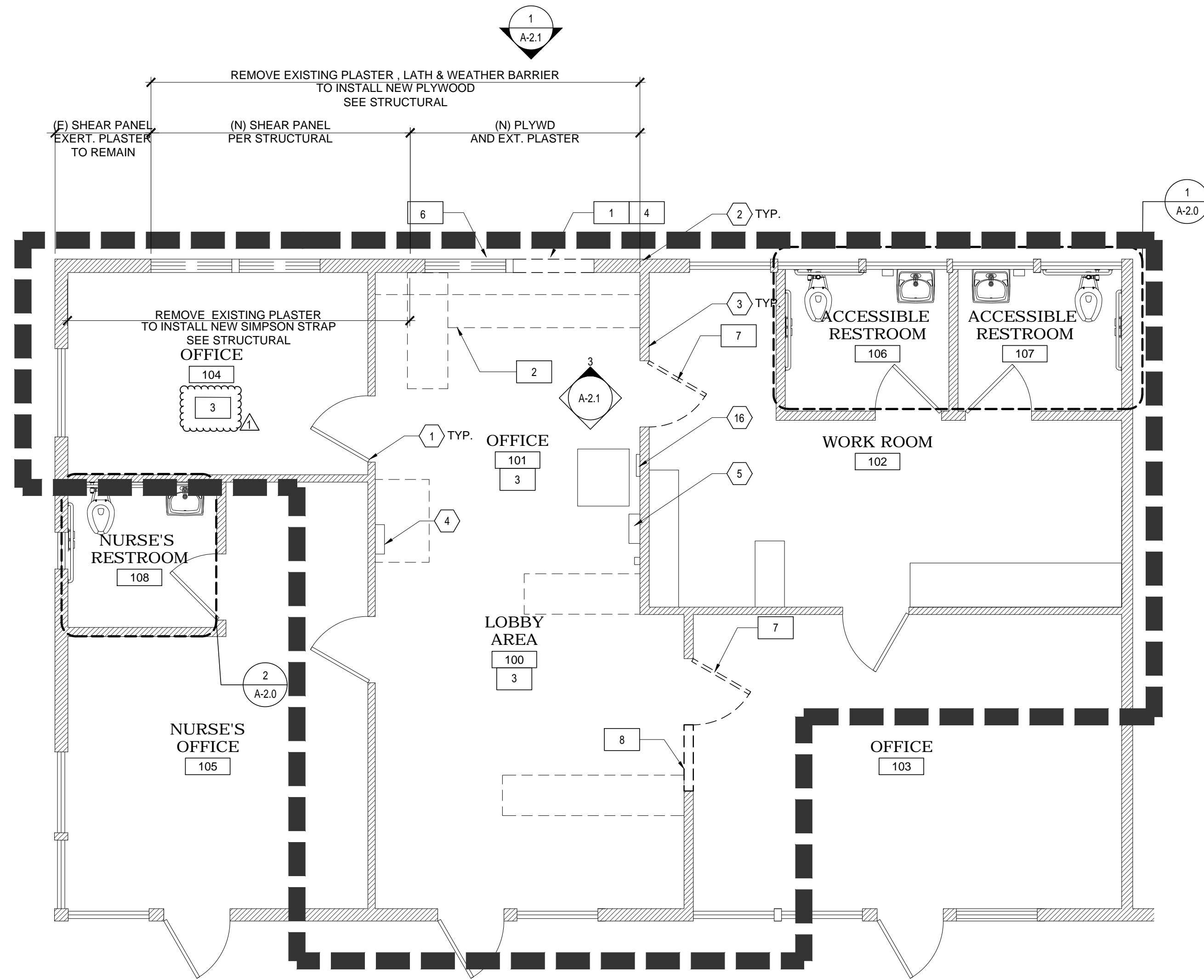
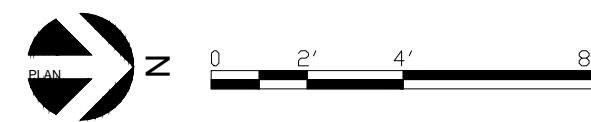
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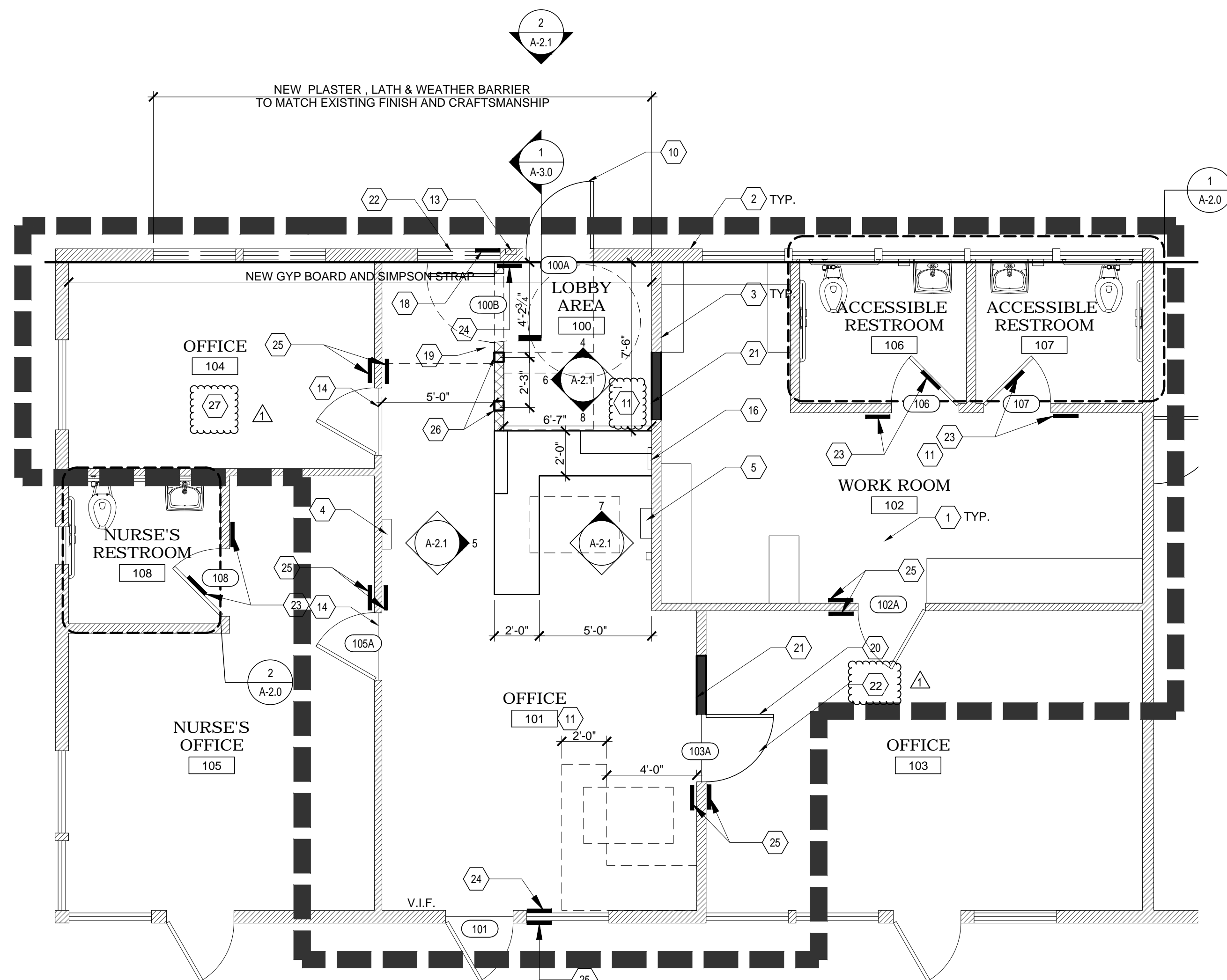
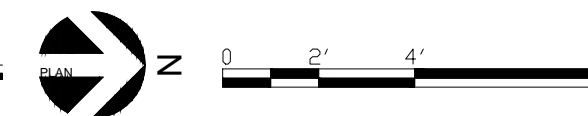
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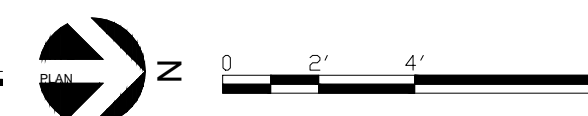
3 EXISTING REFLECTED CLG. PLAN
SCALE: 3/8"=1'-0"



1 DEMO FLOOR PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



DEMOLITION NOTES

- 1 DEMO EXISTING WALL UNDER WEST CLERESTORY WINDOW FOR THE INSTALLATION OF NEW DOOR
- 2 DEMO EXISTING CASEWORK, PATCH & PAINT WALLS AS REQUIRED.
- 3 DEMO FLOORING & BASE, PATCH WALLS AS REQUIRED.
- 4 DEMO WALL CURB AT NEW DOOR ROUGH OPENING
- 5 DEMO SINK & CAP PLUMBING IN WALL BEHIND LOCKABLE ACCESS PANEL.
- 6 DEMO WALL AS REQUIRED FOR ACCESS CONTROL DEVISE, SEE ELECTRICAL PLANS
- 7 DEMO DOOR AND DOOR FRAME
- 8 DEMO WALL AS REQUIRED FOR NEW HOLLOW METAL DOOR

FLOOR PLAN KEYNOTES

- 1 (E) DOOR, TYP.
- 2 (E) EXTERIOR 2X6 STUD WALL WITH CEMENT PLASTER EXTERIOR & PLASTER OVER GYP BD LATH INTERIOR.
- 3 (E) INTERIOR 3X4 STUD WALL WITH PLASTER OVER GYP BD LATH, TYP BOTH SIDES.
- 4 (E) FIRE ALARM PANEL, P.I.P.
- 5 (E) SCHOOL TIME CONTROL CENTER, P.I.P.
- 6 (E) 2X4 SUSPENDED LIGHT FIXTURE, P.I.P.
- 7 (E) DOOR OR WINDOW HEADER, TYP.
- 8 (E) SUSPENDED CEILING SOFFIT CORNER
- 9 (E) HVAC REGISTERS P.I.P.
- 10 (N) DOOR & FRAME, SEE DOOR SCHEDULE
- 11 (N) LVT FLOORING & BASE.
- 12 (N) 2X4 ACOUSTICAL CEILING TILES W/ IN EXISTING SUSPENDED CEILING. SEE NOTE GENERAL 2
- 13 (N) AI PONE TO BE INSTALLED SEE ELEC. PLANS
- 14 (N) FLOORING TRANSITIONS, TYP. AT LVT TO CARPET JOINTS.
- 15 (N) DOOR HEADER
- 16 (E) ELECTRICAL PANEL "A", SEE ELEC. PLANS
- 17 (N) ILLUMINATED EXIT SIGN, SEE ELEC. PLANS
- 18 (N) ACCESSIBLE ENTRY SIGNAGE, SEE DETAIL 17/A-3.0.
- 19 (N) PARTIAL HEIGHT WALL; SEE DETAIL 5/A-3.0
- 20 (N) DOOR SEE DOOR SCHEDULE
- 21 (N) 2X WOOD STUDS AT 16" O.C. WITH NEW PLASTER OR GYP BOARD FLOAT TO MATCH EXISTING WALL FINISH.
- 22 PROVIDE HEADER AND FRAMING PER 3/SD-1
- 23 (N) GENDER NEUTRAL TACTILE SIGN; SEE DETAIL 16/A-3.0
- 24 (N) TACTILE EXIT SIGN; SEE DETAIL 17/A-3.0
- 25 (N) TACTILE ROOM ID SIGN; SEE DETAIL 15/A-3.0
- 26 (N) LOW WALL SUPPORTS SEE DETAIL: 6/A-3.0
- 27 NEW CARPET AND RUBBER BASE

GENERAL NOTES

1. G.C. SHALL PAINT INTERIOR WALLS WITHIN ROOMS 100, 101, 102 & EXTERIOR NORTH FACE OF AFFECTED ADMINISTRATION BUILDING, SEE SPEC
2. G.C. SHALL TAKE CARE IN THE REMOVAL & REINSTALLATION OF ALL CEILING MOUNTED EQUIPMENT OR FIXTURES. DO NOT DAMAGE EXISTING CEILING GRID & BRACING
3. G.C. SHALL PROVIDE DISTRICT REPRESENTATIVE WITH PRODUCT SAMPLES OF FLOORING & BASE FOR SELECTION.
4. G.C. SHALL PATCH & REPAIR WALLS AS REQUIRED FOR NEW WORK.
5. PLANS ARE DIAGRAMMATIC IN NATURE, G.C. IS REQUIRED TO CONSTRUCT BASED ON THE DESIGN INTENT.
6. PRIOR TO BID G.C. SHALL MAKE HIMSELF / HERSELF FAMILIAR WITH SITE CONDITIONS & SCOPE.
7. IF CONFLICTING INFORMATION IS FOUND WITHIN THE CONTRACT DOCUMENTS THE G.C. SHALL PROVIDE THE HIGHER PRICED ITEM &/OR LABOR.
8. G.C. SHALL REFER TO ALL SHEETS & SPEC'S WITHIN THIS CONTRACT DOCUMENT FOR FULL SCOPE OF WORK.

LEGEND

PATH OF TRAVEL

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. & AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM & SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, & PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL & ABOVE 27" & LESS THAN 90". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

BUILDING LIMITS OF WORK LINE

EXISTING 2X WALL TO REMAIN
NEW 2X6 FRAMING
NEW PARTIAL HEIGHT WALL



APPLICANT:



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UNIFIED SCHOOL
DISTRICT

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FLOOR/CEILING PLANS
& DETAILS



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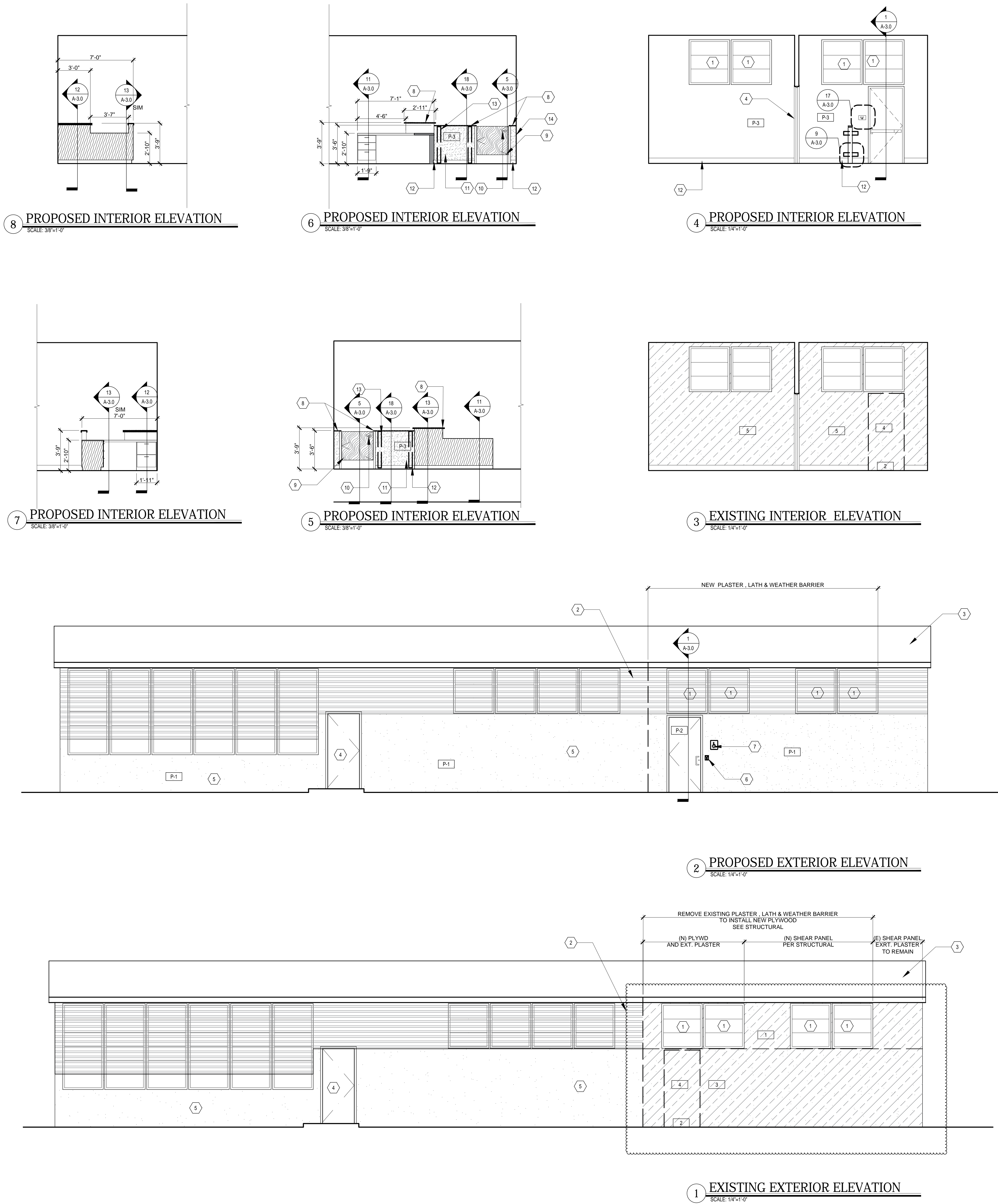
REV. REVISION
NO. DESCRIPTION DATE BY
ADDENDUM 1 10/24/2019

PRINTED: 7/25/2019

DRAWN:JM
JOB #: 18-059
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SCALE: AS NOTED

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KEYNOTES

- 1 EXISTING WINDOWS TO REMAIN; P.I.P.
- 2 EXISTING LOUVERS TO REMAIN; P.I.P.
- 3 EXISTING ROOF OVERHANG AND FASCIA TO REMAIN; P.I.P.
- 4 EXISTING DOOR TO REMAIN; P.I.P.
- 5 (E) EXTERIOR 2X6 STUD WALL WITH CEMENT PLASTER EXTERIOR & PLASTER OVER GYP BD LATH INTERIOR.
- 6 (N) AIPONE TO BE INSTALLED SEE ELEC. PLANS
- 7 (N) ADA ENTRANCE SIGN SEE DETAIL 17/A-3.0
- 8 (N) WOOD CAP; SEE DETAIL 5/A-3.0
- 9 NEW 36" W X 1.75" THIK SOLID WOOD SWINGING GATE WITH SELF CLOSING BOMMER HINGES
- 10 DOOR HANDLE SEE HARDWARE NOTES
- 11 (N) LOW WALL W/ 5/8" TYPE X GYP. BD. PAINTED SEE DETAIL 17/A-3.0
- 12 4" RUBBER BASE TO MATCH EXST.
- 13 LOW WALL SUPPORT POST IN WALL SEE DETAIL 6/A-3.0
- 14 WOOD FRAME BACKING FOR LOW WALL SEE DETAIL 9/A-3.0
- 15 (N) TACTILE SIGN SEE DETAIL 17/A-3.0



APPLICANT:



SAN BERNARDINO CITY
UNIFIED SCHOOL
DISTRICT
BOARD OF EDUCATION
BUILDING
777 NORTH F STREET
SAN BERNARDINO, CA
92410
(909) 381-1100

PROJECT:



SALINAS CREATIVE
ARTS ELEMENTARY
SCHOOL
2699 N CALIFORNIA ST.
SAN BERNARDINO, CA
92407
(909) 880-6600

ELEVATIONS
& DETAILS



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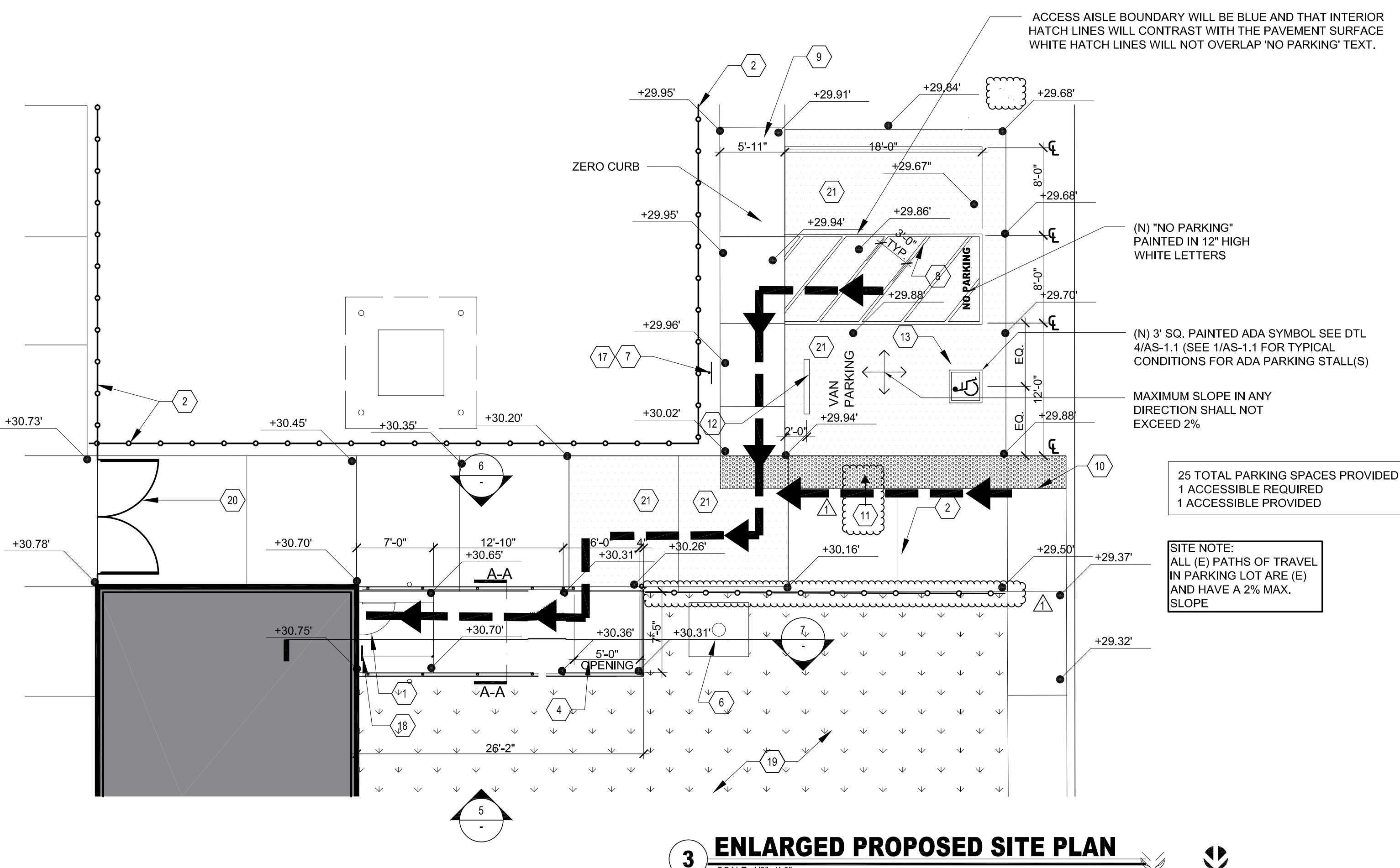
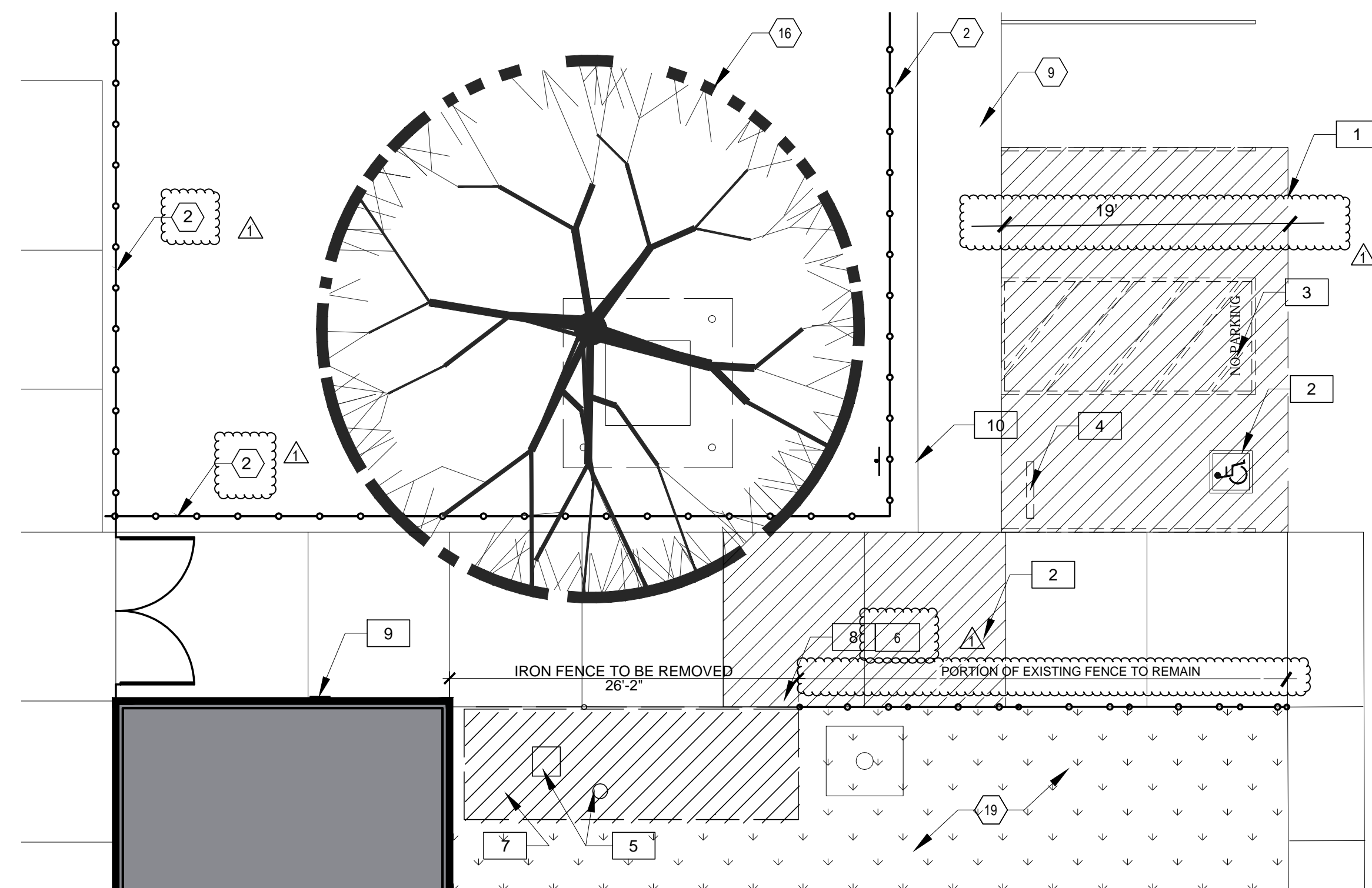
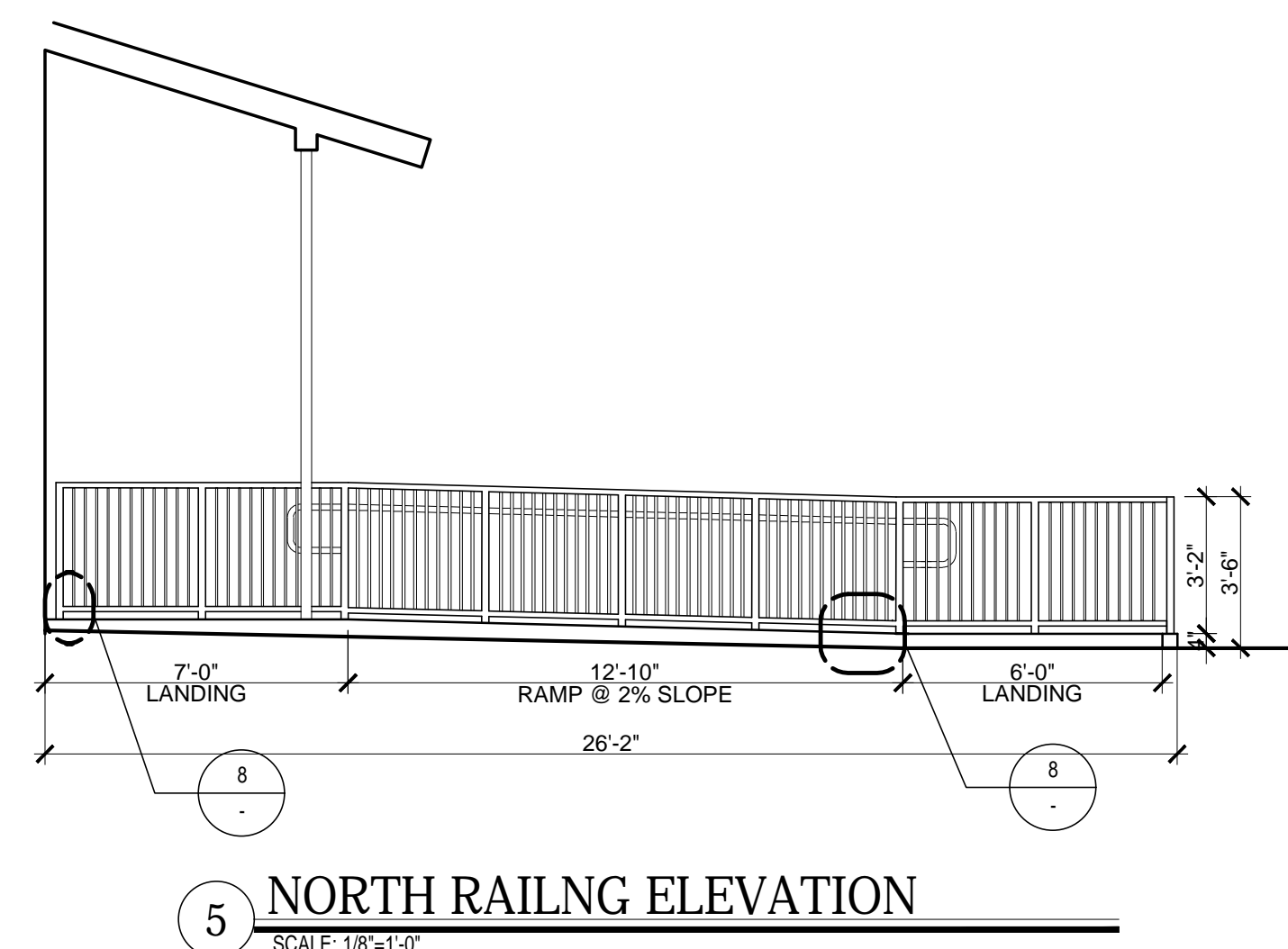
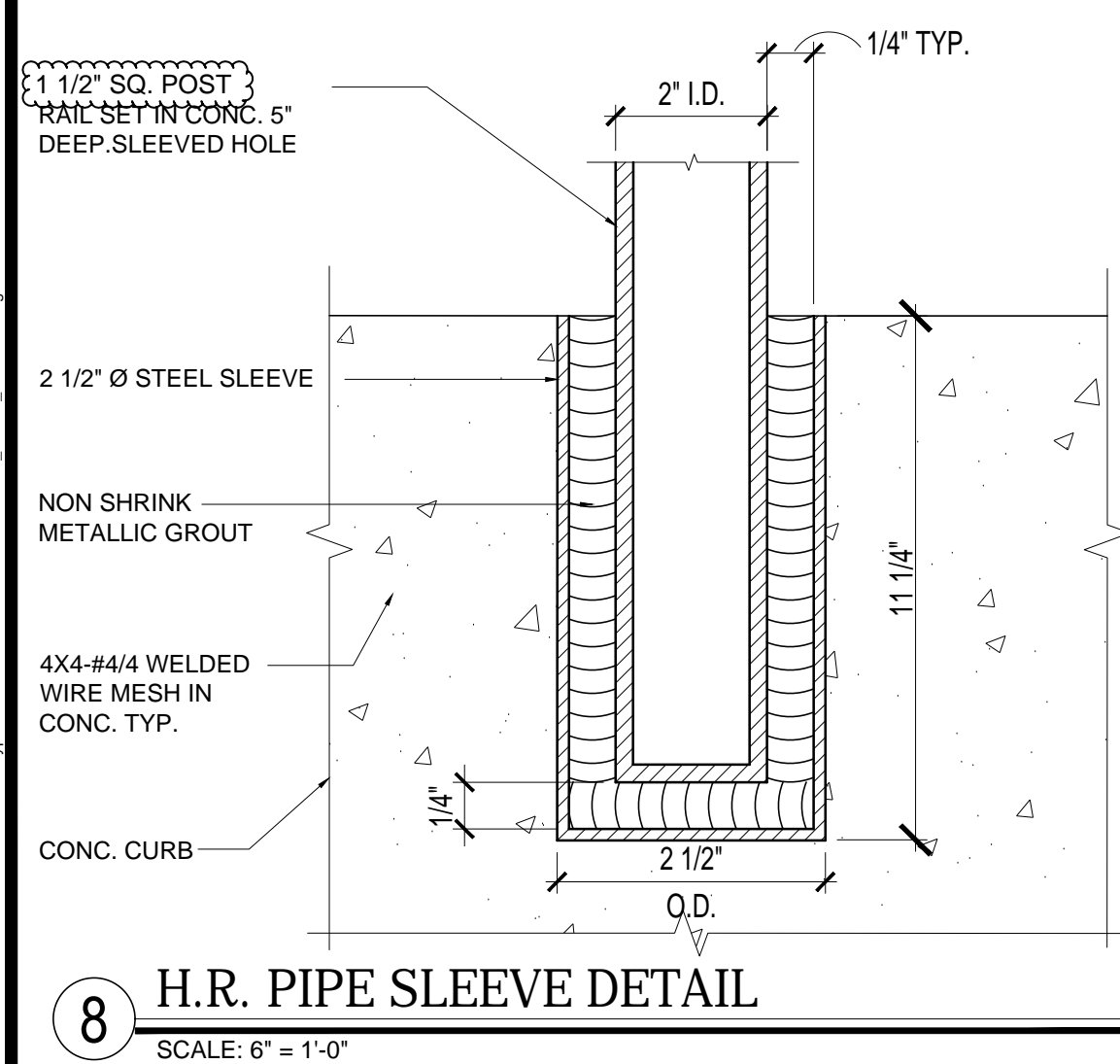
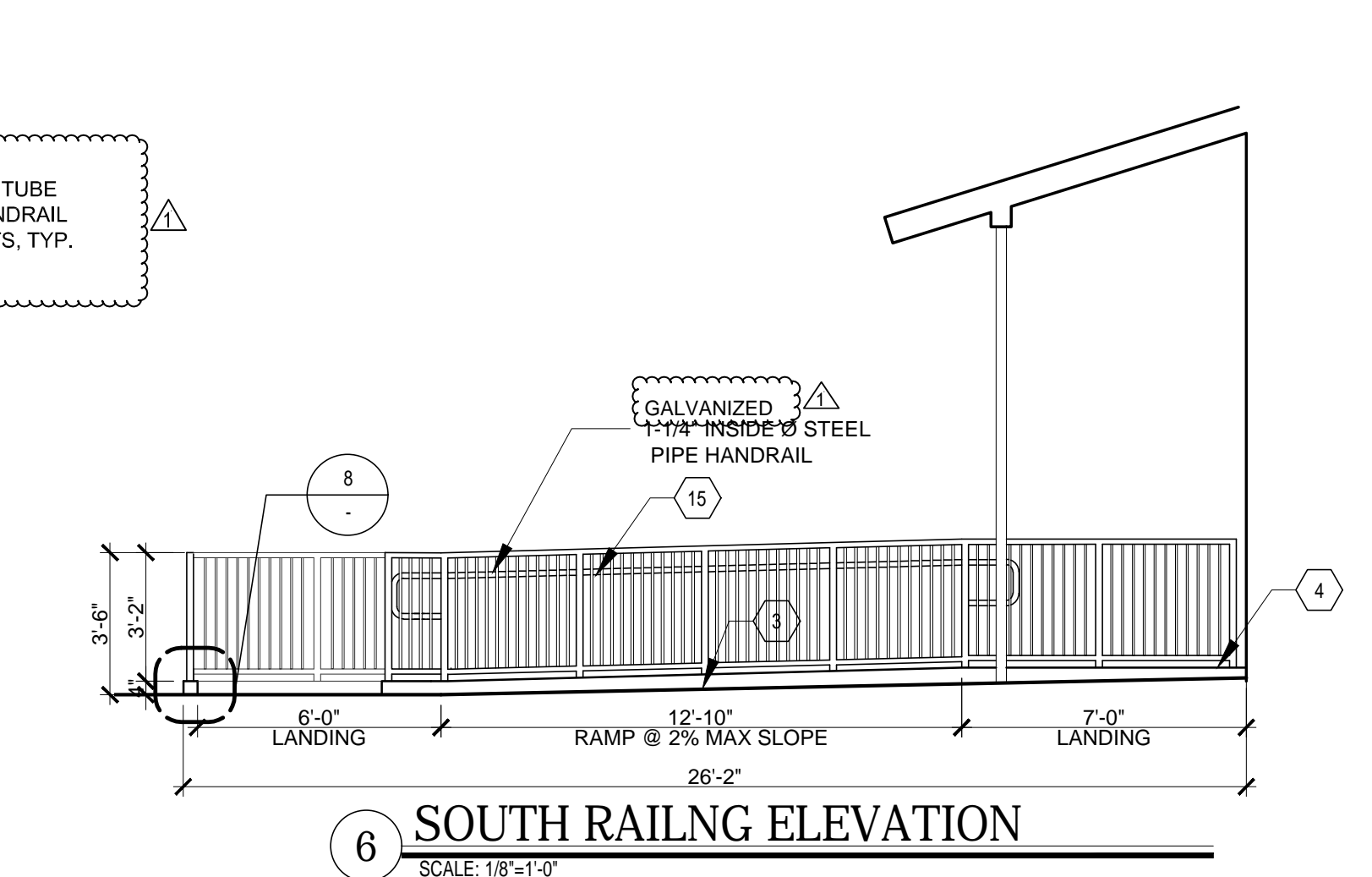
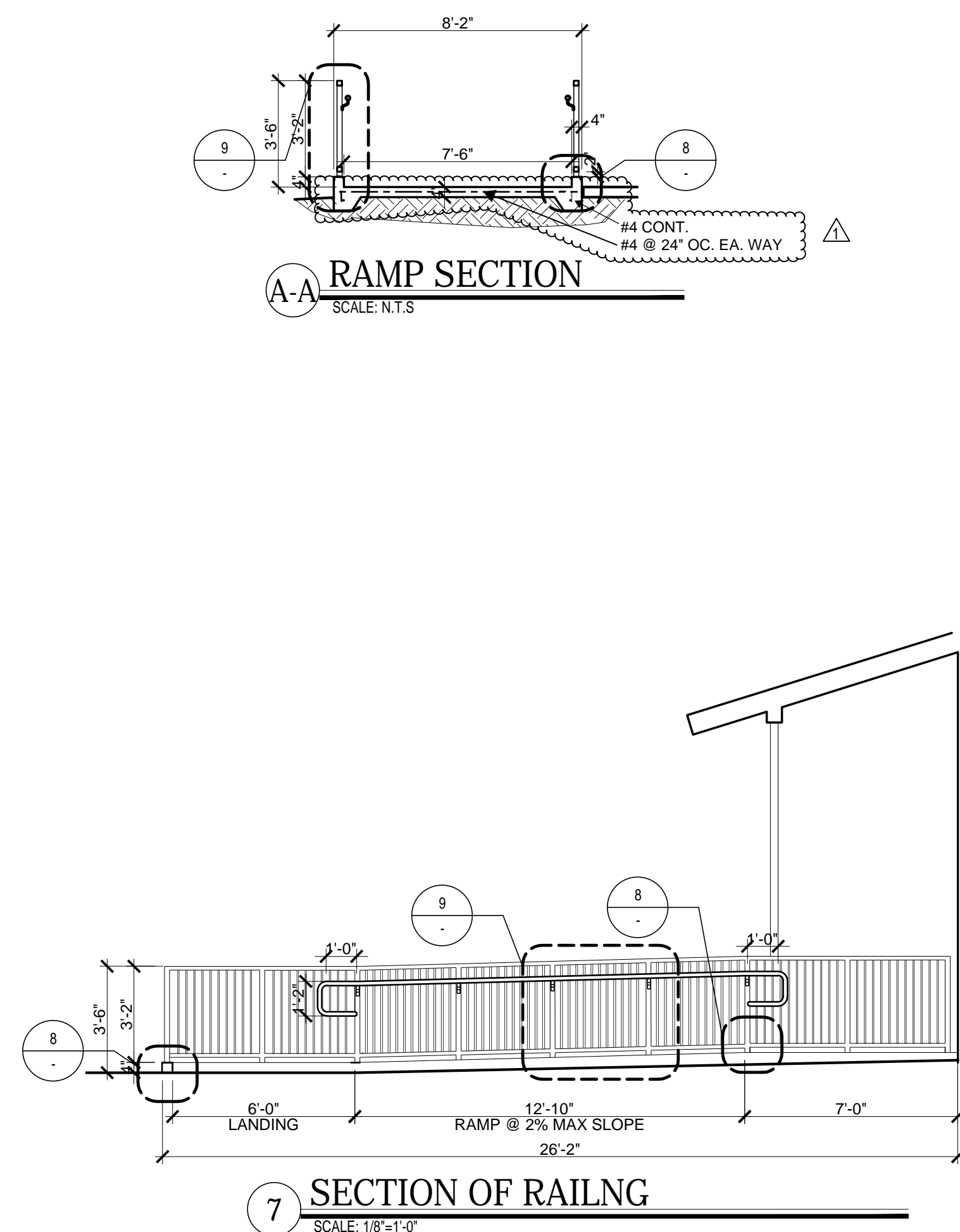
REV.	REVISION	NO.	DESCRIPTION	DATE	BY
△	ADDENDUM 1	10/24/2019			

PRINTED: 7/24/2019

DRAWN: JM
JOB #: 18-059
DATE: 7/24/19
SCALE: AS NOTED

SHEET NO:

A-2.1



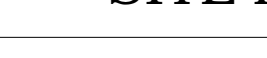
- # SITE PLAN KEYNOTES
- | | | |
|----|--|-------------|
| 1 | (N) P.O.T. TO ADMINISTRATION BUILDING WITH (N) ENTRY POINT LOCATED | |
| 2 | (E) IRON FENCE TO REMAIN; IN PLACE | |
| 3 | ADA RAMP CURB | |
| 4 | (N) ADA CONCRETE RAMP INTO THE (N) ENTRY POINT | |
| 5 | (E) PARKING LOT STRIPING TO REMAIN | |
| 6 | (E) FLAG POLE TO REMAIN | |
| 7 | (N) VAN ADA PARKING SIGN WITH MIN. \$250 TEXT SEE DTL. | 7
AS-12 |
| 8 | ADA STRIPING; TYPICAL | |
| 9 | (E) CONCRETE SIDEWALK WITH ZERO CURB TO REMAIN | |
| 10 | (E) PUBLIC WALK WAY TO REMAIN | |
| 11 | (N) TRUNCATED DOMES SEE DTL. | 3
AS-12 |
| 12 | (E) WHEEL STOP RELOCATED (AS NEEDED) FOR NEW PARKING LAYOUT | 2
AS-12 |
| 13 | (N) ADA SYMBOL; SEE DTL. | 1
AS-12 |
| 14 | (E) BUILDING WALL | |
| 15 | ADA RAMP RAILING TO BE PAINTED | |
| 16 | (E) TREE TO REMAIN; PROTECT IN PLACE DURING CONSTRUCTION | |
| 17 | (N) ADA WARNING SIGNAGE; SEE DETAIL | 6
AS-12 |
| 18 | (N) ADA ENTRY SIGNAGE | 11
AS-12 |
| 19 | (N) TURF AND (N) IRRIGATION SYSTEM PER DISTRICT STANDARDS | |
| 20 | (E) GATE WITH PANIC HARDWARE | |
| 21 | (N) CONCRETE W/ #4 REBAR @ 24" OC. EA. WAY | Δ |

- # DEMOLITION NOTES
- | | |
|----|---|
| 1 | (E) DEMOLISH EXISTING ASPHALT FOR NEW CONCRETE |
| 2 | (E) DEMOLISH EXISTING CONCRETE PORTION OF WALKWAY |
| 3 | (E) LETTERING TO BE DEMOLISHED |
| 4 | (E) WHEEL STOP TO BE REUSED; REMOVE BLUE PAINT |
| 5 | RELOCATE ALL (E) IRRIGATION VALVES & BOXES, LINES AND HEADS IN THE AREA OF WORK |
| 6 | DEMOLISH A PORTION OF THE (E) IRON FENCE TO CREATE ACCESS FOR THE P.O. TO THE (N) ENTRY PORT; GRIND EXPOSED SMOOTH AND PAINT TO MATCH (E) |
| 7 | DEMOLITION ALL SHRUBS AND LANDSCAPE FOR NEW ENTRY DROD LANDING AND RAMP. |
| 8 | (E) IRON FENCING PORTION TO BE REMOVED |
| 9 | (E) ENTRY CALL BUTTON TO BE REMOVED |
| 10 | (E) ADA SIGN TO BE REMOVED |

- # SITE PLAN NOTES
1. REMOVE ALL (E) ADA PARKING SIGNAGE IN NORTH PARKING LOT; PATCH AND REPAIR WALKWAY WHERE SIGN POST WAS REMOVED
 2. AFTER (E) SOUTH WEST CORNER ADA STALLS, STRIPING & SIGNAGE HAVE BEEN DEMOLISHED, RESTORE SPACE TO 15' HIGH OR (T) REEFS IN NORTH PARKING LOT WITH WHITE STRIPING AND WHEEL STOPS TO MATCH (E) REGULAR STALLS
 3. PARKING LOT SHALL RECEIVE (N) PARKING STRIPING FOR (N) ADA STALLS AND ADJACENT REGULAR STALLS
 4. PROTECT (E) TREES IN PLACE DURING CONSTRUCTION.
CONTRACTOR TO NOTIFY THE ARCHITECT AND DISTRICT IN WRITING BEFORE REMOVING ANY TREES
 5. RELOCATE ALL SHRUBS, IRRIGATION VALVE & BOX, LINES AND SPRINKLER HEADS IN THE AREAS OF THE NEW WORK
 6. TRUNCATED DOME DETECTABLE WARNING SURFACE IS REQUIRED ON CURB RAMPS PER 2016 CBC SEC. 11B-402.5.1.2 & 11B-705.1.2.2
CHANGE IN ELEVATION GREATER THAN 6" REQUIRES HANDRAILS.
RAMP BE NOT TO EXCEED 8.33% AND FLARED SIDES NOT TO EXCEED 10%

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS MEETS THE REQUIREMENTS OF THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL. THE POT IS NOT IDENTIFIED AS A DEFECT OR AS A REQUIREMENT FOR REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT ARE IDENTIFIED AS DEFECTS OR AS REQUIRING REPAIRS WERE IDENTIFIED AND THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE FOR THIS PROJECT. THE POT IS NOT IDENTIFIED AS A DEFECT OR AS REQUIRING REPAIRS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT ARE IDENTIFIED AS DEFECTS OR AS REQUIRING REPAIRS ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS DURING THE DESIGN OF THIS PROJECT. ANY DEFECTS OR REPAIRS NOT REPRESENTED AS CBC COMPLIANT ARE FOUND TO BE NONCOMFORM BEYOND REASONABLE CONSTRUCTION TOLERANCES. THE ITEMS SHOWN ON THIS DRAWING ARE NOT IDENTIFIED AS DEFECTS OR AS REQUIRING REPAIRS BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

- # SITE PLAN LEGENDS
- 

NOTE:
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/4" PER FOOT, OR VERTICAL CURVE LENGTHS NOT EXCEEDING 14' MAX, AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE FIRM AND SLIP RESISTANT. GROSS SLOPE SHOULD NOT EXCEED 2% AN SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM W AND ABOVE 27" TO 30" OR 10A OR 11C. PROJECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.



APPLICANT:



SAN BERNARDINO CITY
UNIFIED SCHOOL
DISTRICT

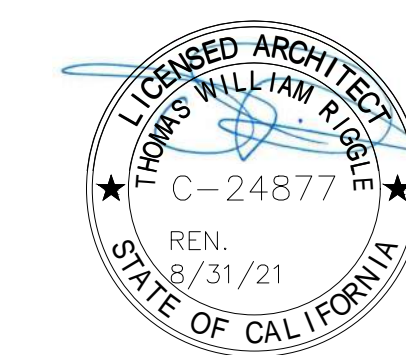
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92410
(909) 381-1100

PROJECT:

URBITA ELEMENTARY
SCHOOL

771 SOUTH J STREET
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ENLARGED SITE PLAN



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1	ADDENDUM 1	10/24/2019	

PRINTED: 8/19/2019

DRAWN: ----
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SHEET NO:
AS-1.1

1	DEMO EXISTING WALL UNDER WINDOW FOR THE INSTALLATION OF NEW DOOR & TRANSOM
2	DEMO EXISTING PARTIAL WALL FOR NEW CASSED OPENING, PATCH & PAINT WALLS AS REQUIRED.
3	DEMO FLOORING & BASE, PATCH WALLS AS REQUIRED.
4	DEMO WALL CURB AT NEW DOOR ROUGH OPENING
5	DEMO EXISTING WINDOW FOR INSTALLATION OF NEW WALL FRAMING
6	DEMO WALL AS REQUIRED FOR ACCESS CONTROL DEVICE, SEE ELECTRICAL PLANS
7	EXISTING CABINET TO REMAIN
8	DEMOLISH EXISTING RESTROOM, WALLS, M CEILING AND FIXTURES.
9	DEMO EXISTING CEILING FOR NEW HARD LIU CEILING.
10	DEMO EXISTING DOOR FOR WALL FRAMING
11	DEMO INTERIOR PLASTER/LATH AS REQUIRED FOR NEW CONSTRUCTION

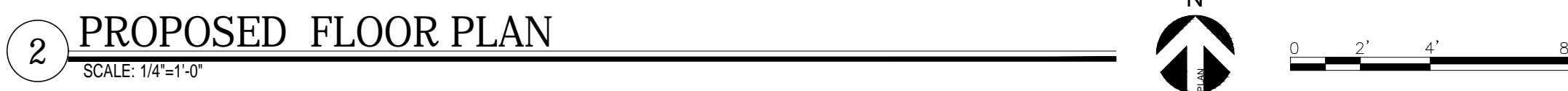
(E) DOOR, TYP.
(E) EXTERIOR 2X6 STUD WALL WITH CEMENT PLASTER EXTERIOR & PLASTER OVER GYP BD LATH INTERIOR.
(E) INTERIOR 3X4 STUD WALL WITH PLASTER OVER GYP BD LATH, TYP BOTH SIDES.
(E) FIRE ALARM PANEL, P.I.P.
(E) SCHOOL TIME CONTROL CENTER, P.I.P.
(E) EXTERIOR WINDOW
(N) HEADER AT OPENING, TYP. SEE DETAIL 16/A-2.0
(E) WALL MOUNTED DATA CABLE & COVER TO BE RELOCATED
(E) 4X4 POST
(N) DOOR & FRAME, SEE DOOR SCHEDULE
(N) LVT FLOORING & BASE, TYP.
(N) DOOR IN INTERIOR FRAME, SEE DOOR SCHEDULE; SEE DETAIL 6A/2.0
(N) ACCESS CONTROL DEVICE, SEE SPEC & ELEC. PLANS
(N) FLOORING TRANSITIONS, TYP. AT LVT TO CARPET JOINTS, SEE DETAIL 3/A-2.0
NOT USED
(E) ELECTRICAL PANEL "A", SEE ELEC. PLANS
(N) ILLUMINATED EXIT SIGN, SEE ELEC. PLANS
(E) LOWER CASEWORK TO REMAIN, PROTECT IN PLACE
(N) NEW CASSED OPENING
(E) ROOF OUT LINE & COLUMNS
(N) ISA ENTRY DOOR SIGNAGE; SEE DETAIL 19/ A-2.0
(N) TACTILE RESTROOM SIGN STATING "GENDER NEUTRAL" WITH DOOR SIGN PER DETAIL 20/A-2.0
NOT USED
(N) TACTILE EXIT SIGN PER DETAIL 19A / A-2.0 AS REQUIRED BY CBC 1013.4
(N) TACTILE ROOM I.D. SIGN PER DETAIL 21/A-2.0
(N) COUNTER TOP WORK SURFACE, DET. 13/A-2.0
(N) CARET (AND BASE)
LVT FLOORING AND BASE

1. PAINT INTERIOR WALLS IN ROOMS 100, 101, 104 & 109 AND EXTERIOR WEST FACE OF AFFECTED ADMINISTRATION BUILDING. SEE SPEC.
2. G.C. SHALL TAKE CARE IN THE REMOVAL & REINSTALLATION OF ALL CEILING MOUNTED EQUIPMENT OR FIXTURES.
3. G.C. SHALL PROVIDE DISTRICT REPRESENTATIVE WITH PRODUCT SAMPLES OF FLOORING & BASE FOR SELECTION.
4. G.C. SHALL PATCH & REPAIR WALLS AS REQUIRED FOR NEW WORK.
5. PLANS ARE DIAGRAMMATIC IN NATURE. G.C. IS REQUIRED TO CONSTRUCT BASED ON THE DESIGN INTENT.
6. PRIOR TO BID G.C. SHALL MAKE HIMSELF / HERSELF FAMILIAR WITH SITE CONDITIONS & SCOPE.
7. IF CONFLICTING INFORMATION IS FOUND WITHIN THE CONTRACT DOCUMENTS THE G.C. SHALL PROVIDE THE HIGHER PRICED ITEM &/OR LABOR.
8. G.C. SHALL REFER TO ALL SHEETS & SPECS WITHIN THIS CONTRACT DOCUMENT FOR FULL SCOPE OF WORK.
9. G.C. SHALL PROTECT IN PLACE ALL WALL MOUNTED EQUIPMENT, ELECTRICAL CABINETS, AND BOXES UNLESS SPECIFIC OTHERWISE.

PATH OF TRAVEL

NOTE:

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELLED AT 1:2 MAX. SLOPE, VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX., & AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM & SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% & SLOPE THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, & PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL & ABOVE 27" & LESS THAN 80" ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS THE PATH OF TRAVEL.



PROJECT:



771 SOUTH J STREET
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92410
(909) 388-6488

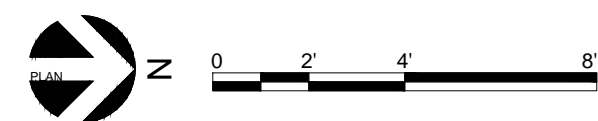
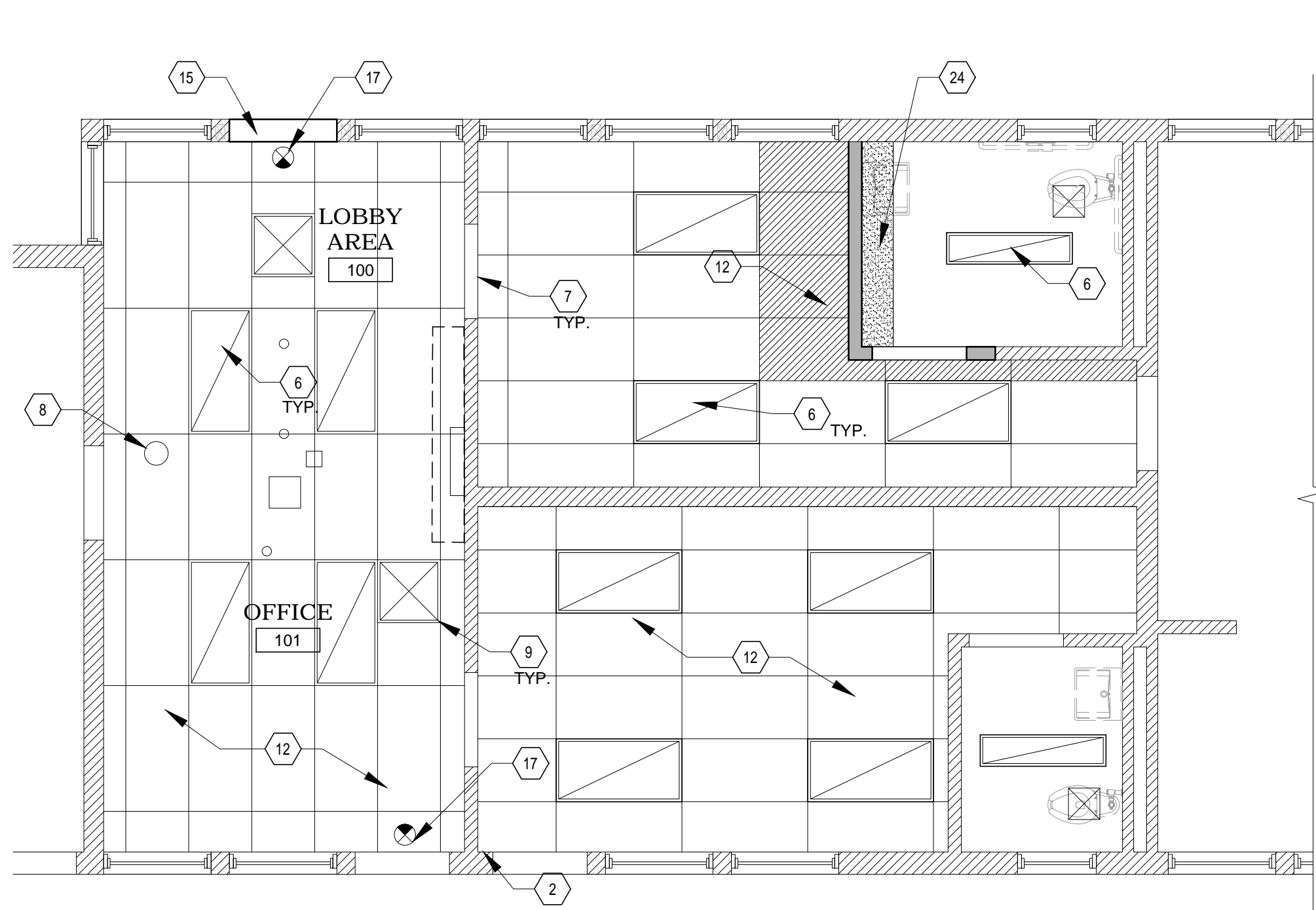
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1	ADDENDUM 1	10/24/2019	

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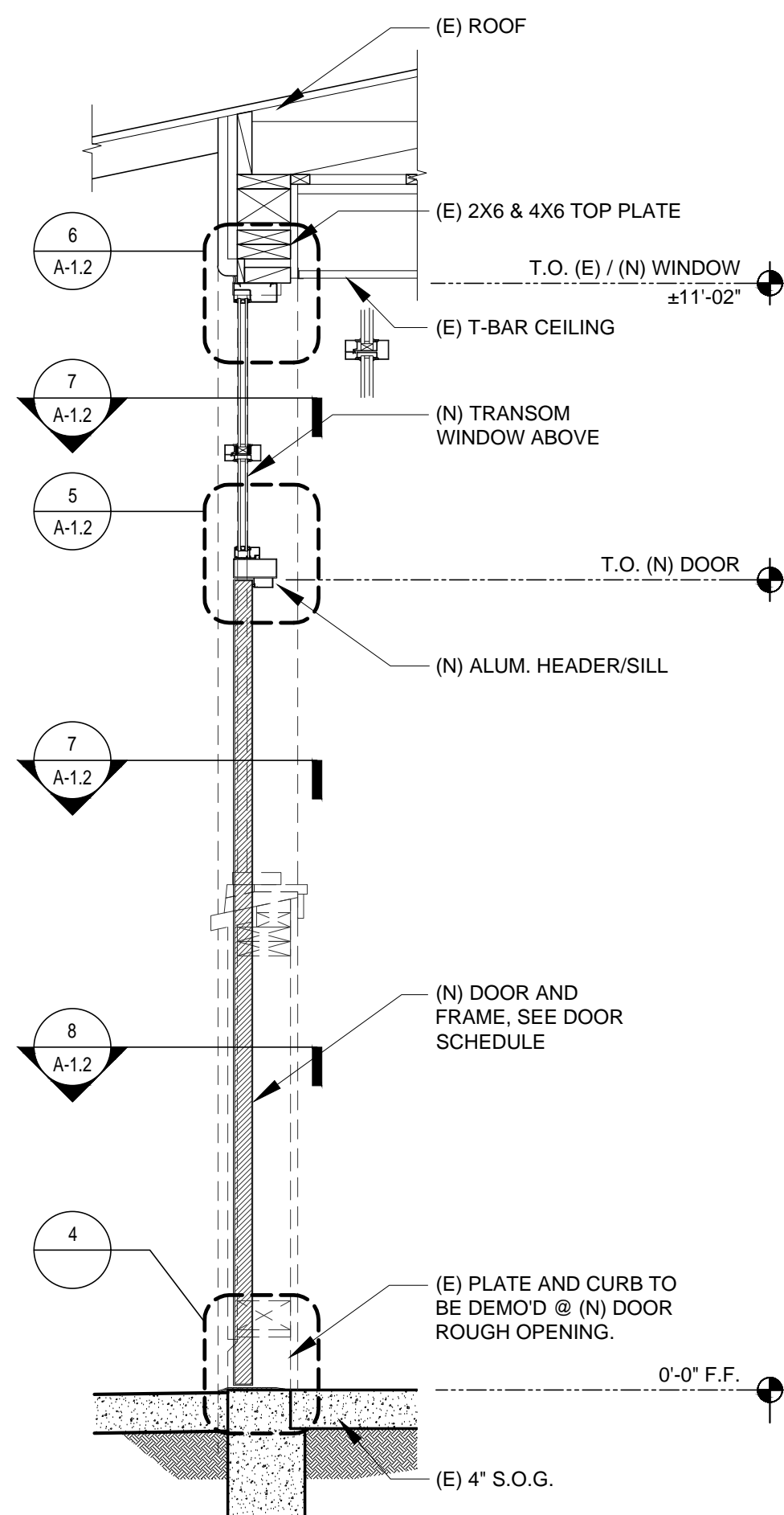
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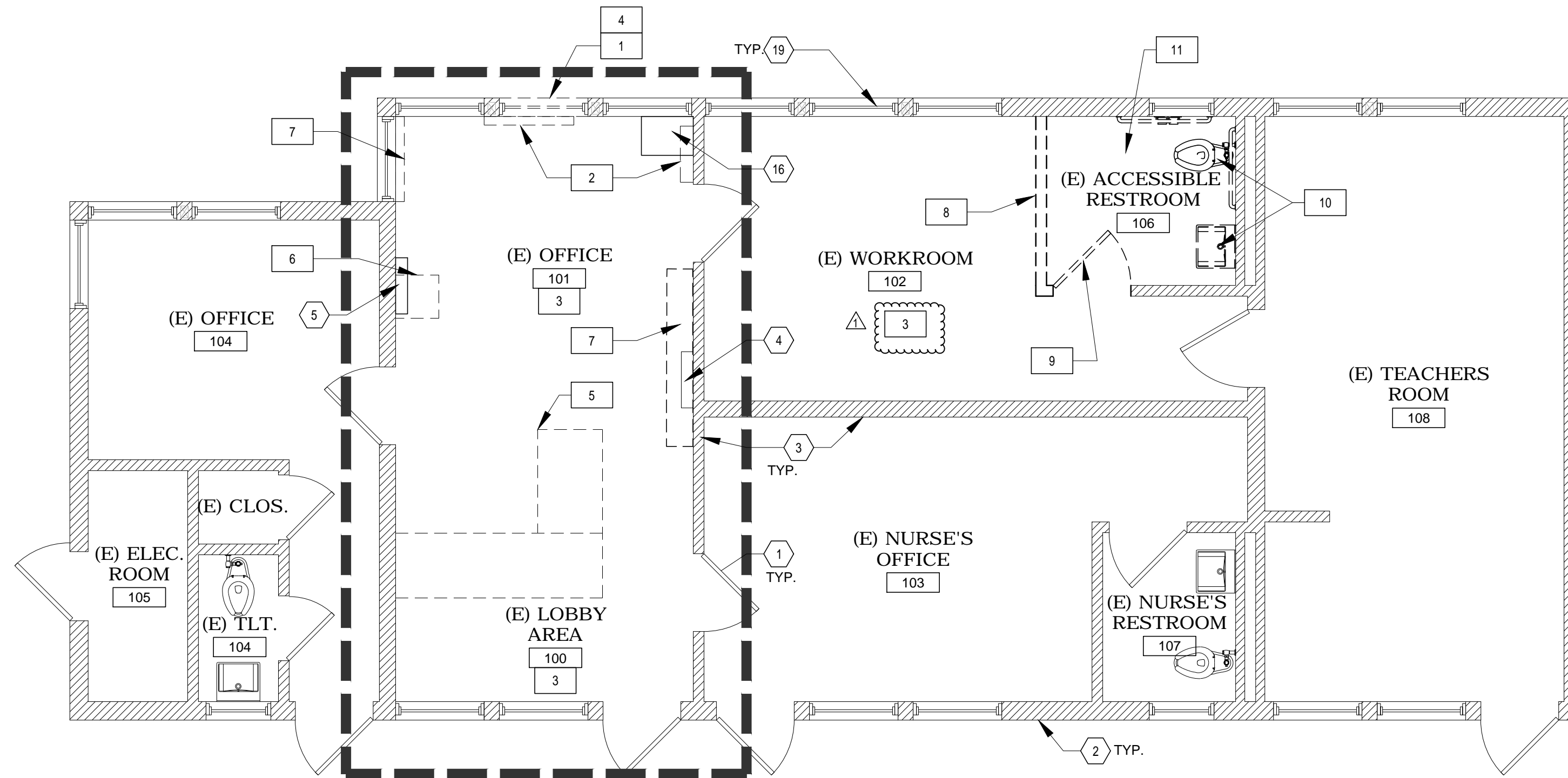
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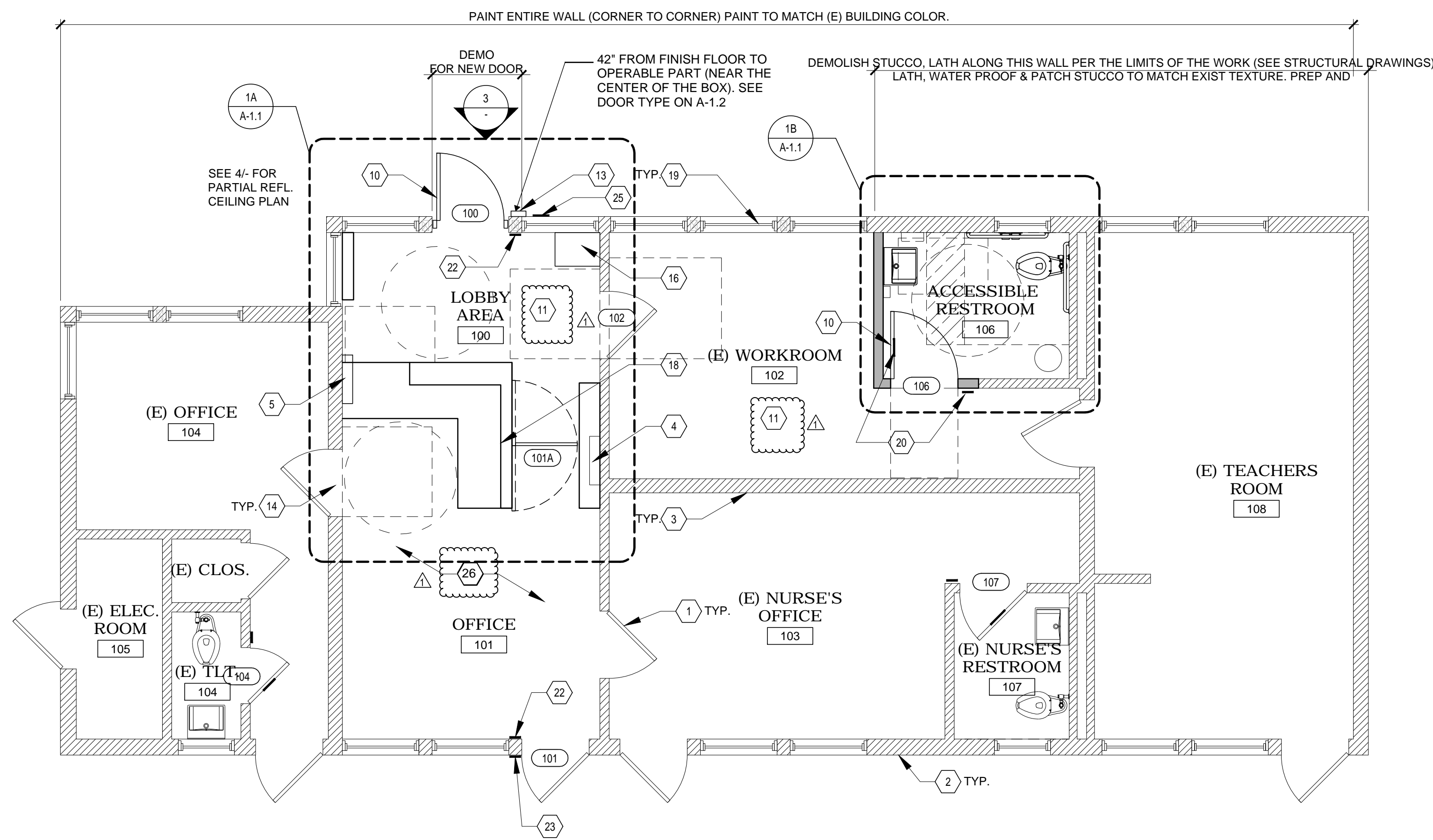
4 EXISTING REFLECTED CLNG. PLAN
SCALE: 3/8"=1'-0"



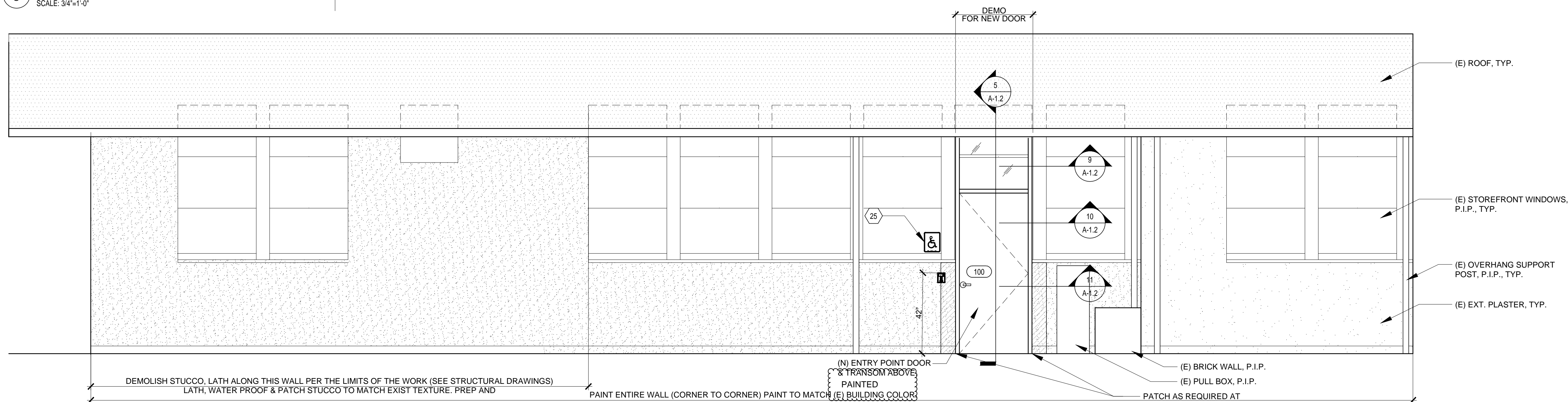
5 WALL SECTION
SCALE: 3/4"=1'-0"



1 DEMO FLOOR PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



3 PARTIAL WEST ELEVATION
SCALE: 3/8"=1'-0"

DEMOLITION NOTES

- 1 DEMO EXISTING WALL & STOREFRONT WINDOW FOR THE INSTALLATION OF NEW DOOR, TAKE CARE TO PROTECT (E) MATERIALS FOR REUSE
- 2 DEMO EXISTING CASEWORK, PATCH AND PAINT WALLS AS REQUIRED, SEE ELEC. PLANS FOR REPOSITION OF LOW VOLTAGE LINES AND EQUIPMENT.
- 3 DEMO FLOORING AND BASE, PATCH WALLS AS REQUIRED.
- 4 DEMO WALL CURB AT NEW DOOR ROUGH OPENING
- 5 DEMO RECEPTION COUNTER AND PATCH WALLS AS REQUIRED
- 6 REMOVE EQUIPMENT RACK & RELINQUISH TO DISTRICT
- 7 DEMO (E) WALL CABINET, PROTECT (E) EQUIPMENT INSIDE
- 8 DEMO EXISTING INTERIOR WALL. REMOVE ANY EXISTING ELECTRICAL OUTLETS CAREFULLY AND PROTECT ANY LIVE OUTLETS TO BE LEFT IN OPERATION.
- 9 DEMO EXISTING DOOR, FRAME AND SIDELIGHT
- 10 DEMO (E) PLUMBING FIXTURES
- 11 REMOVE EXISTING CERAMIC TILE AND MORTAR ON FLOOR AND WALLS AS WELL AS GYP. BD. IN PREPARATION OF THE INSTALLATION OF NEW FLOOR & WALL TILE.

FLOOR PLAN KEYNOTES

- 1 (E) DOOR, TYP.
- 2 (E) EXTERIOR 2X6 STUD WALL WITH CEMENT PLASTER EXTERIOR AND PLASTER OVER GYP. BD LATH INTERIOR.
- 3 (E) INTERIOR 3X4 STUD WALL WITH PLASTER OVER GYP. BD LATH, TYP. BOTH SIDES
- 4 (E) FIRE ALARM PANEL WIN (E) CABINET, P.I.P.
- 5 (E) ELEC. BOX, P.I.P.
- 6 (E) 2X4 SUSPENDED LIGHT FIXTURE, P.I.P.
- 7 (E) DOOR OR WINDOW HEADER, TYP.
- 8 (E) SUSPENDED CEILING MOUNTED EQUIPMENT
- 9 (E) HVAC REGISTERS
- 10 (N) DOOR AND FRAME, SEE DOOR SCHEDULE
- 11 (N) LVT FLOORING AND BASE, TYP.
- 12 (N) 2X4 ACOUSTICAL CEILING TILES W/ (N) PERIMETER EDGE GRID SUSPENDED CEILING. SEE GENERAL NOTE 2
- 13 (N) PUSH BUTTON ENTRY DEVICE, SEE SPEC AND ELEC. PLANS
- 14 (N) FLOORING TRANSITIONS, TYP. AT LVT TO CARPET JOINTS.
- 15 (N) DOOR HEADER
- 16 (E) FLOOR MOUNTED SAFE, P.I.P.
- 17 (N) ILLUMINATED EXIT SIGN, SEE ELEC. PLANS
- 18 (N) RECEPTION COUNTER, SEE DETAIL 1/A-1.1
- 19 (E) STOREFRONT WINDOWS, P.I.P. U.N.O.
- 20 (N) TACTILE RESTROOM SIGN STATING "GENDER NEUTRAL" WITH DOOR SIGN PER DETAIL 1/A-1.2
- 21 NOT USED
- 22 (N) TACTILE EXIT SIGN PER DETAIL 3/A-1.2 AS REQUIRED BY CBC 1013.4
- 23 (N) TACTILE ROOM SIGN PER DETAIL 2/A-1.2
- 24 (N) GYP. BD. CEILING TO MATCH EXISTING
- 25 (N) TACTILE ACCESSIBLE ENTRY SIGN; SEE DETAIL 3B/A-1.2
- 26 NEW TILE CARPET AND BASE

GENERAL NOTES

1. PAINT INTERIOR WALLS ROOMS 100, 101, 102 AND 106 AND EXTERIOR WEST FACE OF AFFECTED ADMINISTRATION BUILDING, SEE SPEC.
2. G.C. SHALL REMOVAL AND REINSTALL ALL CEILING MOUNTED EQUIPMENT OR FIXTURES AS REQUIRED FOR NEW WORK.
3. G.C. SHALL PROVIDE DISTRICT REPRESENTATIVE WITH PRODUCT SAMPLES OF FLOORING AND BASE FOR SELECTION.
4. G.C. SHALL PATCH AND REPAIR WALLS AS REQUIRED FOR NEW WORK.
5. PLANS ARE DIAGRAMMATIC IN NATURE, G.C. IS REQUIRED TO CONSTRUCT BASED ON THE DESIGN INTENT.
6. PRIOR TO BID G.C. SHALL MAKE HIMSELF / HERSELF FAMILIAR WITH SITE CONDITIONS AND SCOPE.
7. IF CONFLICTING INFORMATION IS FOUND WITHIN THE CONTRACT DOCUMENTS THE G.C. SHALL PROVIDE THE HIGHER PRICED ITEM AND/OR LABOR.
8. G.C. SHALL REFER TO ALL SHEETS AND SPEC'S WITHIN THIS CONTRACT DOCUMENT FOR FULL SCOPE OF WORK.

LEGEND

---> PATH OF TRAVEL

NOTE:
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--- BUILDING LIMITS OF WORK LINE



APPLICANT:



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UNIFIED SCHOOL
DISTRICT

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PROJECT:



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FLOOR/CEILING PLAN
ELEVATIONS



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REV. NO. REVISION DESCRIPTION DATE BY
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PRINTED: 8/5/2019

DRAWN: MY
JOB #: 18-059
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SCALE: AS NOTED

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