

Date: 9/23/16
To: All Bidders
From: Rachel Adams, AIA
Project: Cesar Chavez Portables Addition
Project No.: 1606-00
Subject: Addendum No. 2
DSA No.: A# 04-115449

The following changes, omissions and/or additions to the Project Manual and/or Drawings shall apply to proposals made for and to the execution of the various parts of the work affected thereby, and all other conditions shall remain the same.

This Addendum may include revised Project Manual pages and/or Drawings that are to be inserted in the correct sequence in the Bidding Documents.

Text deleted from the Project Manual by this Addendum is indicated by overstrike. Example: ~~Overstrike~~

Lines in which text has been modified or added by this Addendum are indicated by a double underline.

Revisions to Drawings are identified by the Addendum number.

Careful note of the Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades shall be fully advised in the performance of the work which will be required of them. Cross-check all revised documents.

In case of conflict between Drawings, Project Manual, and this Addendum, this Addendum shall govern.

A. PRE BID CLARIFICATION:

Q1. Concerning the Deduct Alternate and ASI #2; besides the front retaining wall, due to elevation of the pad being below the existing, you will need to add two more Retaining walls on the left and on the right of pad.

A1. We do not believe sidewall retainage is necessary. See attached Exhibit A showing existing grades; we believe ASI #2 illustrates there is enough width between the existing paving and the new portable to accommodate a slope to the east and to the west.

Q2. Concerning the Deduct Alternate and ASI #2: by doing that we are creating a Pit Set which involves Crane expense, exporting dirt at least 20 yards, over excavate the pad due to foundation installation. See S1.0 detail 4&8 attached. To nail the skirting and install pipes into the foundation you need at least 24 inches space. When the foundation gets completed the retaining wall gets belt. TMP ramps cost around \$3,000 each.

A2. If you believe you are unable to provide a deductive alternate price for ASI #2 please identify a value of \$0.00 and note as such. As noted in Addenda #1, owner is choosing the lowest bidder from the base bid.

Q3. Concerning the Deduct Alternate and ASI #2: There is also one more issue with building the retaining walls on the perimeter of modulars. Cross Ventilation will be blocked by these walls. These Classrooms have four Vents on 24 feet side and two big vents at 40 feet side of the portable, minimum of 6.4 square feet per building. How do we keep that in place.

A3. No side retaining walls are to be installed, see response and thus vents are not being blocked.

Q4. The Path of Travel of Utilities (electrical, low voltage) runs in top of the Existing Pad of Utilities. We can move the two classrooms north about two feet and run the Path of Travel along the new classroom.

A4. Correct, as noted in both ASI #1 and ASI #2 the portables are shifting northward so that they run adjacent to the existing paving, and thus there will be room available for the utility trench and reduce crossings over the existing concrete swale.

Q5. The Measurements of Building are Chassis Beam= 8", sub-flooring=1" and the minimum Foundation height is 4 1/2" totaling 13 1/2 inches. Please pay attention FF and New Top Asphalt elevation to be minimum 13 1/2" when ramps are not used.

A5. Correct, building frame and foundation were calculated in our FF and Asphalt Elevations.

Q6. On the Electrical Plans 3.1 under Data Riser Diagram, Note 1 says to provide necessary fiber switch, programming and testing for a complete connection. Was this needed to be provided by contractors because there was nothing in the Addendum 1 Spec Section that gave any requirements on what the contractors will need to furnish in regards to a New Network Switch for the additional new Data Drops.

A6. SBCUSD anticipates there is enough room within the existing panel to accommodate the new portables, however if needed the new network switch will be provided by owner. Contractor shall terminate, connect, and provide testing for complete functioning system.

Q7. Sheet A0.01 Noted N08 & N09 call for the contractor to verify locations of existing accessories. Can access to these areas be provided to allow contractors to verify?

A7. A pre-construction site visit was conducted to allow contractor access for pre-bid verification upon request. See attached record drawings for use. Upon notice of award contractor will be able to coordinate access as needed to verify locations.

Q8. The answer to Question 14 in addendum 1 didn't not give manufacturer info for addition of a Security Expansion Panel per SBUSD requirements, they just gave the info on the 360 Motion Sensor. We will need to know what manufacture their head end is so that we can tie into in correctly with the correct make and model of the requested new Security Expansion Panel.

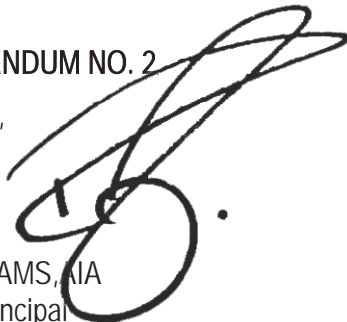
A8. A pre-construction site visit was conducted to allow contractor access for pre-bid verification upon request. The existing head end equipment is ADT. Note: Contractor shall eliminate programming from base bid scope of work, all device programming and testing for functioning system shall be completed by owner.

B. BID PACKAGE EXHIBITS

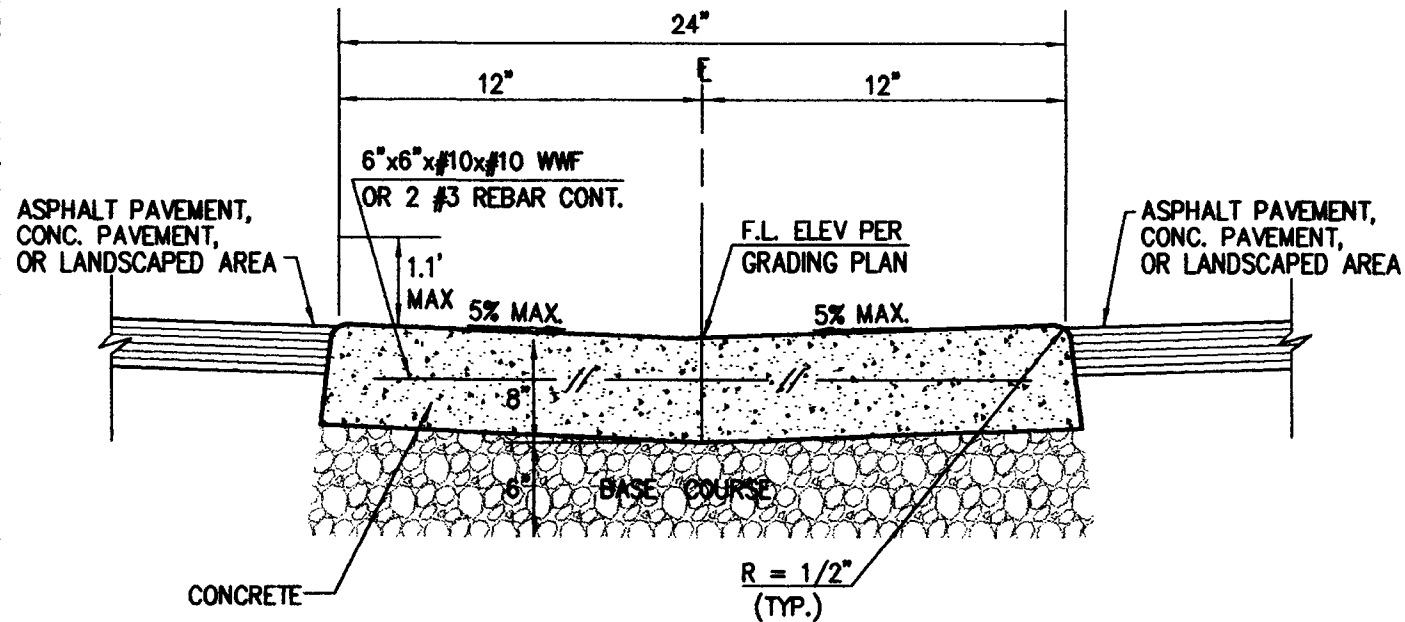
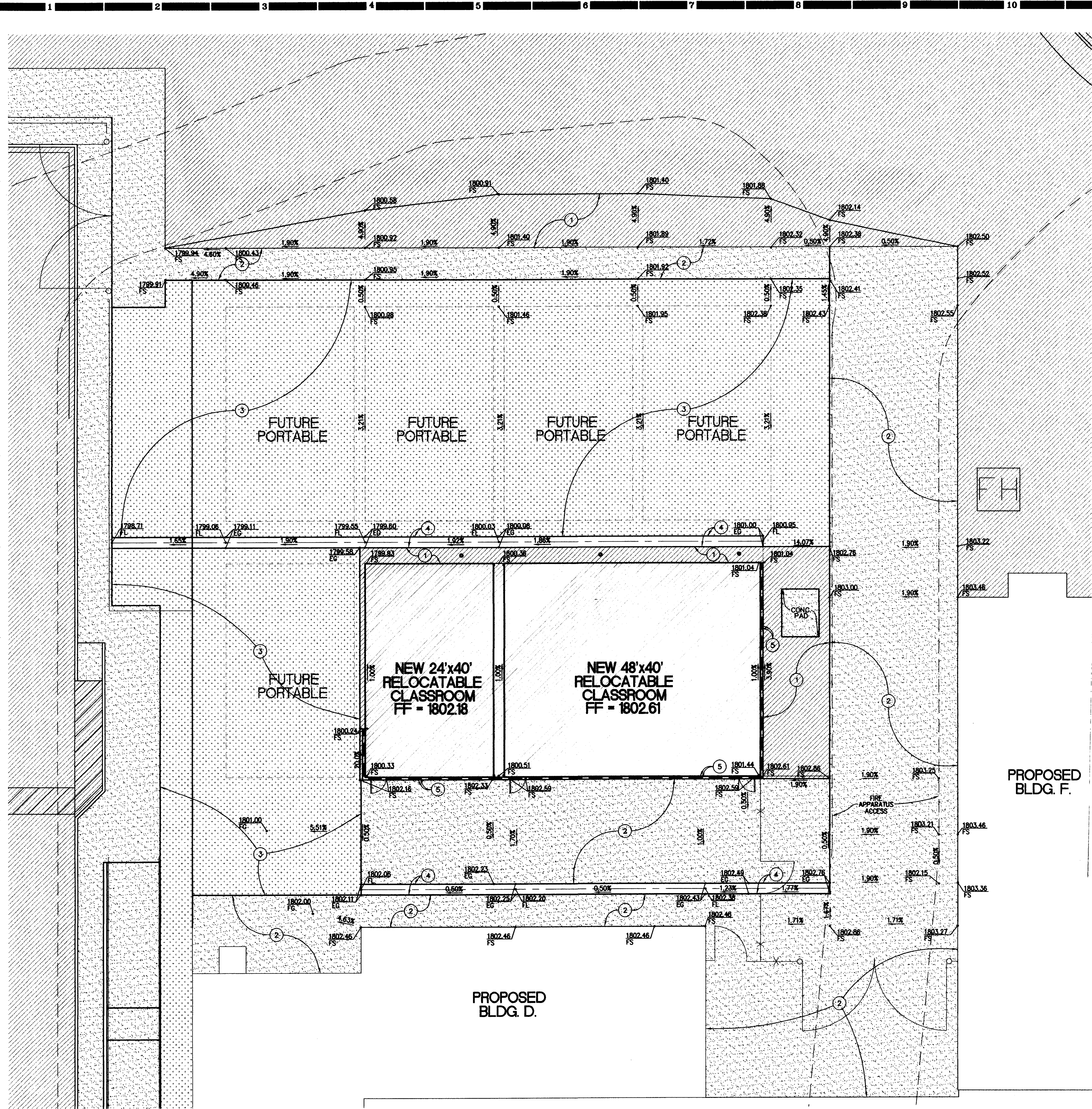
1. Exhibit A: A04-107052 Asbuilt Grading Plans Sheet C1
2. Exhibit B: A04-102159 Asbuilt Staff Restroom Plans Sheet AA-4.1

END OF ADDENDUM NO. 2

Submitted by,



RACHEL ADAMS, NIA
Managing Principal
Architecture for Education



- NOTES:**
1. PROVIDE 1/4" EXPANSION JOINT WITH PREFORMED JOINT FILLER AT ALL ANGLE POINTS.
 2. PROVIDE CONTRACTION JOINTS CONSISTING OF 1/4" WIDE AND ONE INCH DEEP CUT SCORES AT 20' O.C. MAX. AND FILL WITH SEALANT.

LONGITUDINAL CONCRETE GUTTER

N.T.S.

1

Existing Toilet Room Minimum Upgrade

Verify and/or provide the following minimum upgrades to the toilet rooms:

1. Room identification signage at entry door.
2. Self-closing hinge at wheelchair accessible stall door.
3. Slide bolt or flip-over type latch at wheelchair accessible stall door.
4. Loop or U-shaped wire pulls both sides of D.P. stall door, 30"-44" A.F.F.
5. Coat hook at 48" A.F.F. at wheelchair accessible stall.
6. Recessed toilet paper dispenser at wheelchair accessible stall.

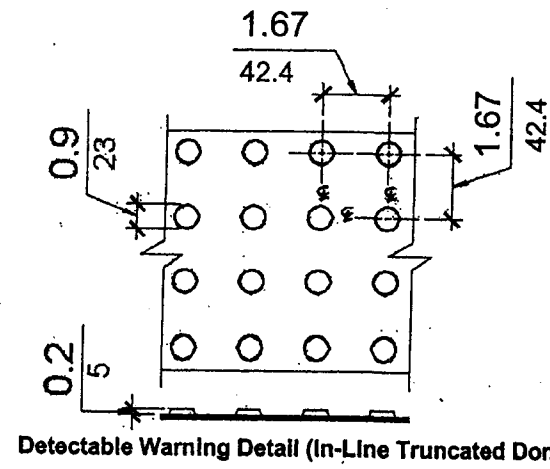
RESTROOM UPGRADE

2

- 3.21 Provide detectable warnings at transit boarding platform.
- 3.22 Provide detectable directional (truncated bars) texture at transit boarding platform.
- 3.23 Provide detectable warnings at hazardous vehicular areas.

CBC 1133B.8.3
CBC 1133B.8.4 &
CBC Fig. 11B-23B
CBC 1133B.8.5

Detectable directional texture at boarding platforms
Detectable directional texture at boarding platforms
Directional bars
Detectable warnings at hazardous vehicular areas



- 3.24 Path of travel in area of remodel with elevator and stairs:
1. If elevators in a building are being altered in order to be made accessible, no modifications are required to stairs that connect levels served by the accessible elevator.

CBC 1134B.2.1
& ADAAG 4.1.6(d)

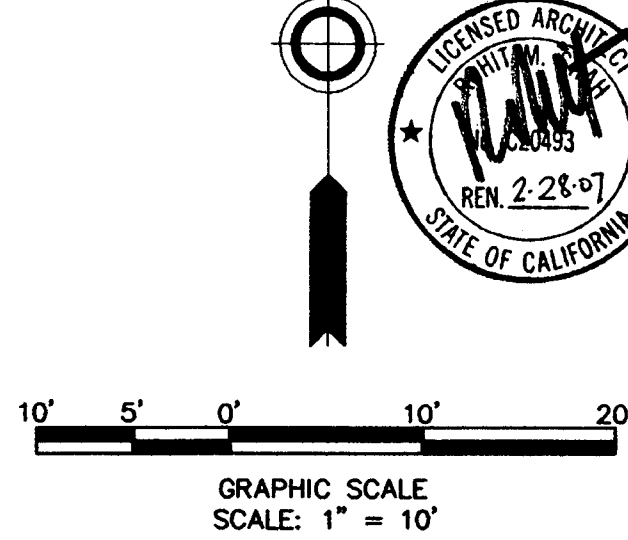
Accessibility for existing buildings - primary path of travel
Accessible buildings - alterations

PROVIDE WARRANTY INFORMATION ON PLANS OR SPEC.

DSA will provisionally accept a written five (5) year surface products as equivalent to the evaluation and product approval program. Such current edition of the California Building Standards Code, and also include durability acoustic quality, resilience, and attachment will not degrade significantly for at least five (5) years after initial installation.

TRUNCATED DOME

3



HMC GROUP
3270 INLAND EMPIRE BLVD.
ONTARIO, CALIFORNIA 91764
Telephone: 909-989-9979
Fax: 909-483-1400

Architecture • Interiors • Planning

CONSTRUCTION NOTES:

1. CONSTRUCT ASPHALT PAVEMENT PER ARCH. DRAWINGS.
2. CONSTRUCT CONC. PAVEMENT PER ARCH. DRAWINGS.
3. LANDSCAPE AREA PER ARCH. DRAWINGS.
4. INSTALL LONGITUDINAL GUTTER PER DETAIL 1 HEREON.
5. INSTALL RETAINING WALL PER ARCH. DRAWINGS.

NOTES:

1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONAL CONTROL.
2. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR RAISED CONCRETE WALK AND WALL CONSTRUCTION DETAILS.

Consultant's Title Block

AMEC

1850 S. Sepulveda, Suite 205
West Los Angeles, CA 90025

Phone: (310) 473-4383
Fax: (310) 473-5393
Email: amec@amec-ca.com

Consultant Seal

DSA Stamp

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
OFFICE OF REGULATION SERVICES
04 107052
AC FLS 1/1 SS
DATE MAY 05 2007

CESAR E. CHAVEZ
MIDDLE SCHOOL
REPLACEMENT RELOCATABLES

San Bernardino City Unified School
777 North "F" Street
San Bernardino, CA 92410

HMC GROUP 2002		
No	Revisions/Submissions	Date

Drawing Title

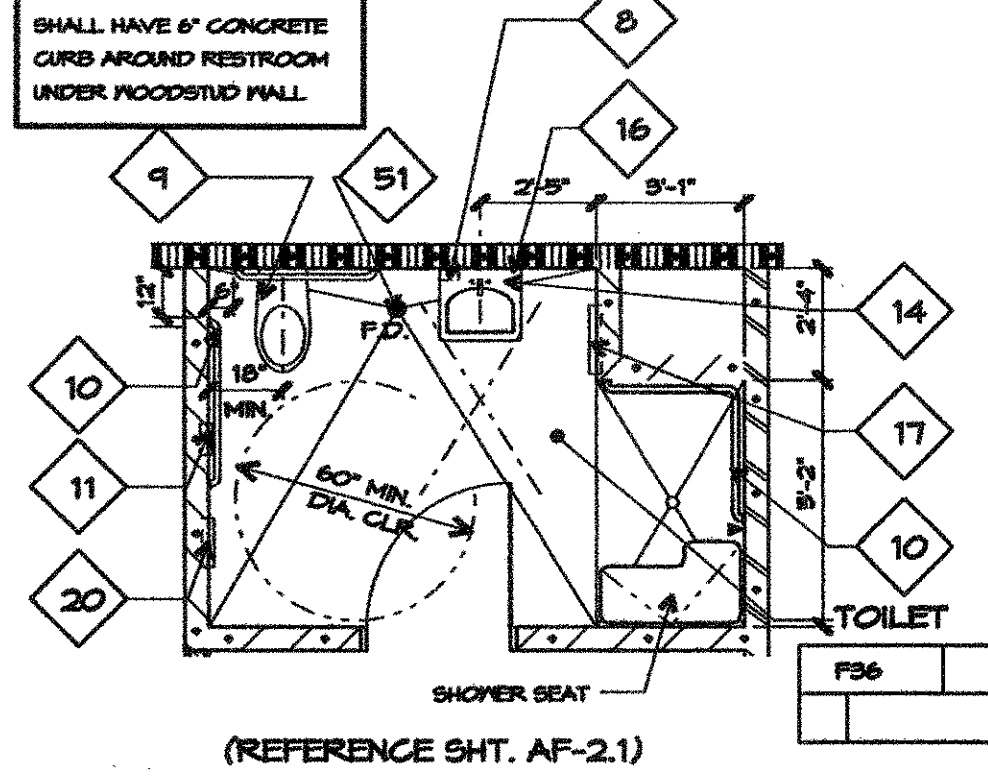
Grading Plan CD-78.2

Architect's Seal

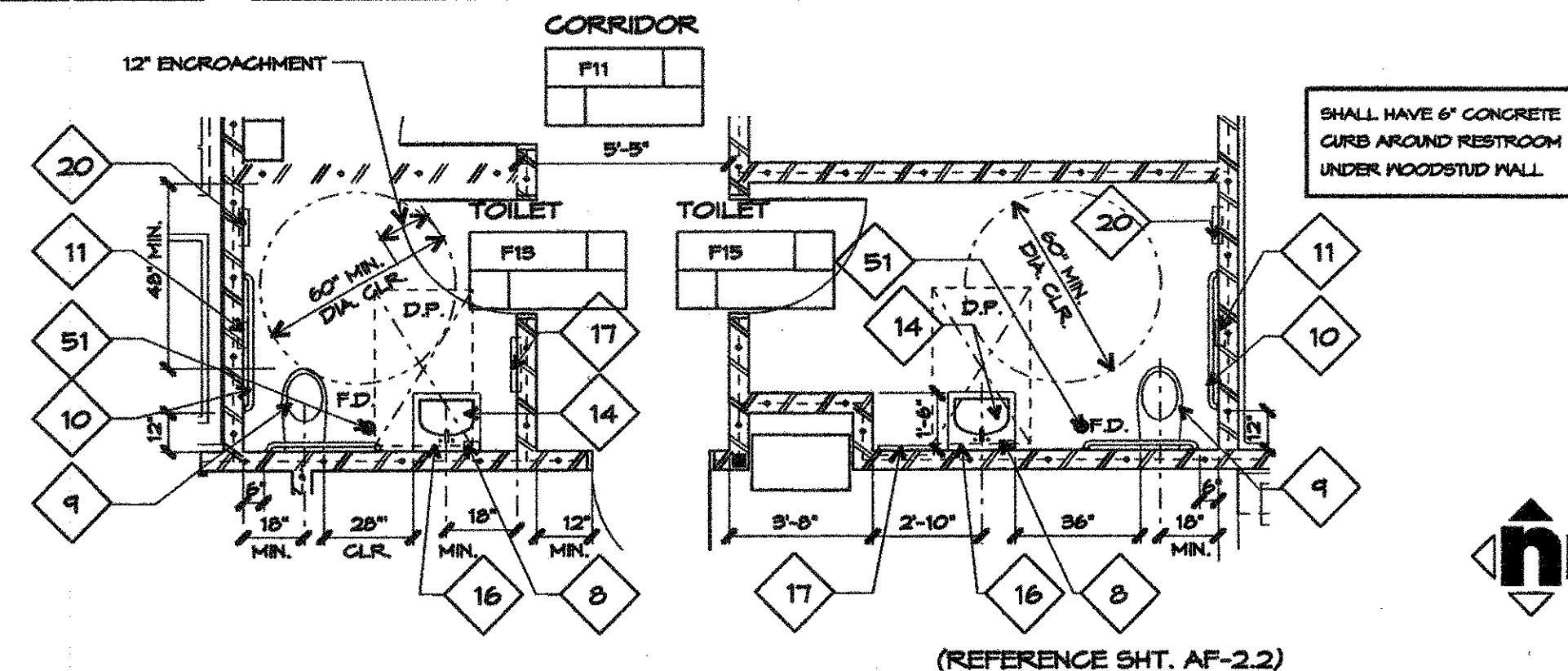
DESIGNED AM
DRAWN ZP
CHECKED AM
REVIEWED AM
DATE 11/09/04

Project No 3137091.102
Scale AS SHOWN
Drawing No
C1
of

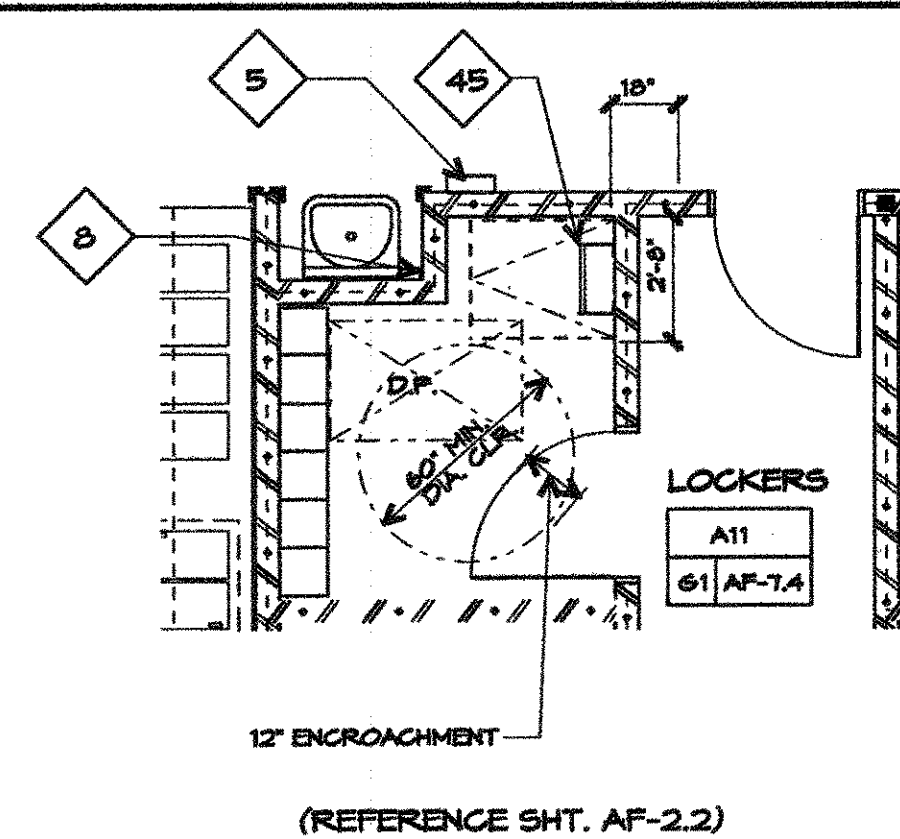
GENERAL NOTES:
PROVIDE FULL MORTAR BED FOR
ALL TOILET ROOMS WITH CERAMIC
OR QUARRY TILE FLOORING



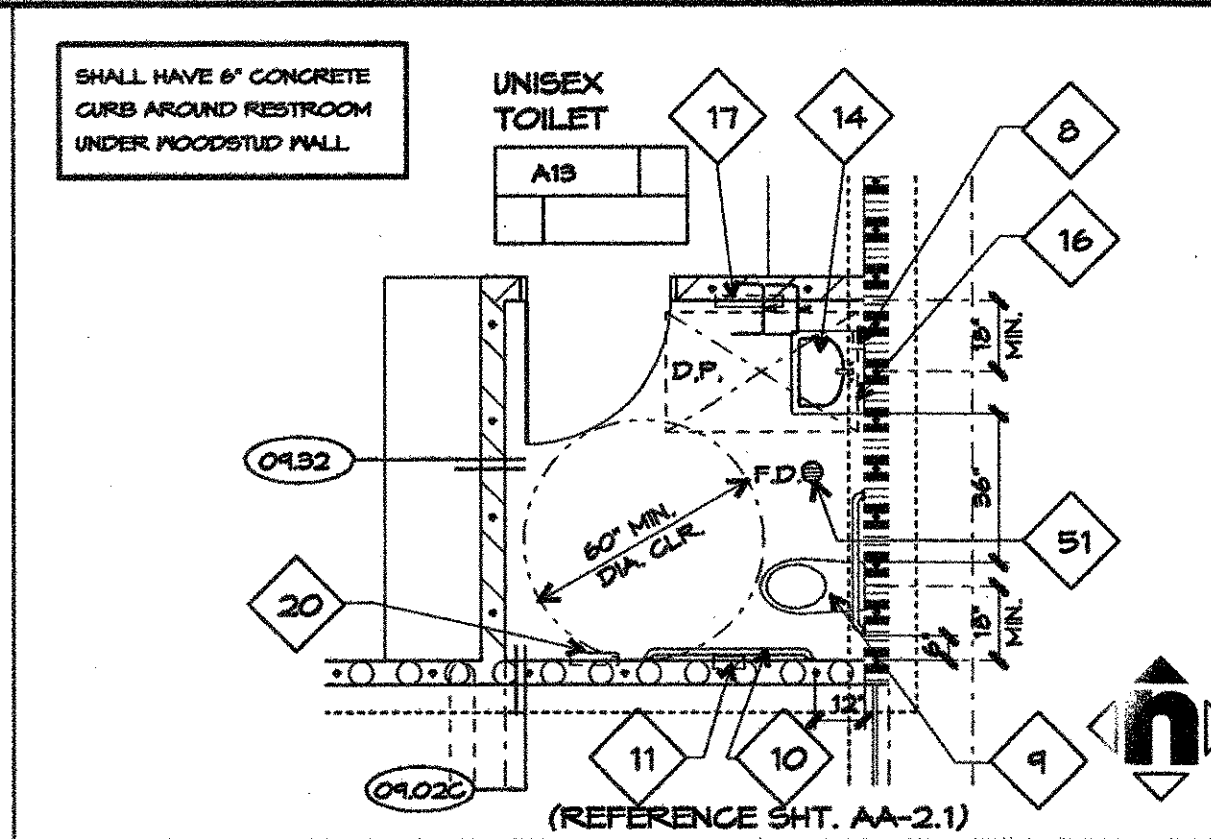
ENLARGED PLAN - BLDG. F K7
1/4"=1'-0"



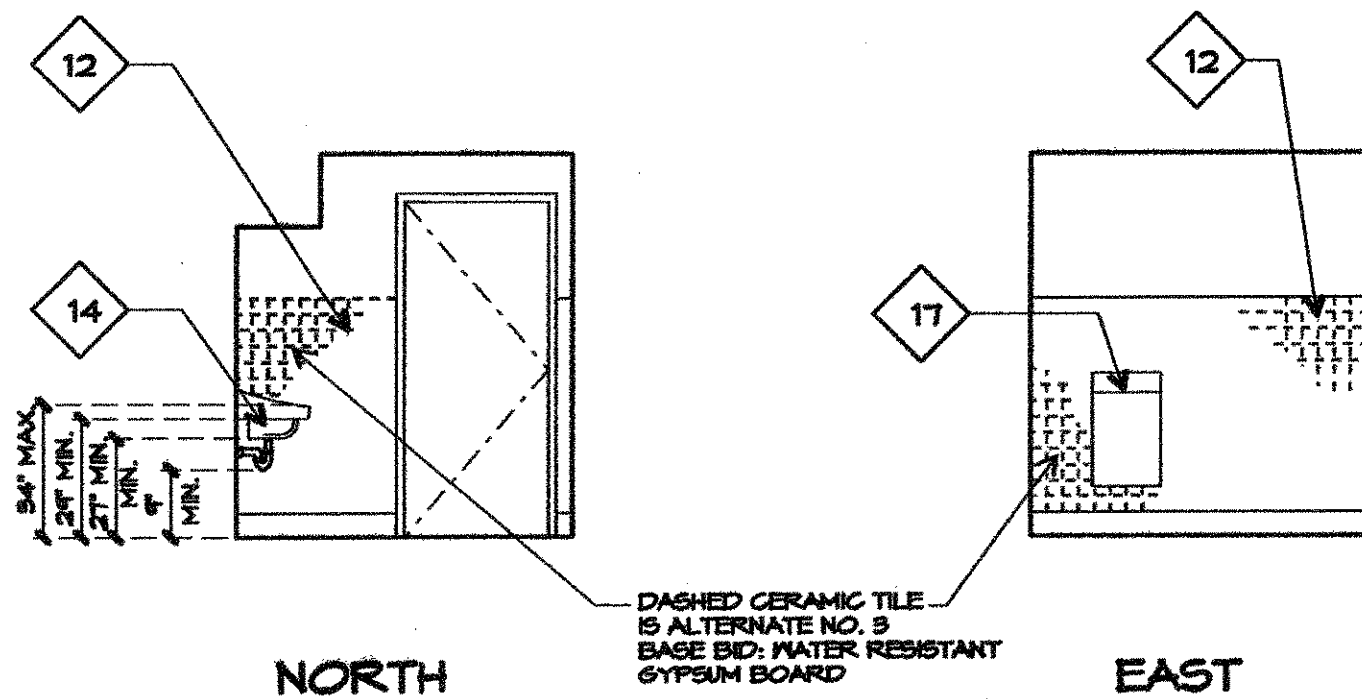
ENLARGED TOILET ROOM PLANS - BLDG. F K1
1/4"=1'-0"



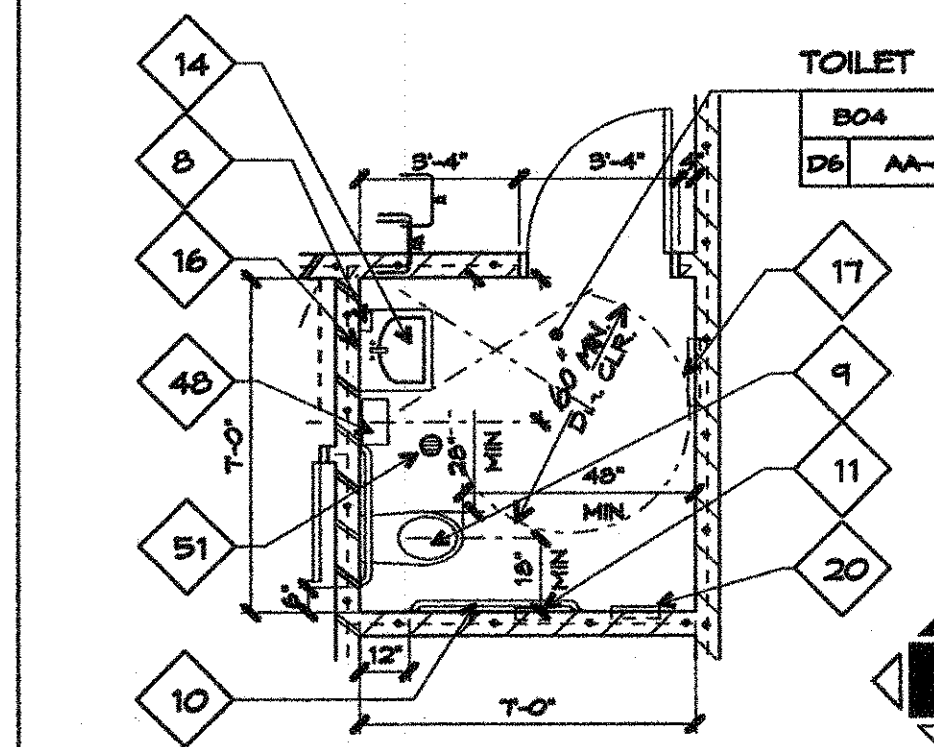
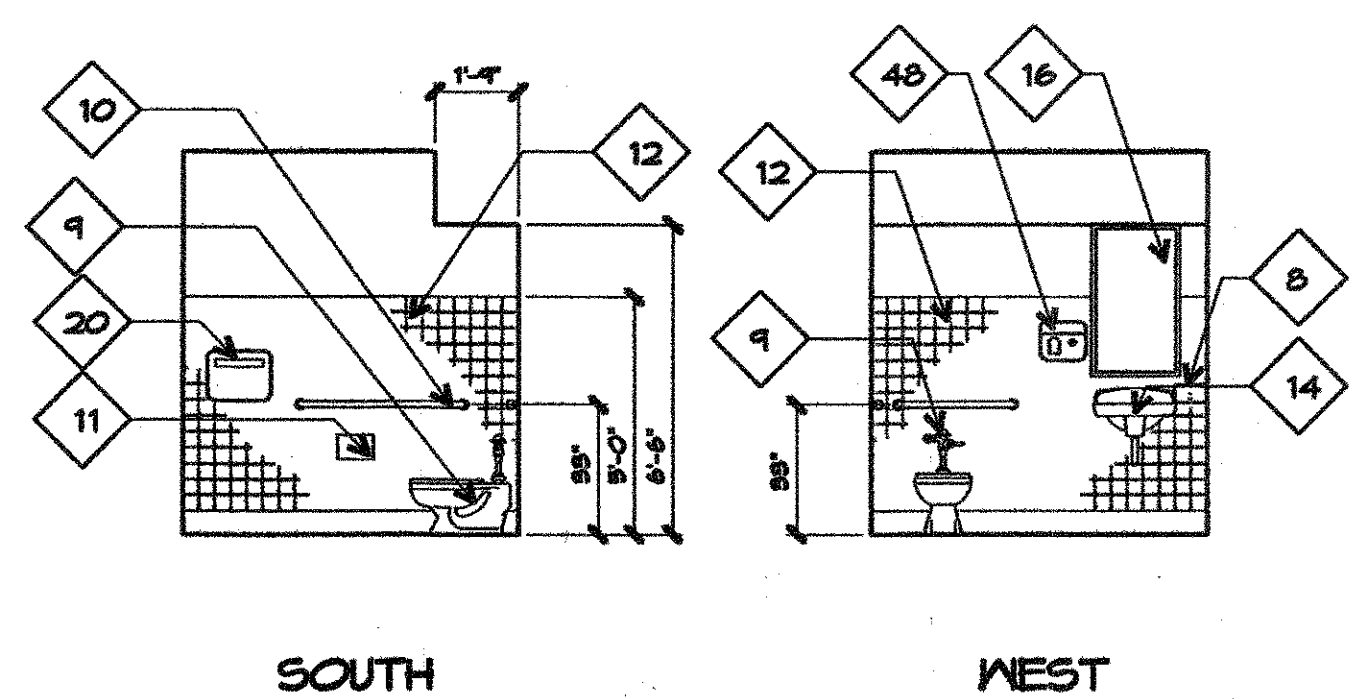
ENLARGED KITCHEN LOCKERS G3
1/4"=1'-0"



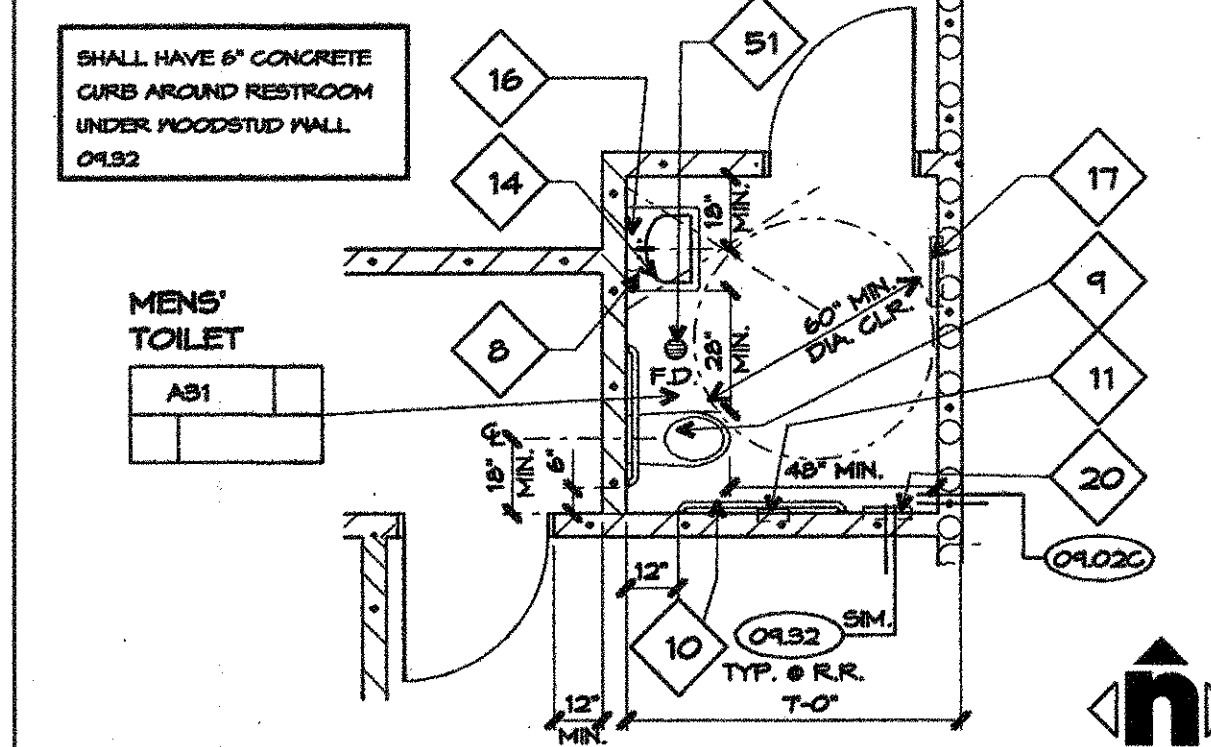
ENLARGED PLAN - BLDG. A G1
1/4"=1'-0"



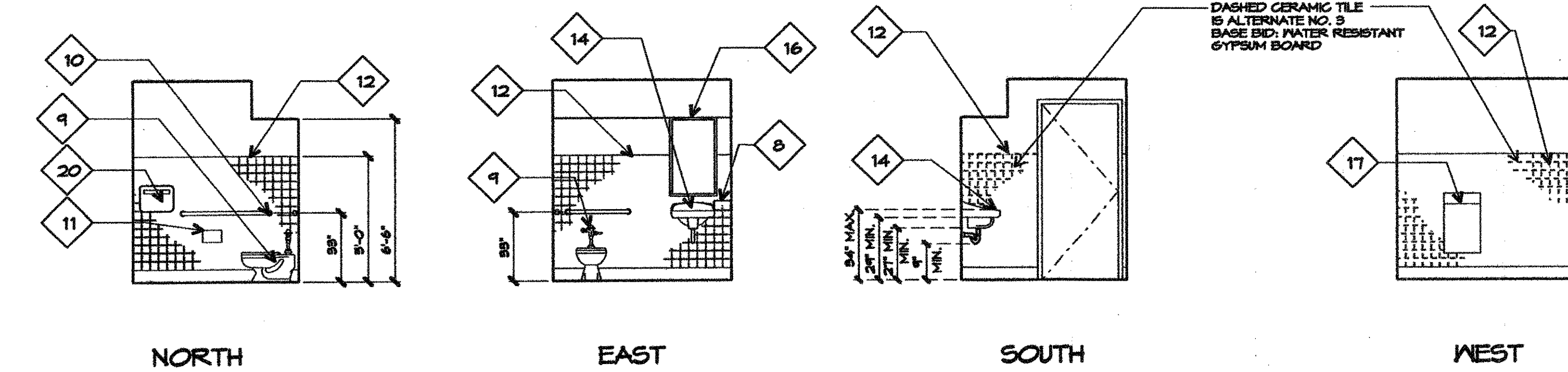
ENLARGED TOILET ROOM ELEVATIONS - BLDG. B D6
1/4"=1'-0"



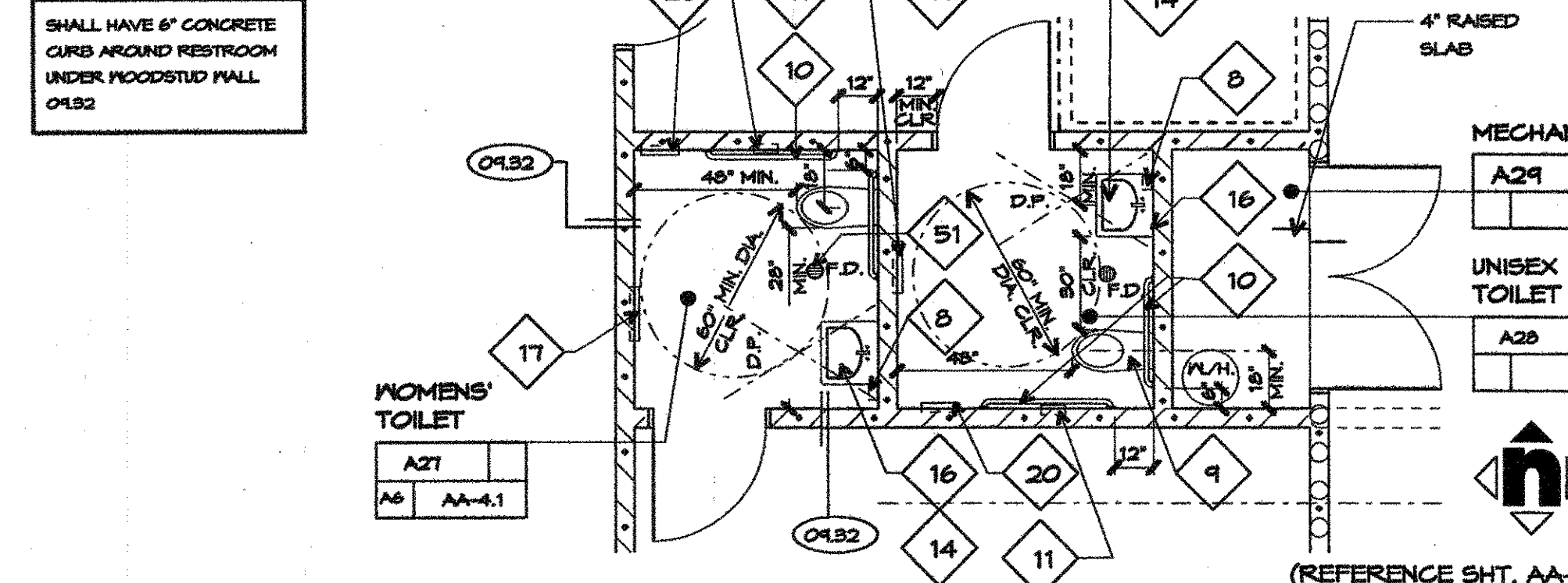
ENLARGED PLAN - BLDG. B D3
1/4"=1'-0"



ENLARGED PLAN - BLDG. A D1
1/4"=1'-0"



ENLARGED TOILET ROOM ELEVATIONS - BLDG. A A6
1/4"=1'-0"



ENLARGED TOILET ROOM PLANS - BLDG. A A1
1/4"=1'-0"

HMC GROUP
3270 INLAND EMPIRE BLVD.
ONTARIO, CALIFORNIA 91764
Telephone: 909-989-9979
Fax: 909-483-1400
Architecture • Interiors • Planning

FLOOR PLAN / INTERIOR ELEVATION NOTES

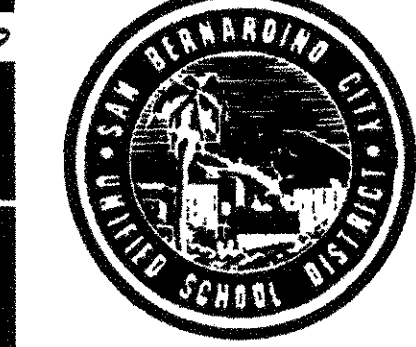
DESCRIPTION	DETAIL
1. VERTICAL SIGNAGE	
2. HANGER BOARD	
3. HANGER BOARD	
4. FIRE EXTINGUISHER AND CABINET. SEE FLOOR PLAN FOR LOCATIONS	
5. HANDLE OF FIRE EXTINGUISHER AT 48" AFF.	
6. SINK, SEE PLUMBING PLANS	
7. PAPER TOWEL DISPENSER (O.F.G.I.)	10.02A 10.02C
8. SOAP DISPENSER (O.F.G.I.)	10.02A 10.02B
9. WATER CLOSET	10.02A 10.02B 10.02A
10. GRAB BAR	
11. TOILET PAPER DISPENSER (O.F.G.I.)	
12. CERAMIC TILE	
13. TOILET PARTITION	
14. LAVATORY	
15. URINAL	10.02A 10.02A
16. MIRROR (GLASS)	
17. WASTE RECEPTACLE	
18. MOP SINK	
19. MOP SINK	
20. SEAT COVER DISPENSER	
21. SEAT COVER DISPENSER	
22. SEAT COVER DISPENSER	
23. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
24. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
25. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
26. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
27. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
28. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
29. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
30. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
31. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
32. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
33. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
34. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
35. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
36. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
37. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
38. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
39. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
40. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
41. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
42. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
43. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
44. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
45. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
46. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
47. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
48. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
49. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
50. MECHANICAL REGISTER - SEE MECHANICAL DWGS	
51. MECHANICAL REGISTER - SEE MECHANICAL DWGS	

KEY PLAN

Consultant's Seal

REVISED
AUG 27 2003

Project Title



**CESAR E. CHAVEZ
MIDDLE SCHOOL**

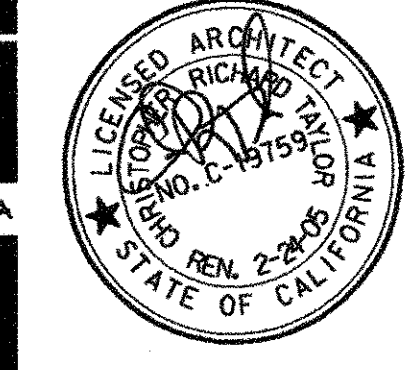
San Bernardino City Unified School
777 North 'F' Street
San Bernardino, CA. 92410

No	Revisions/Submissions	Date	No	Revisions/Submissions	Date

Drawing Title

**BUILDING'S "A" "B" & "F"
ENLARGED TOILET RM. PLANS**

Architect's Seal



Designed bds	Project No 8181011
Drawn td / bl	Scale 1/4"=1'-0"
Checked bds	Drawing No AA-4.1
Reviewed art	
Date 04/20/00	